

SITE DATA TABLE

PROPERTY ZONING	R6
MAP AND PARCELS	MAP 103-1 PARCEL 36
ACREAGE	0.29 AC
COUNCIL DISTRICT	20
COUNCIL PERSON	MARY CAROLYN ROBERTS
ALLOWABLE USE	PARKING

PURPOSED NOTE:

THE PURPOSED OF THIS PRELIMINARY SP IS TO PERMIT A SURFACE PARKING LOT.

WATER & SEWER NOTES:

- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF METRO WATER SERVICES.
- ALL LOTS SHALL HAVE INDIVIDUAL WATER AND SEWER SERVICE.

GENERAL STORMWATER NOTES:

- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THE FINAL DESIGN AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- DRIVEWAY CULVERTS TO BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" RCP).
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

STORMWATER TREATMENT NOTES:

- SPECIFIC STORMWATER STORAGE AND TREATMENT MEASURES SHALL BE PROVIDED DURING FINAL SP SUBMITTAL AND GRADING PERMIT REVIEW.
- ALL PROPOSED STORMWATER MANAGEMENT PRACTICES SHALL CONFORM TO THE LATEST VERSION OF THE METRO STORMWATER MANAGEMENT MANUAL AT TIME OF APPLICATION. COMMON PRACTICES INCLUDE LOW IMPACT DEVELOPMENT (LID) DESIGN, PROPRIETARY WATER QUALITY DEVICES, AND AN IN-LIEU FEE PAYMENT IN PLACE OF TREATMENT.

FEMA NOTE:

- THIS PROPERTY IS NOT LOCATED IN AN AREA OF FLOOD HAZARD OR SPECIAL FLOOD HAZARD ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 47037C0239H, EFFECTIVE APRIL 5, 2017.

METRO LANDSCAPE NOTES:

- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.
- PROVIDE LANDSCAPE PLAN IN COMPLIANCE WITH CODE. CODE WOULD REQUIRE A CLASS LANDSCAPE BUFFER YARD. PROVIDE BUFFER YARD PER CODE OR MODIFY LANDSCAPING NOTES AS NECESSARY TO ALLOW FOR ADDITIONAL FLEXIBILITY (LEAVE AS A B-5 BUFFER YARD).

FIRE MARSHAL NOTES:

- NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2006 EDITION OF NFPA 1 TABLE H.
- NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT VIA A HARD SURFACE ROAD. METRO ORDINANCE 095-1541 SEC. 1568.020B.
- ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
- IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
- IF MORE THAN ONE STORY BELOW GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
- A FIRE HYDRANT SHALL BE PROVIDED WITHIN 100 FEET OF THE FIRE DEPARTMENT CONNECTION.
- FIRE HYDRANTS SHALL BE IN SERVICE BEFORE ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.

METRO PLANNING NOTES:

- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE CS ZONING DISTRICT AS OF DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVE OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDINGS PERMITS.

METRO PUBLIC WORKS NOTES:

