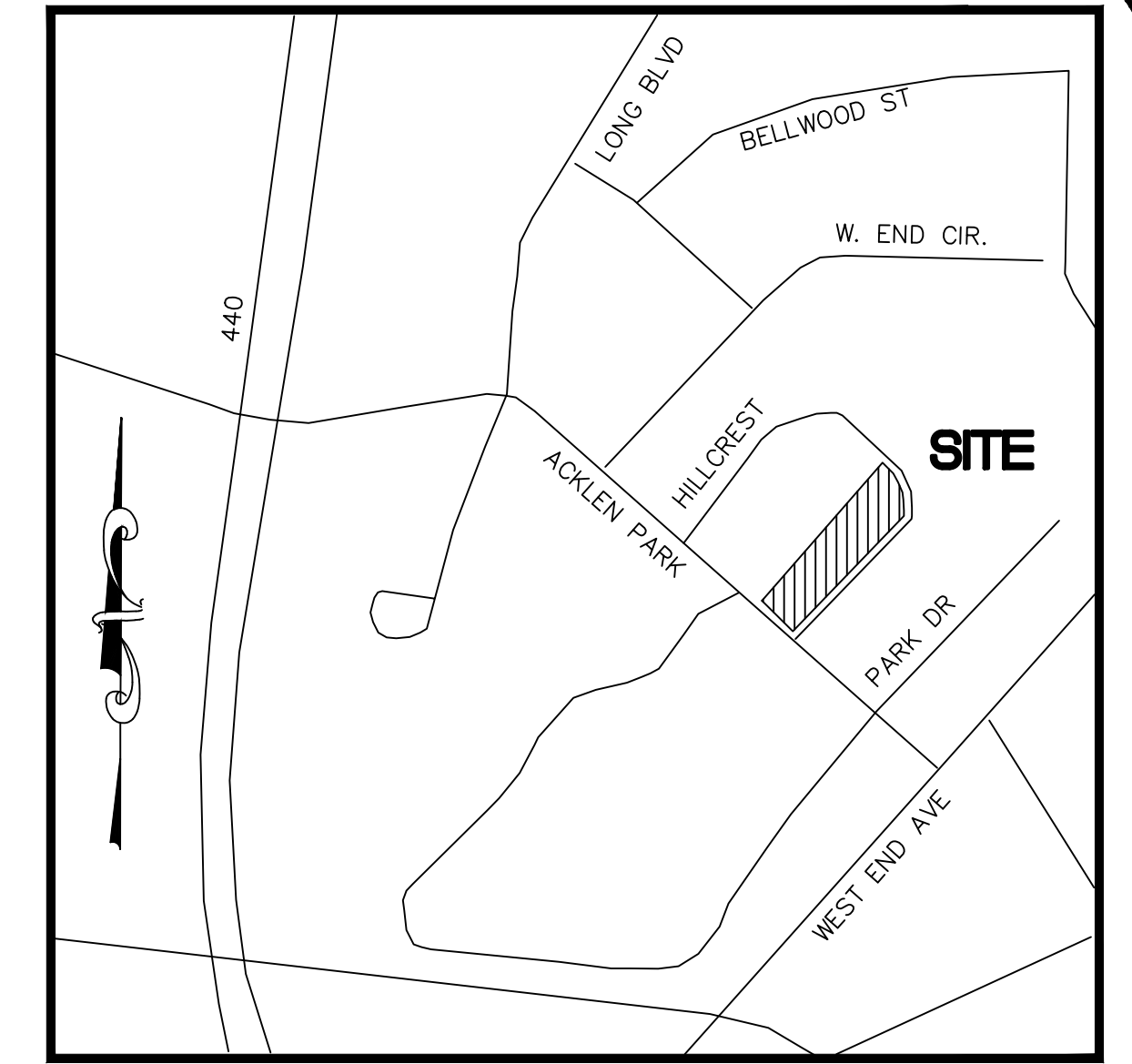


PRELIMINARY SP SITE PLAN

ACKLEN PARK DRIVE MULTIFAMILY

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

2019SP-053-001
 CATALYST PROJECT NO. 20190039
 OCTOBER 26, 2022; MAY 9, 2023; MAY 18, 2023; MAY 30, 2023



VICINITY MAP
(N.T.S.)

DEVELOPMENT SUMMARY

• SP NAME: ACKLEN PARK DRIVE MULTIFAMILY
 • SP NUMBER: 2019SP-053-001
 • COUNCIL DISTRICT: 21
 • COUNCIL MEMBER: BRANDON TAYLOR

OWNER: ACKLEN PARK PARTNERS, LLC
 ADDRESS: 3309 FAIRMONT DRIVE NASHVILLE, TN 37203
 CONTACT: [REDACTED]
 CONTACT EMAIL: [REDACTED]

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
 ADDRESS: 5100 CENTENNIAL BLVD. NASHVILLE, TN 37209
 PHONE: 615.622.7200
 CONTACT: JACK PARKER
 CONTACT EMAIL: jparker@catalyst-dg.com

DEVELOPER: CHARTWELL RESIDENTIAL
 ADDRESS: 5000 MERIDIAN BLVD., SUITE 750 FRANKLIN, TN 37067
 PHONE: 615.550.1270
 CONTACT: BEN SCHAEDELE
 CONTACT EMAIL: bschaedele@chartwellresidential.com

• FEMA PANEL:
 THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NO. 47037C0239 H, DATED APRIL 5, 2017.

DEVELOPMENT SITE DATA

PARCEL ID.: 10402021400, 10402020700, & 10402020600
 SITE ADDRESS: 106 ACKLEN PARK DRIVE NASHVILLE, TN 37203

SITE ACREAGE (PARCELS 206, 207, & 214): 0.78 AC. (33,950 S.F.)
 R.O.W. DEDICATION: ALLEY 700 0.01 AC. (466 S.F.)
 HILLCREST DRIVE 0.04 AC. (1,807 S.F.)
 TOTAL SITE ACREAGE: 0.73 AC. (31,677 S.F.)
 EXISTING ZONING: RM 40 (RESIDENTIAL-HIGH DENSITY)
 OV-IMP (IMPROVEMENT OVERLAY)
 OV-U20 (URBAN ZONING OVERLAY)
 OV-U20 (URBAN DESIGN OVERLAY)
 TRIPLEX

EXISTING LAND USE: 100 MULTI-FAMILY UNITS
 PROPOSED LAND USE: 137 UNITS / ACRE
 FLOOR AREA RATIO (FAR): 2.90
 IMPERVIOUS SURFACE RATIO (ISR):
 BUILDINGS 79% (0.58 AC./25,087 S.F.)
 ROADS/SIDEWALKS/DRIVES 7% (0.05 AC./2,196 S.F.)
 OPEN SPACE 14% (0.10 AC./4,394 S.F.)

BUILDING DATA
 PROPOSED LAND USE: 100 MULTI-FAMILY UNITS
 NUMBER & TYPE OF UNITS:
 1 BEDROOM APARTMENT 88 UNITS
 2 BEDROOM APARTMENT 12 UNITS
 TOTAL UNITS 100 UNITS

TOTAL NUMBER OF BEDROOMS: (88) 1 BEDROOMS
 (12) 2 BEDROOMS
 112 BEDROOMS TOTAL

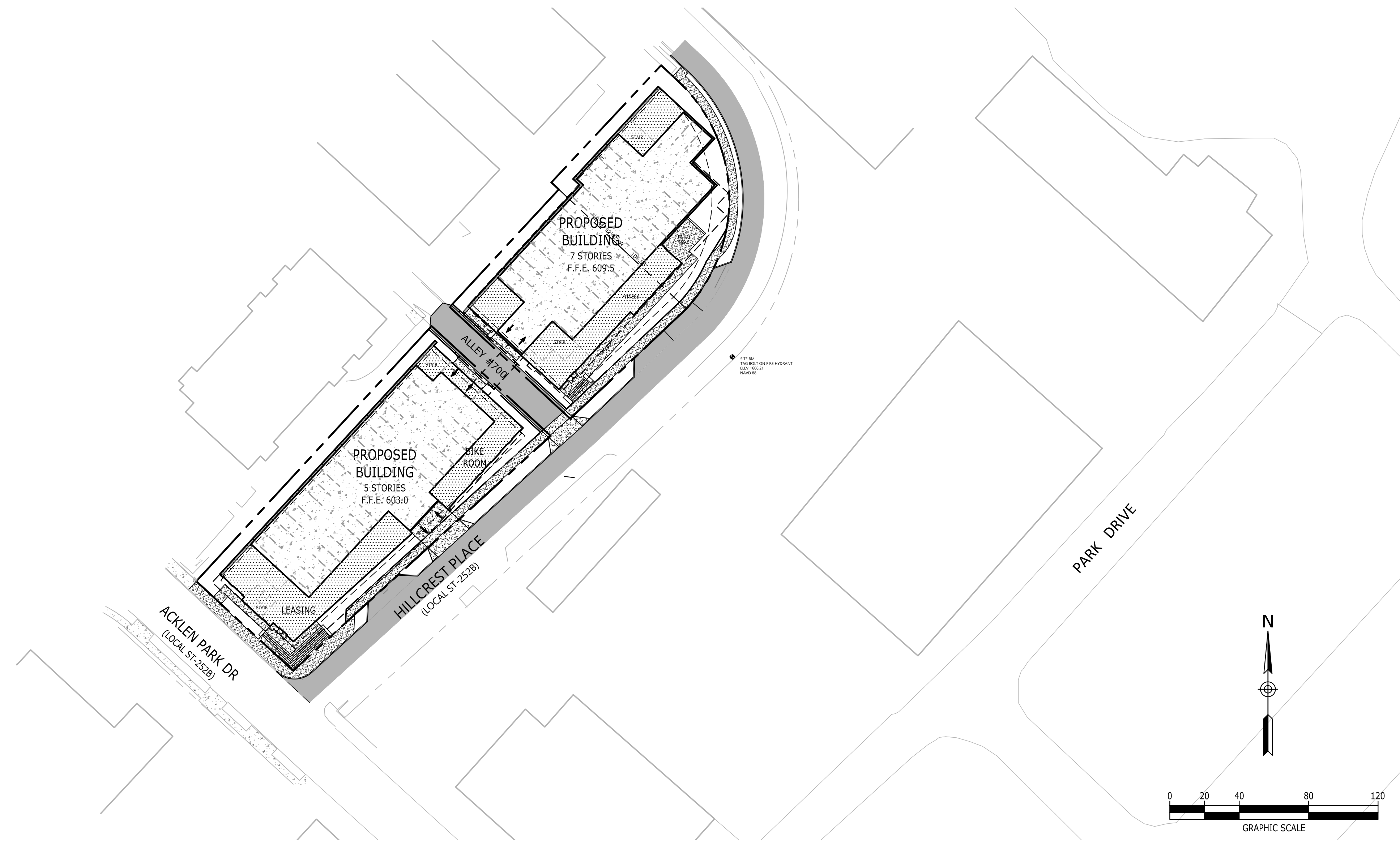
BUILDING SQUARE FOOTAGE
 RESIDENT BUILDING 1 43,708 S.F.
 RESIDENT BUILDING 2 54,494 S.F.
 TOTAL BUILDING 98,202 S.F.

GARAGE 1 17,473 SF
 GARAGE 2 17,900 S.F.
 TOTAL GARAGE 35,373 S.F.

BUILDING HEIGHT:
 PARCELS 206 & 207 7 STORIES MAX. (6 STORIES IN ARCH. BUILDING FACADE TREATMENT)
 PARCEL 214 5 STORIES MAX. (4 STORIES IN ARCH. BUILDING FACADE TREATMENT)

PARKING REQUIREMENTS:
 METRO CODE REQUIRED PARKING MAXIMUM
 1 SP/1 BEDROOM; (1 x 88) 88 SPACES
 1.5 SP/2 BEDROOM; (2 x 12) 18 SPACES
 TOTAL PARKING REQUIRED 106 SPACES

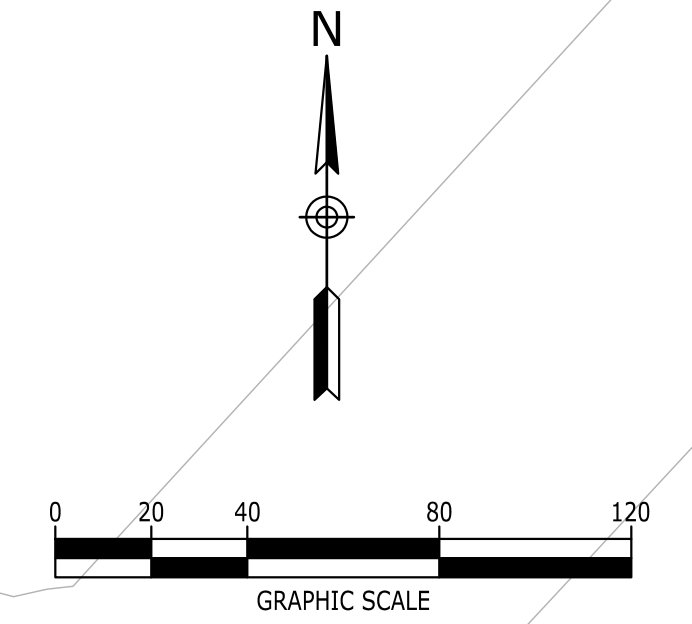
PARKING PROVIDED:
 GARAGE PARKING 112 SPACES
 TOTAL PARKING PROVIDED ON SITE 112 SPACES
 TOTAL PARKING RATIO: 1.12 SPACES / UNIT



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS
C5.0	SITE LAYOUT
C6.0	SITE GRADING & DRAINAGE
C6.1	SITE GRADING & DRAINAGE
C7.0	SITE UTILITIES
L1.0	SITE LANDSCAPE
L2.0	LANDSCAPE DETAILS
A201	OVERALL SITE ELEVATIONS
A900	3D VIEWS
A901	ACKLEN PARK DRIVE PERSPECTIVE
A902	ACKLEN PARK DRIVE EVENING PERSPECTIVE
A903	SOUTHWEST ELEVATION
A904	ALLEY ENTRY

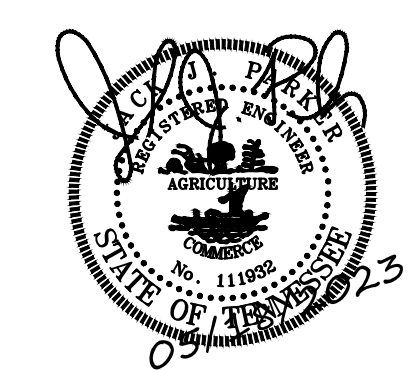
DEVELOPMENT NOTES

- THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY APPROVAL OF SPECIFIC PLAN ZONING TO PERMIT 100 RESIDENTIAL APARTMENT UNITS.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 ADA; <http://www.ada.gov/>
 U.S. Justice Dept.: http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm
- TRASH AND RECYCLING SERVICE SHALL BE CONTRACTED THROUGH A PRIVATE COLLECTION SERVICE.
- THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTION SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, APPLIED MASONRY STUCCO, FINISHED METAL PANEL, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.