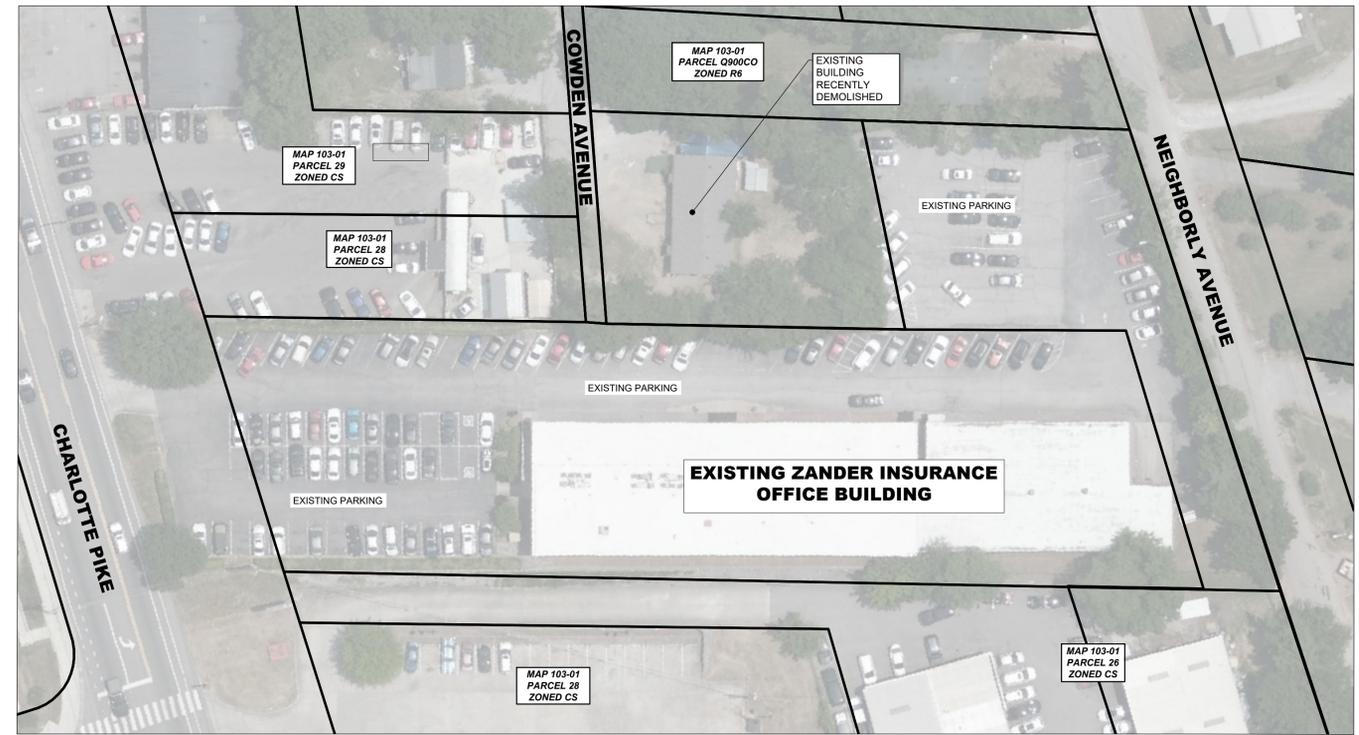
- THE FINAL SITE PLAN / BUILDING PERMIT SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK, WHERE FEASIBLE. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE REQUIREMENTS OF THE METRO ZONING ORDINANCE WITH FINAL SP SUBMITTAL.
- REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- ALL SOLID WASTE AND RECYCLING COLLECTION FOR THE SITE WILL BE HANDLED BY A PRIVATE HAULER/SERVICE.

NES NOTES:

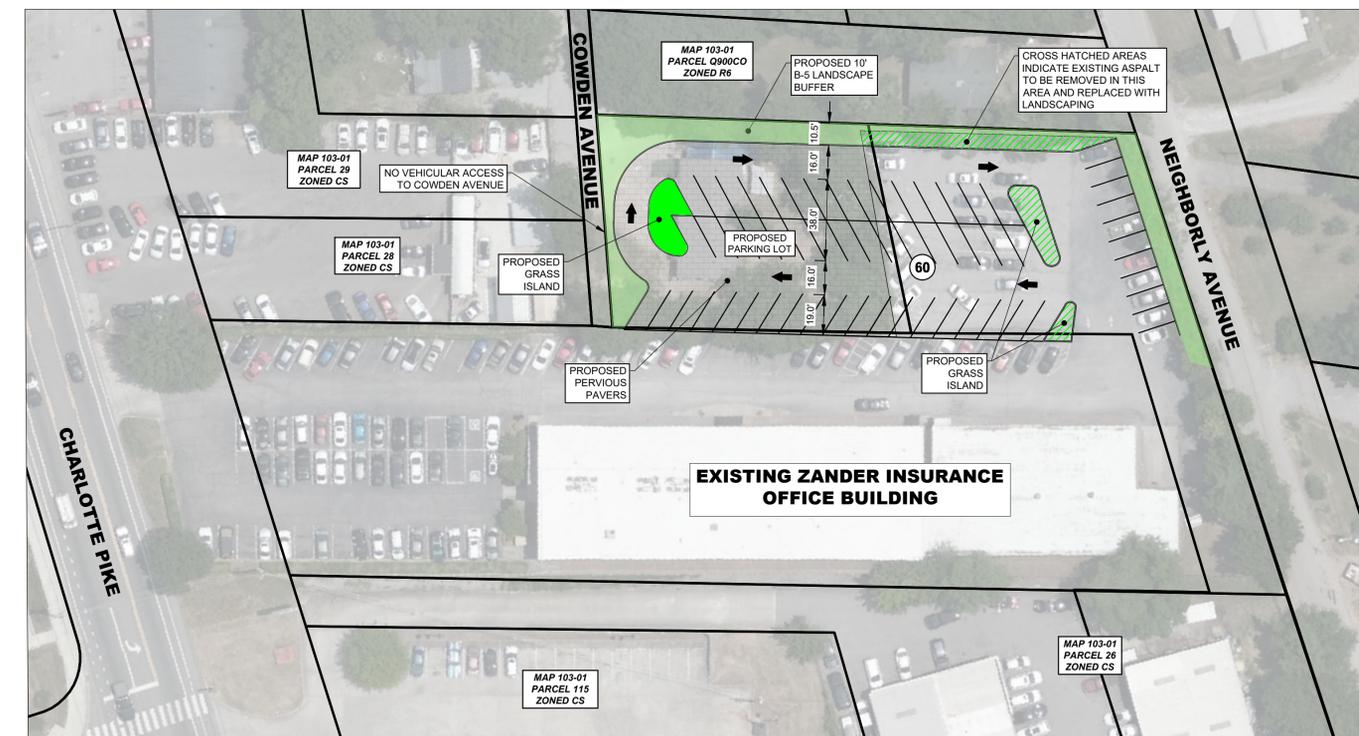
- WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED TRANSFORMERS.
- NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR PASS THROUGH BIORETENTION AREAS, BIOSWALES, AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.