ARCHITECT
BAKER BARRIOS
 700 12TH AVE. SOUTH, SUITE 305
 NASHVILLE, TENNESSEE 37203
 615.921.0578



















PREPARED FOR
CHARTWELL RESIDENTIAL
 5000 MERIDIAN BLVD., SUITE 750
 FRANKLIN, TENNESSEE 37067
 615.550.1270

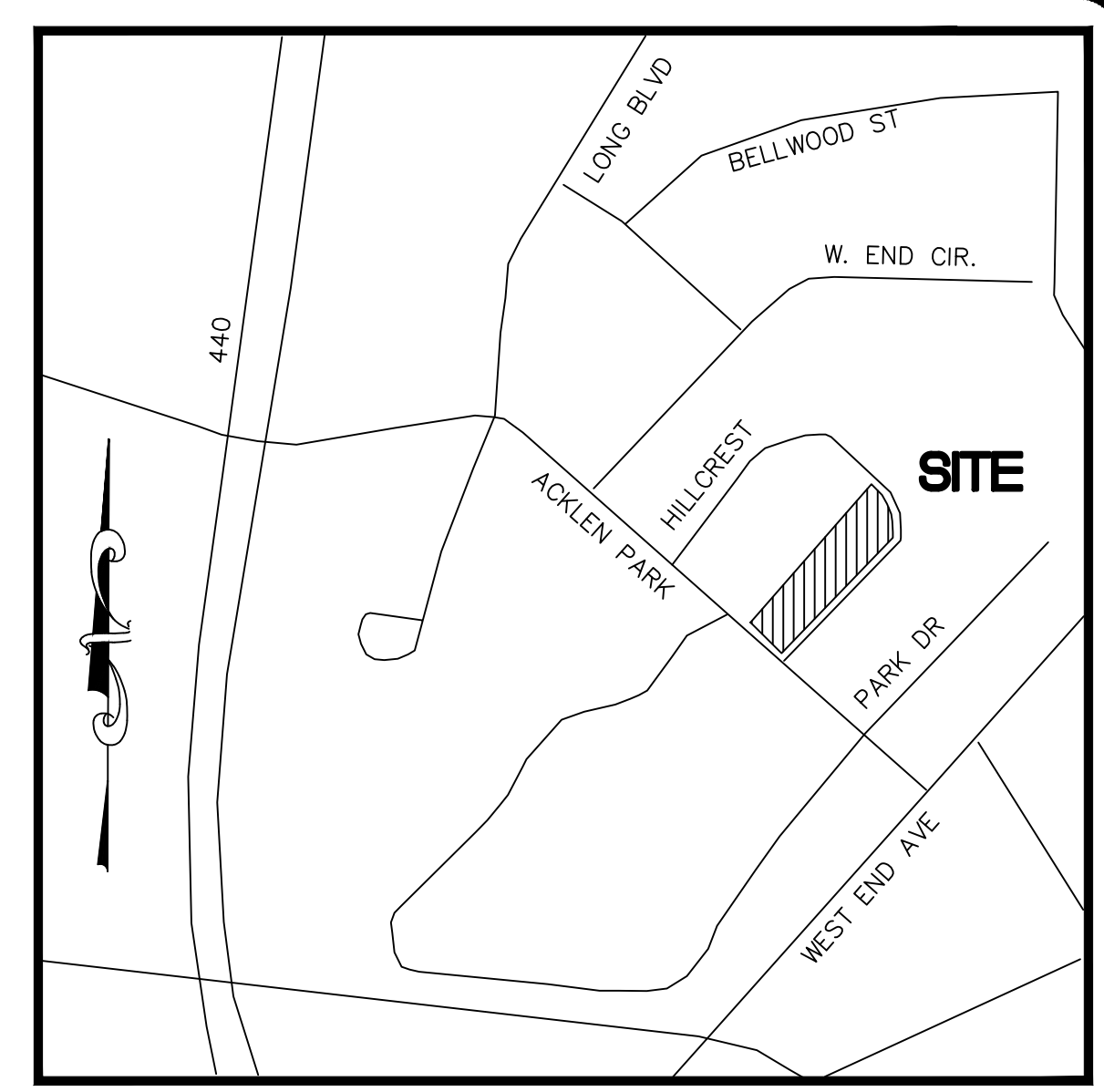
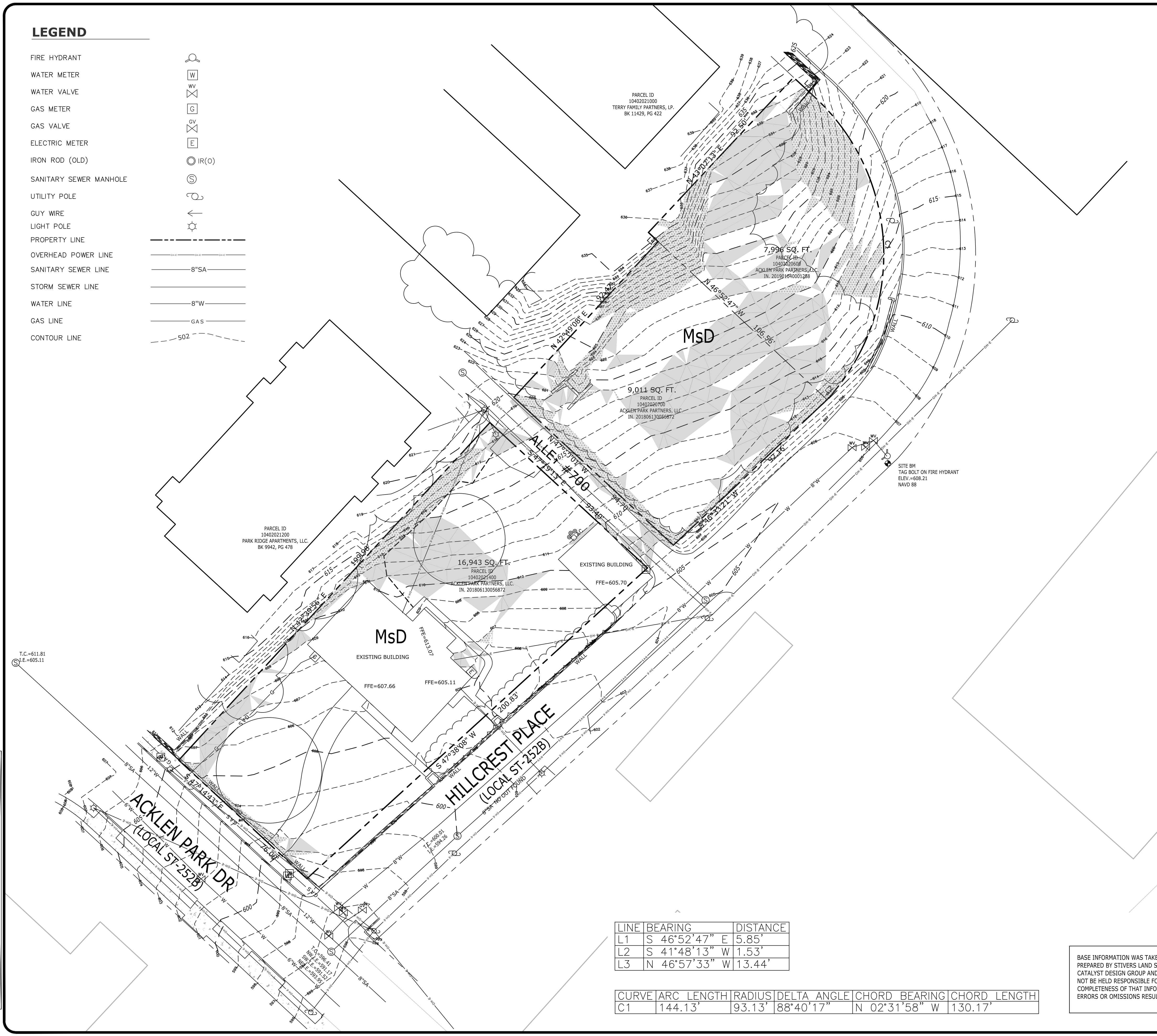


CIVIL ENGINEER/LANDSCAPE ARCHITECT
Catalyst
 DESIGN GROUP
 5016 CENTENNIAL BLVD., SUITE 200
 NASHVILLE, TN 37209
 (615) 866-2410



LEGEND

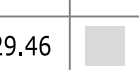
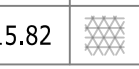
- FIRE HYDRANT 
- WATER METER 
- WATER VALVE 
- GAS METER 
- GAS VALVE 
- ELECTRIC METER 
- IRON ROD (OLD) 
- SANITARY SEWER MANHOLE 
- UTILITY POLE 
- GUY WIRE 
- LIGHT POLE 
- PROPERTY LINE 
- OVERHEAD POWER LINE 
- SANITARY SEWER LINE  8"SA
- STORM SEWER LINE 
- WATER LINE  8"W
- GAS LINE  GAS
- CONTOUR LINE  502



VICINITY MAP
(N.T.S.)

Hydrologic Soil Groups			
Symbol	Name and Description	Rating	Acres
MsD	Mimosa-Urban land complex, 2 to 15 percent slopes	C	0.8

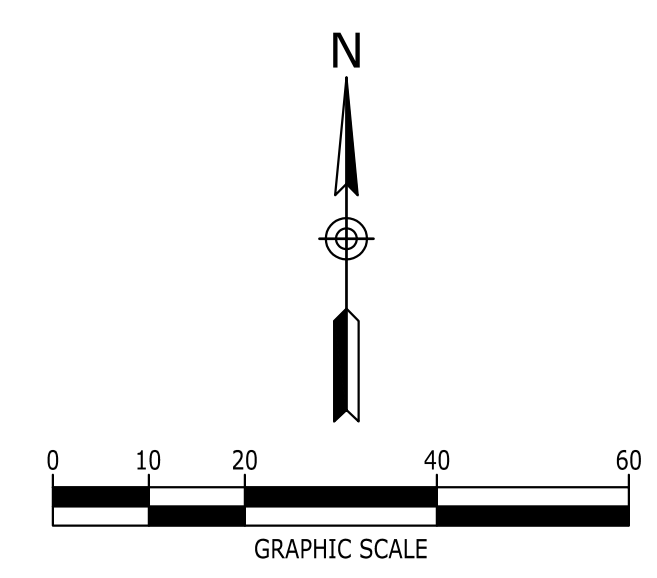
NOTE: SOIL INFORMATION ON THIS SHEET WAS OBTAINED FROM NRCS ONLINE SOIL SURVEY DATA. AREAS ARE APPROXIMATE AND ARE FOR REFERENCE ONLY.

Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	15.00%	20.00%	8529.46	
2	25.00%	99.90%	4815.82	

LINE	BEARING	DISTANCE
L1	S 46°52'47" E	5.85'
L2	S 41°48'13" W	1.53'
L3	N 46°57'33" W	13.44'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	144.13'	93.13'	88°40'17"	N 02°31'58" W	130.17'

BASE INFORMATION WAS TAKEN FROM A BOUNDARY/TOPO SURVEY PREPARED BY STIVERS LAND SURVEYING, DATED 04/10/2019. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.



CHARTWELL RESIDENTIAL, LLC
5000 MERIDIAN BLVD., STE 750
FRANKLIN, TN 37067



CASE NO. 2019SP-053-001
PRELIMINARY SP SITE PLAN
ACKLEN PARK DRIVE MULTIFAMILY
106 ACKLEN PARK DRIVE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	DESCRIPTION
2023.05.18	PRELIMINARY SP SITE PLAN SUBMITTAL	
2023.05.09	PRELIMINARY SP SITE PLAN SUBMITTAL	
2022.10.26	PRELIMINARY SP SITE PLAN SUBMITTAL	

DRAWING TITLE
EXISTING CONDITIONS

PROJECT NUMBER
20190039

DRAWING NUMBER
C1.0

DEVELOPMENT SUMMARY

SP NAME: ACKLEN PARK DRIVE MULTIFAMILY
 SP NUMBER: 2019SP-053-001
 COUNCIL DISTRICT: 21
 COUNCIL MEMBER: BRANDON TAYLOR

OWNER: ACKLEN PARK PARTNERS, LLC
 ADDRESS: 3309 FAIRMONT DRIVE NASHVILLE, TN 37203

CONTACT: CONTACT EMAIL:

PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
 ADDRESS: 5100 CENTENNIAL BLVD. NASHVILLE, TN 37209
 PHONE: 615.622.7200
 CONTACT: JACK PARKER
 CONTACT EMAIL: jparker@catalyst-dg.com

DEVELOPER: CHARTWELL RESIDENTIAL
 ADDRESS: 5000 MERIDIAN BLVD., SUITE 750 FRANKLIN, TN 37067
 PHONE: 615.550.1270
 CONTACT: BEN SCHAEDEL
 CONTACT EMAIL: bschaedel@chartwellresidential.com

FEMA PANEL: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NO. 47037C0239 H, DATED APRIL 5, 2017.

DEVELOPMENT SITE DATA

PARCEL ID: 10402021400, 10402020700, 8, 10402020600
 SITE ADDRESS: 106 ACKLEN PARK DRIVE NASHVILLE, TN 37203

SITE ACREAGE (PARCELS 206, 207, & 214): 0.78 AC. (33,950 S.F.)
 R.O.W. DEDICATION: ALLEY 700 0.01 AC. (466 S.F.)
 HILLCREST DRIVE 0.04 AC. (1,807 S.F.)
 TOTAL SITE ACREAGE: 0.73 AC. (31,677 S.F.)
 EXISTING ZONING: RM 40 (RESIDENTIAL-HIGH DENSITY)
 OV-IMP (IMPROVEMENT OVERLAY)
 OV-420 (URBAN ZONING OVERLAY)
 OV-UDO (URBAN DESIGN OVERLAY)
 TRIPLEX

EXISTING LAND USE: 100 MULTI-FAMILY UNITS
 PROPOSED LAND USE: 137 UNITS / ACRE
 FLOOR AREA RATIO (FAR): 2.90
 IMPERVIOUS SURFACE RATIO (ISR):
 BUILDINGS 79% (0.58 AC./25,087 S.F.)
 ROADS/SIDEWALKS/DRIVES 7% (0.05 AC./2,196 S.F.)
 OPEN SPACE 14% (0.10 AC./4,394 S.F.)

BUILDING DATA
 PROPOSED LAND USE: 100 MULTI-FAMILY UNITS
 NUMBER & TYPE OF UNITS: RESIDENTIAL APARTMENTS
 1 BEDROOM APARTMENT 88 UNITS
 2 BEDROOM APARTMENT 12 UNITS
 TOTAL UNITS 100 UNITS

TOTAL NUMBER OF BEDROOMS: (88) 1 BEDROOMS
 (12) 2 BEDROOMS
 112 BEDROOMS TOTAL

BUILDING SQUARE FOOTAGE
 RESIDENT BUILDING 1 43,708 S.F.
 RESIDENT BUILDING 2 54,494 S.F.
 TOTAL BUILDING 98,202 S.F.