GENERAL DEMOLITION NOTES:

- DEGRADABLE DEMOLITION DEBRIS INCLUDING, BUT NOT LIMITED TO, WOOD, METAL, PLASTER, TILE, ETC., SHALL NOT BE USED AS FILL ON SITE. THESE MATERIALS MUST BE WASTED OFF-SITE. CONTRACTOR TO VERIFY WITH GEOTECHNICAL ENGINEER ALL UNACCEPTABLE DEMOLITION FILL MATERIALS.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS OR ANY SUBCONTRACTOR'S WORK.
- THE CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO SCHEDULE, SEQUENCE, AND COORDINATE ALL WORK.
- IN THE EVENT THE CONTRACTOR ENCOUNTERS MATERIAL ON THE SITE REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL, OR OTHER TOXIC MATERIAL, WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION IN WRITING TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ENGINEER/ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- THE CONTRACTOR SHALL REMOVE ALL ABANDONED SYSTEMS AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE DRAWINGS. IF AN EXISTING SYSTEM IS TO REMAIN, RELOCATE AND/OR REROUTE AS REQUIRED. NEW LOCATION TO BE APPROVED BY ENGINEER/ARCHITECT PRIOR TO WORK BEING PERFORMED.
- THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN DEMOLITION WORK OF EXISTING BUILDINGS, UTILITIES, ETC.
- ALL BUILDINGS OUTSIDE OF THE DEMOLITION AREA SHALL BE PROTECTED.



EXISTING CONDITIONS



PROPOSED CONDITIONS

MPD CASE NO.
2022SP-053-001

Civil Engineers
6606 CHARLOTTE PIKE, STE 210
NASHVILLE, TENNESSEE 37209
815.356.9911 PHONE
815.352.6737 F A X