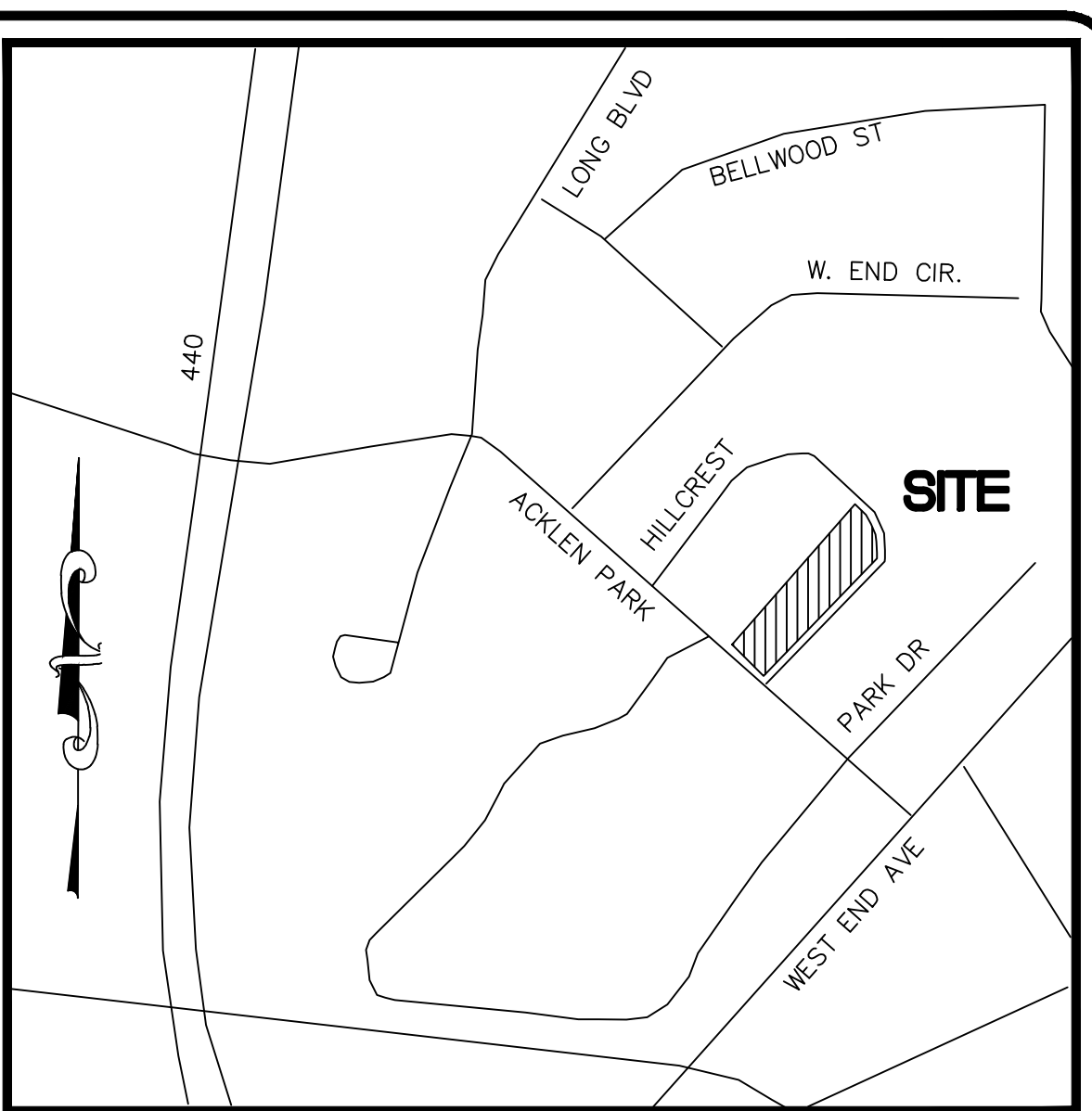
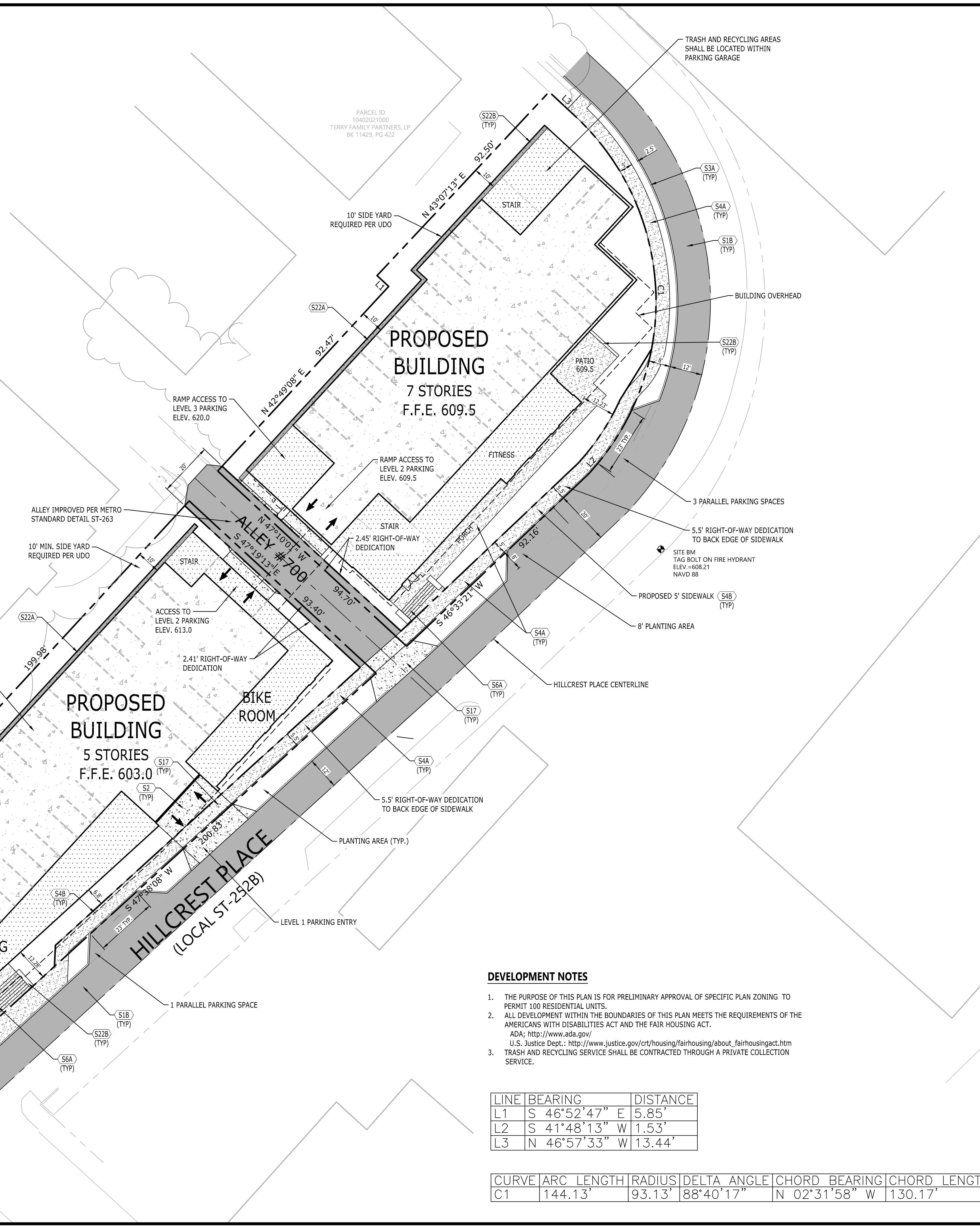
GARAGE 1 17,473 SF
 GARAGE 2 17,900 S.F.
 TOTAL GARAGE 35,373 S.F.

BUILDING HEIGHT:
 PARCELS 206 & 207 7 STORIES MAX. (6 STORIES IN ARCH. BUILDING FACADE TREATMENT)
 PARCEL 214 5 STORIES MAX. (4 STORIES IN ARCH. BUILDING FACADE TREATMENT)

PARKING REQUIREMENTS:
 METRO CODE REQUIRED PARKING MAXIMUM
 1 SP/1 BEDROOM; (1 x 88)
 1.5 SP/2 BEDROOM; (2 x 12)
 TOTAL PARKING REQUIRED 106 SPACES

PARKING PROVIDED:
 GARAGE PARKING 112 SPACES
 TOTAL PARKING PROVIDED ON SITE 112 SPACES
 TOTAL PARKING RATIO: 1.12 SPACES / UNIT

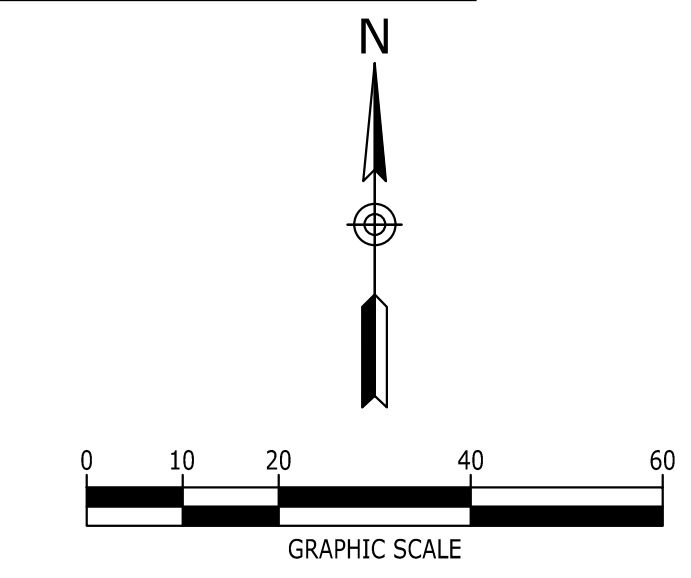
80% OF FRONT FACADE MUST BE BUILT WITHIN 20' OF THE FRONT PROPERTY LINE;
 100% OF FACADE IS PROVIDED IN COMPLIANCE



VICINITY MAP
(N.T.S.)

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET # / SHT #
(S1A)	ASPHALT PAVEMENT - LIGHT DUTY	
(S1B)	ASPHALT PAVEMENT - HEAVY DUTY	
(S1C)	ASPHALT PAVEMENT - OVERLAY	
(S2)	CONCRETE PAVEMENT	
(S3A)	CONCRETE POST CURB	
(S4A)	CONCRETE SIDEWALK	
(S4B)	CONCRETE SIDEWALK WITH TURN DOWN CURB	
(S5)	SIDEWALK JOINTS	
(S6A)	CONCRETE STAIRS WITH HANDRAIL	
(S7)	ELEVATED WALK	
(S10A)	ACCESSIBLE RAMP	
(S10B)	ACCESSIBLE WINGED RAMP	
(S11)	TACTILE WARNING SURFACE	
(S12)	CONCRETE WHEELSTOP	
(S13A)	RAMP WITH HANDRAIL	
(S14)	BOLLARD	
(S15)	UTILITY PAD	
(S16)	CONCRETE DUMPSTER PAD	
(S17)	DRIVEWAY RAMP	
(S18)	DIRECTIONAL ARROWS	
(S19)	PEDESTRIAN CROSSWALK	
(S20A)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(S22A)	CONCRETE RETAINING WALL	
(S22B)	SEGMENTAL RETAINING WALL	
(S23)	PAINTED STOP BAR (SPECIFY WIDTH)	

LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
TACTILE WARNING	[Pattern]



DEVELOPMENT NOTES

- THE PURPOSE OF THIS PLAN IS FOR PRELIMINARY APPROVAL OF SPECIFIC PLAN ZONING TO PERMIT 100 RESIDENTIAL UNITS.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 ADA; <http://www.ada.gov/>
 U.S. Justice Dept.; http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm
- TRASH AND RECYCLING SERVICE SHALL BE CONTRACTED THROUGH A PRIVATE COLLECTION SERVICE.

LINE	BEARING	DISTANCE
L1	S 46°52'47" E	5.85'
L2	S 41°48'13" W	1.53'
L3	N 46°57'33" W	13.44'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	144.13'	93.13'	88°40'17"	N 02°31'58" W	130.17'

P:\2019\20190039\Wg\Construction\20190039_C5-LAY_OUT PLAN May 31, 2023.jparker

Catalyst
 DESIGN GROUP
 5016 CENTENNIAL BLVD., SUITE 200, NASHVILLE, TN 37209
 (615) 866-2510 | WWW.CATALYST-DCG.COM

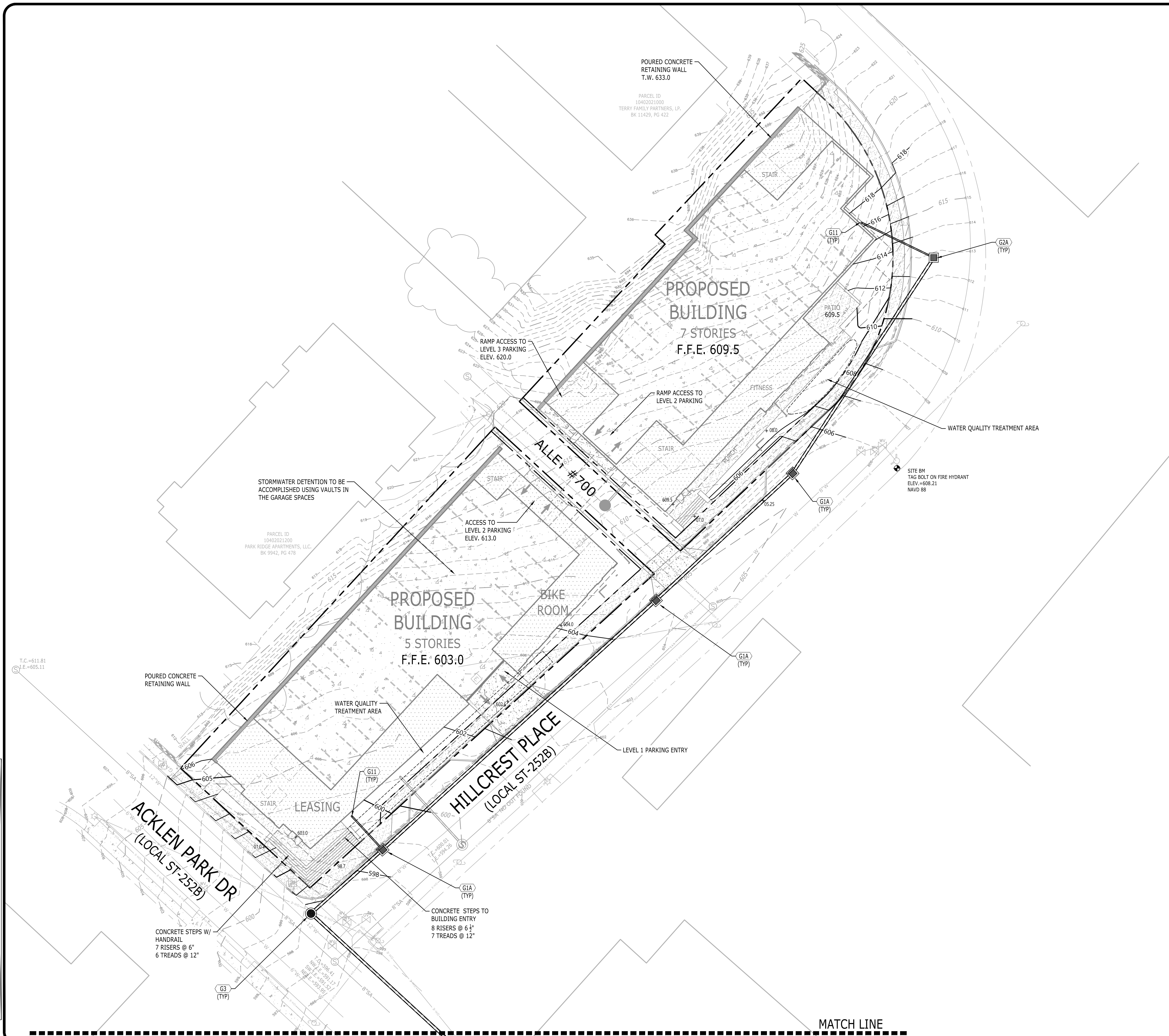
CHARTWELL
 RESIDENTIAL, LLC
 5000 MERIDIAN BLVD., STE 750
 FRANKLIN, TN 37067

CASE NO. 2019SP-053-001
 PRELIMINARY SP SITE PLAN
ACKLEN PARK DRIVE
MULTIFAMILY
 106 ACKLEN PARK DRIVE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	DESCRIPTION
2023.05.18		PRELIMINARY SP SITE PLAN SUBMITTAL
2023.05.09		PRELIMINARY SP SITE PLAN SUBMITTAL
2022.10.26		PRELIMINARY SP SITE PLAN SUBMITTAL

DRAWING TITLE	
SITE LAYOUT	

PROJECT NUMBER	20190039
DRAWING NUMBER	C5.0



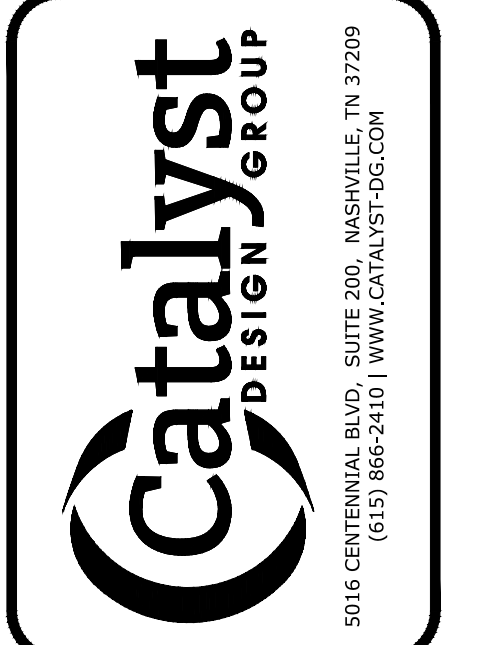
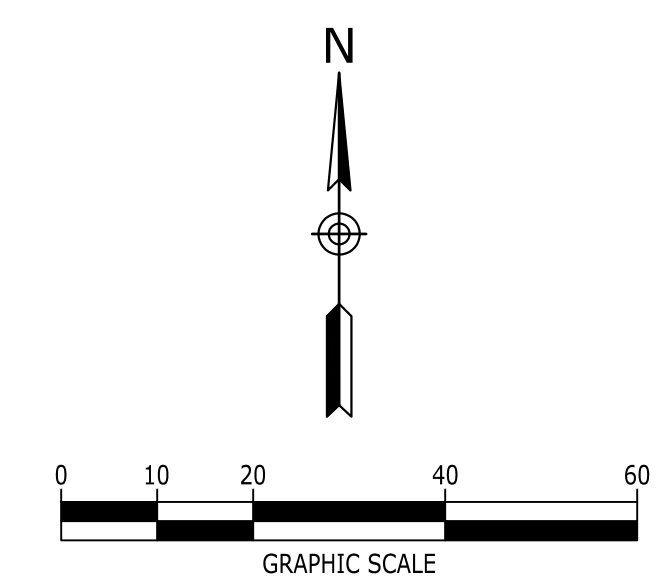
GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1A	CURB INLET	
G1B	DOUBLE CURB INLET	
G2A	CATCH BASIN	
G2B	DOUBLE CATCH BASIN	
G3	JUNCTION MANHOLE	
G4	NDS DRAIN INLET	
G5	CLEANOUT	
G6	DETENTION POND OUTLET STRUCTURE	
G7	WATER QUALITY STRUCTURE	
G8A	CONCRETE HEADWALL - STRAIGHT	
G8B	CONCRETE HEADWALL - WINGED	
G9	RIPRAP AT HEADWALL	
G10	RAIN GARDEN	
G11	BUILDING DOWNSPOUT CONNECTION	
G12	TRENCH DRAIN	
G13	CONCRETE FLUME	
G14	CURB CUT	
G15	SIDEWALK DRAIN	
G16	SILT FENCE	
G17	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER XX FEET	

- METRO NOTES**
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
 - ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICE.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
 - DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.