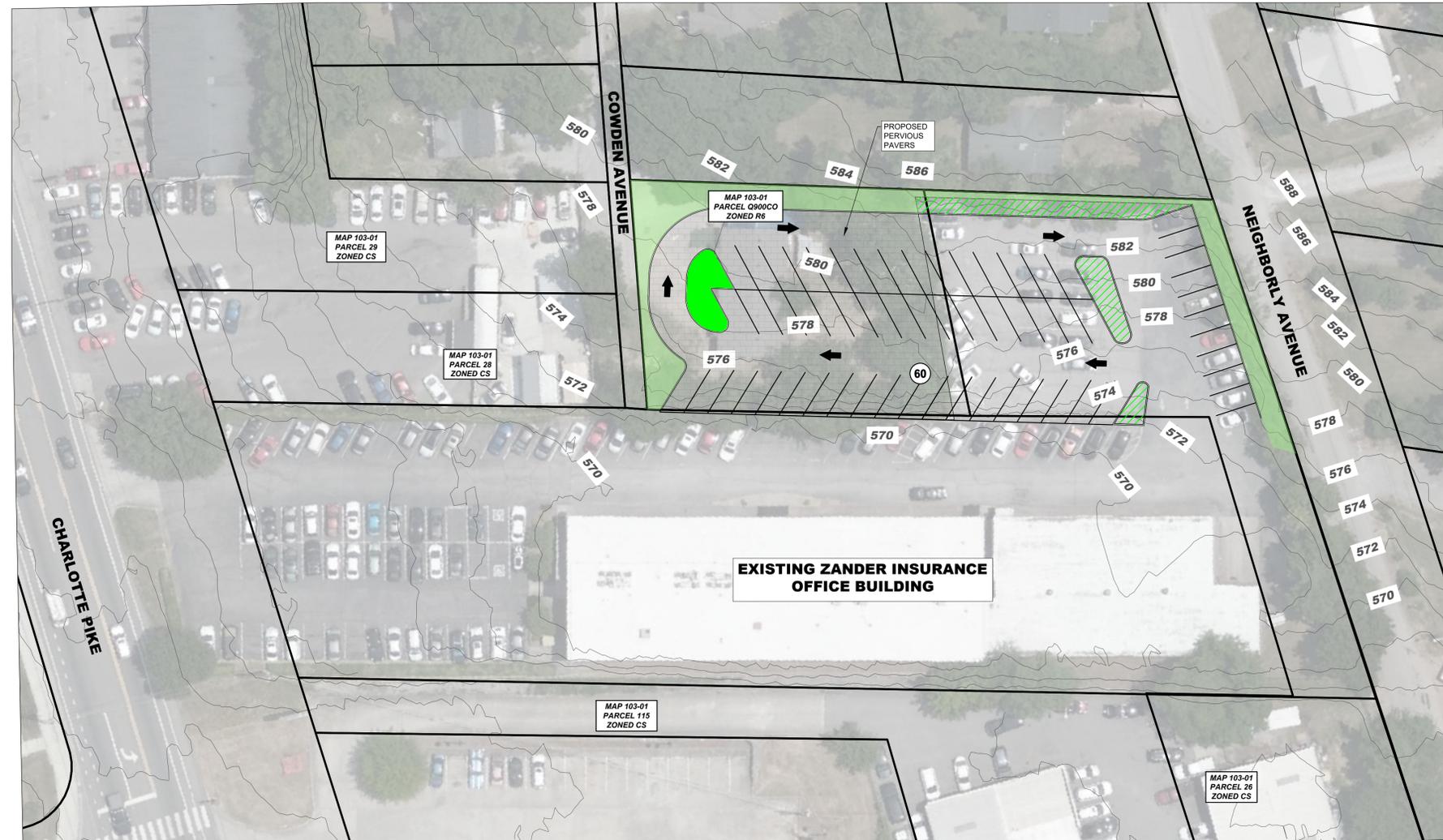
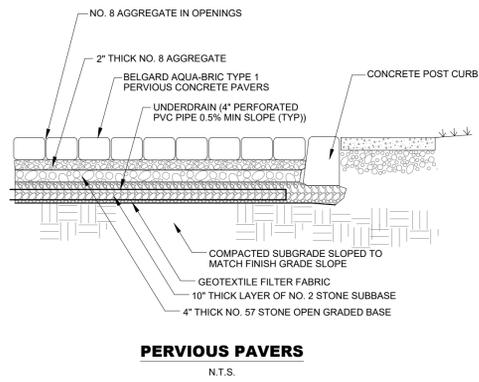
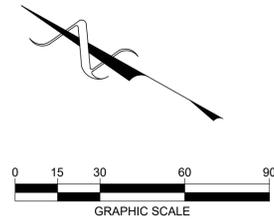
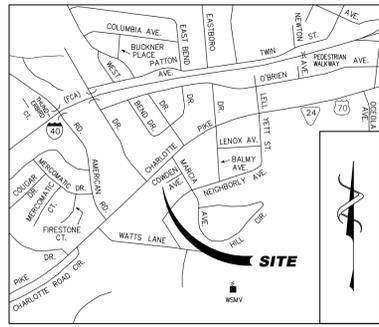


SPECIFIC PLAN
ZANDER INSURANCE
6213 CHARLOTTE PIKE
NASHVILLE, TENNESSEE 37209

DESCRIPTION
DATE

EX-1

BCA JOB NO. 2975-01



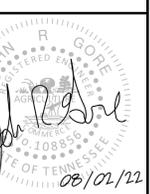
EXISTING CONTOURS AND PERVIOUS PAVERS

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SPECIFIC PLAN
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DESCRIPTION
DATE

EX-2