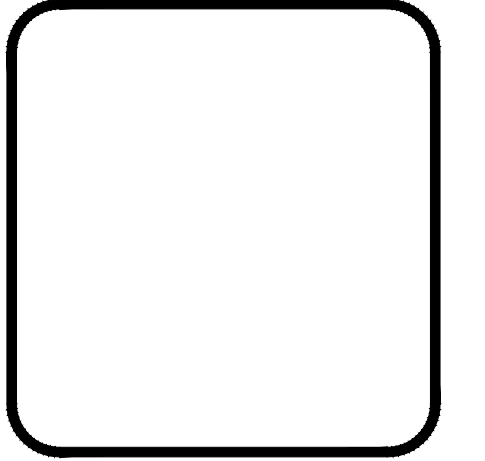
NOTE

- ADDITIONAL WATER QUALITY MAY BE REQUIRED AND WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW.

LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	
PROPOSED CONTOUR ELEV.	
DRAINAGE STRUCTURE	



CHARTWELL RESIDENTIAL, LLC
 5000 MERIDIAN BLVD., STE 750
 FRANKLIN, TN 37067



CASE NO. 2019SP-053-001
 PRELIMINARY SP SITE PLAN
ACKLEN PARK DRIVE MULTIFAMILY
 106 ACKLEN PARK DRIVE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	DESCRIPTION
1	2022.05.18	PRELIMINARY SP SITE PLAN SUBMITTAL
2	2023.05.09	PRELIMINARY SP SITE PLAN SUBMITTAL
3	2022.10.26	PRELIMINARY SP SITE PLAN SUBMITTAL

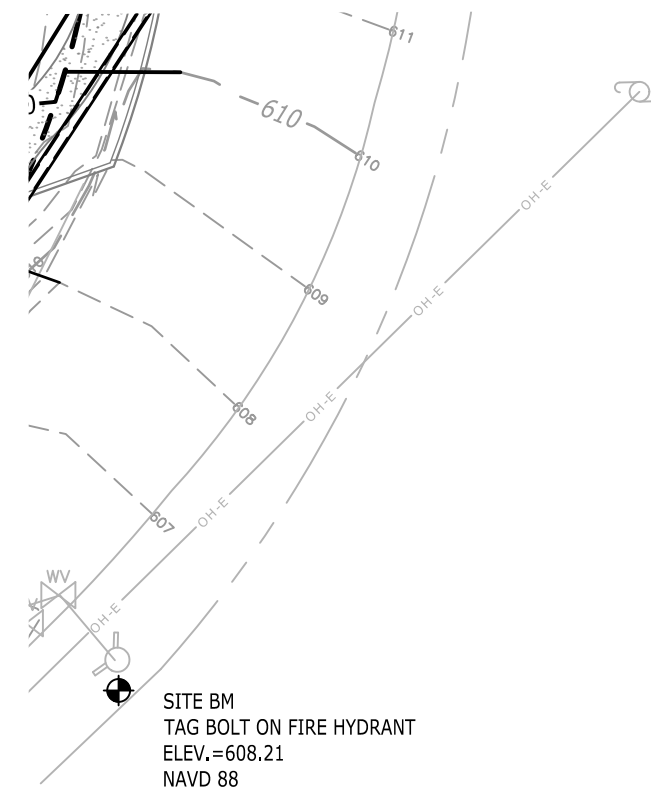
DRAWING TITLE
SITE GRADING & DRAINAGE

PROJECT NUMBER
 20190039

DRAWING NUMBER
C6.0

GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET # / SHT #
G1A	CURB INLET	
G1B	DOUBLE CURB INLET	
G2A	CATCH BASIN	
G2B	DOUBLE CATCH BASIN	
G3	JUNCTION MANHOLE	
G4	INDS DRAIN INLET	
G5	CLEANOUT	
G6	DETENTION POND OUTLET STRUCTURE	
G7	WATER QUALITY STRUCTURE	
G8A	CONCRETE HEADWALL - STRAIGHT	
G8B	CONCRETE HEADWALL - WINGED	
G9	RIPRAP AT HEADWALL	
G10	RAIN GARDEN	
G11	BUILDING DOWNSPOUT CONNECTION	
G12	TRENCH DRAIN	
G13	CONCRETE FLUME	
G14	CURB CUT	
G15	SIDEWALK DRAIN	
G16	SILT FENCE	
G17	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER XX FEET	

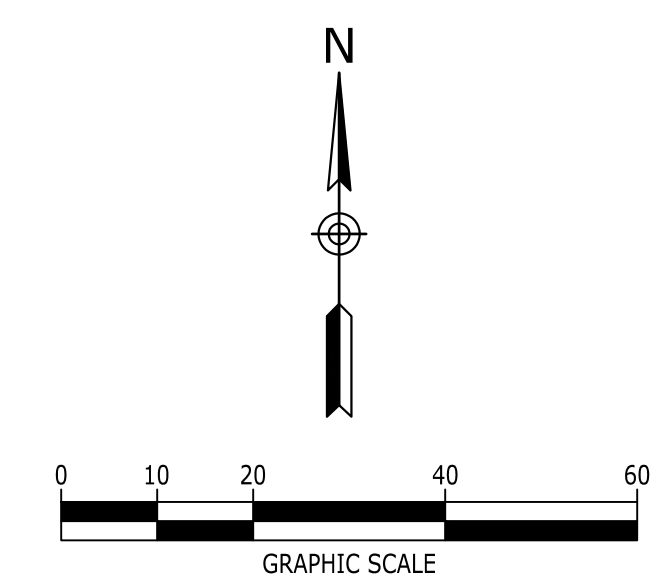
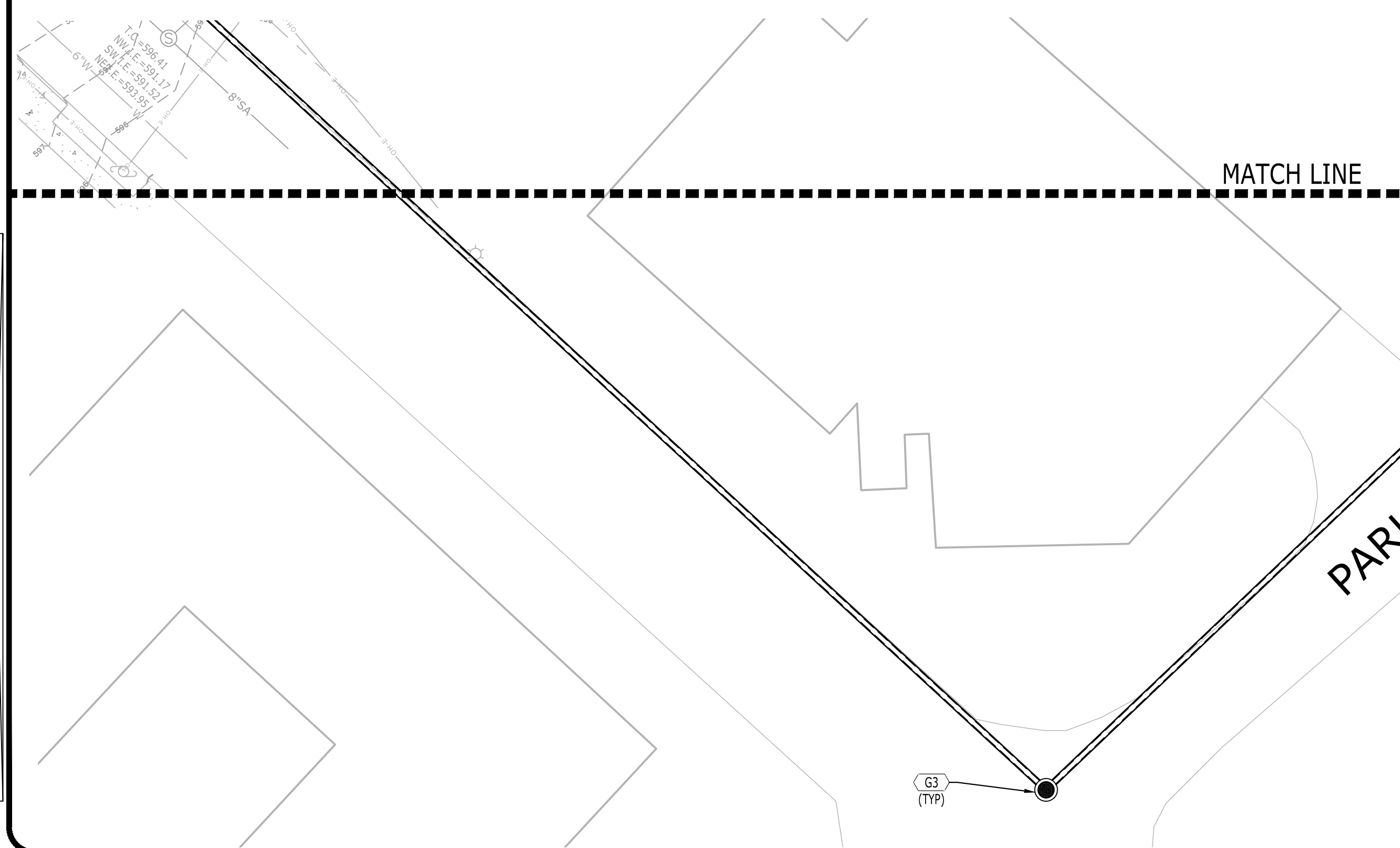
LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	+0.00
PROPOSED CONTOUR ELEV.	90
DRAINAGE STRUCTURE	



TIE PROPOSED STORM SEWER TO EXISTING DOUBLE CURB INLET

METRO NOTES

- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICE.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
- DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.



CHARTWELL RESIDENTIAL, LLC
5000 MERIDIAN BLVD., STE 750
FRANKLIN, TN 37067

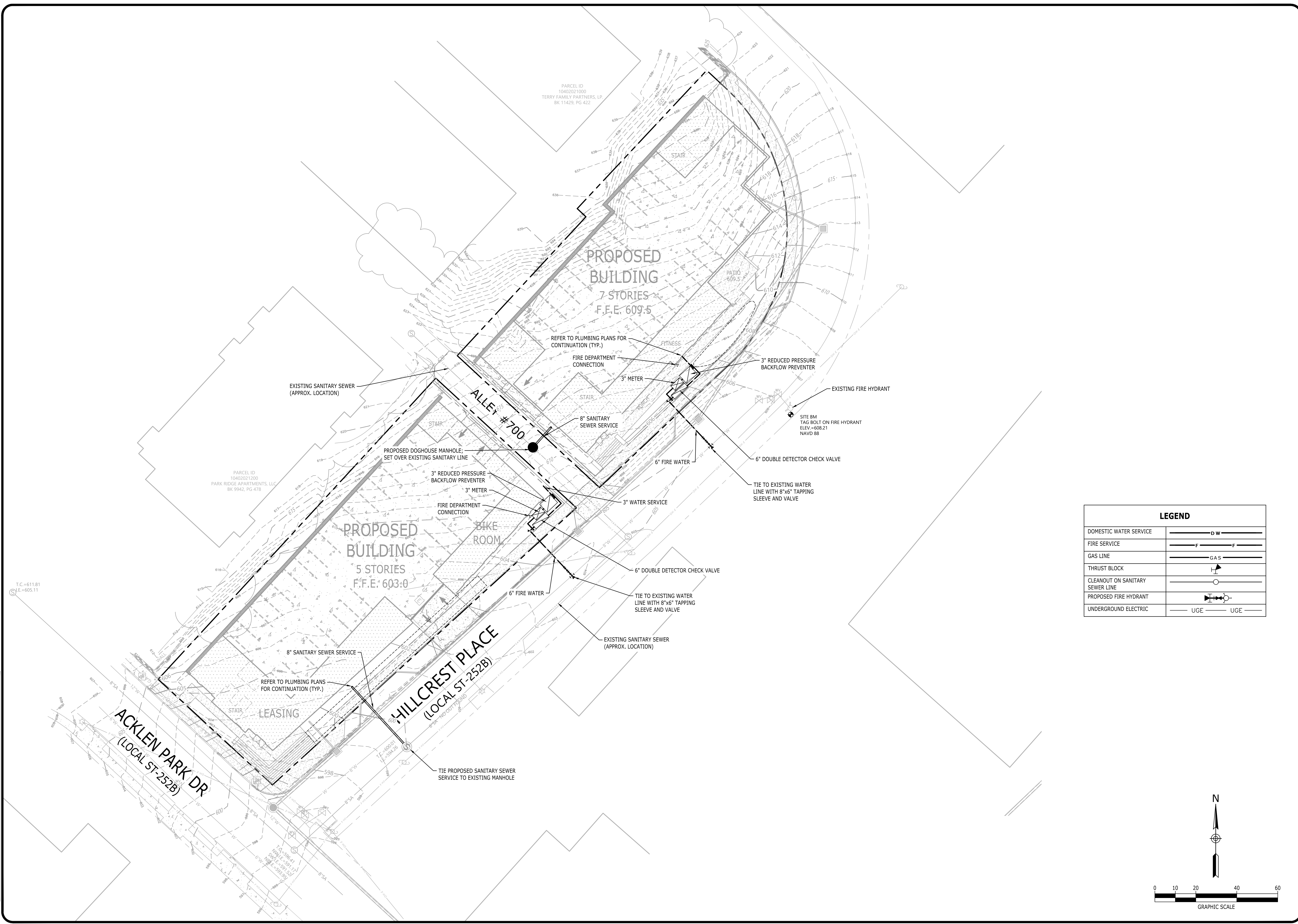
CASE NO. 2019SP-053-001
PRELIMINARY SP SITE PLAN
ACKLEN PARK DRIVE MULTIFAMILY
106 ACKLEN PARK DRIVE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	DATE	DESCRIPTION
1	2023.05.18	PRELIMINARY SP SITE PLAN SUBMITTAL
2	2023.05.09	PRELIMINARY SP SITE PLAN SUBMITTAL
3	2022.10.26	PRELIMINARY SP SITE PLAN SUBMITTAL

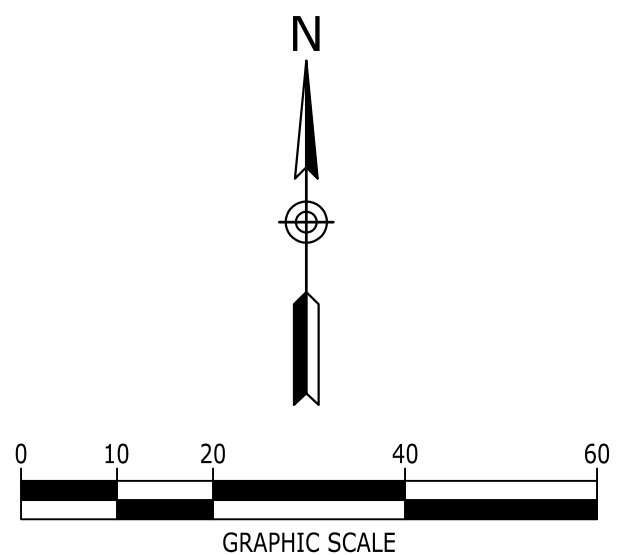
DRAWING TITLE
SITE GRADING & DRAINAGE

PROJECT NUMBER
20190039

DRAWING NUMBER
C6.1



LEGEND	
DOMESTIC WATER SERVICE	D W
FIRE SERVICE	F F
GAS LINE	G A S
THRUST BLOCK	↑
CLEANOUT ON SANITARY SEWER LINE	○
PROPOSED FIRE HYDRANT	⊕
UNDERGROUND ELECTRIC	U G E U G E



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106 ACKLEN PARK DRIVE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

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3	2022.10.26	PRELIMINARY SP SITE PLAN SUBMITTAL

DRAWING TITLE
SITE UTILITIES

PROJECT NUMBER
20190039

DRAWING NUMBER
C7.0

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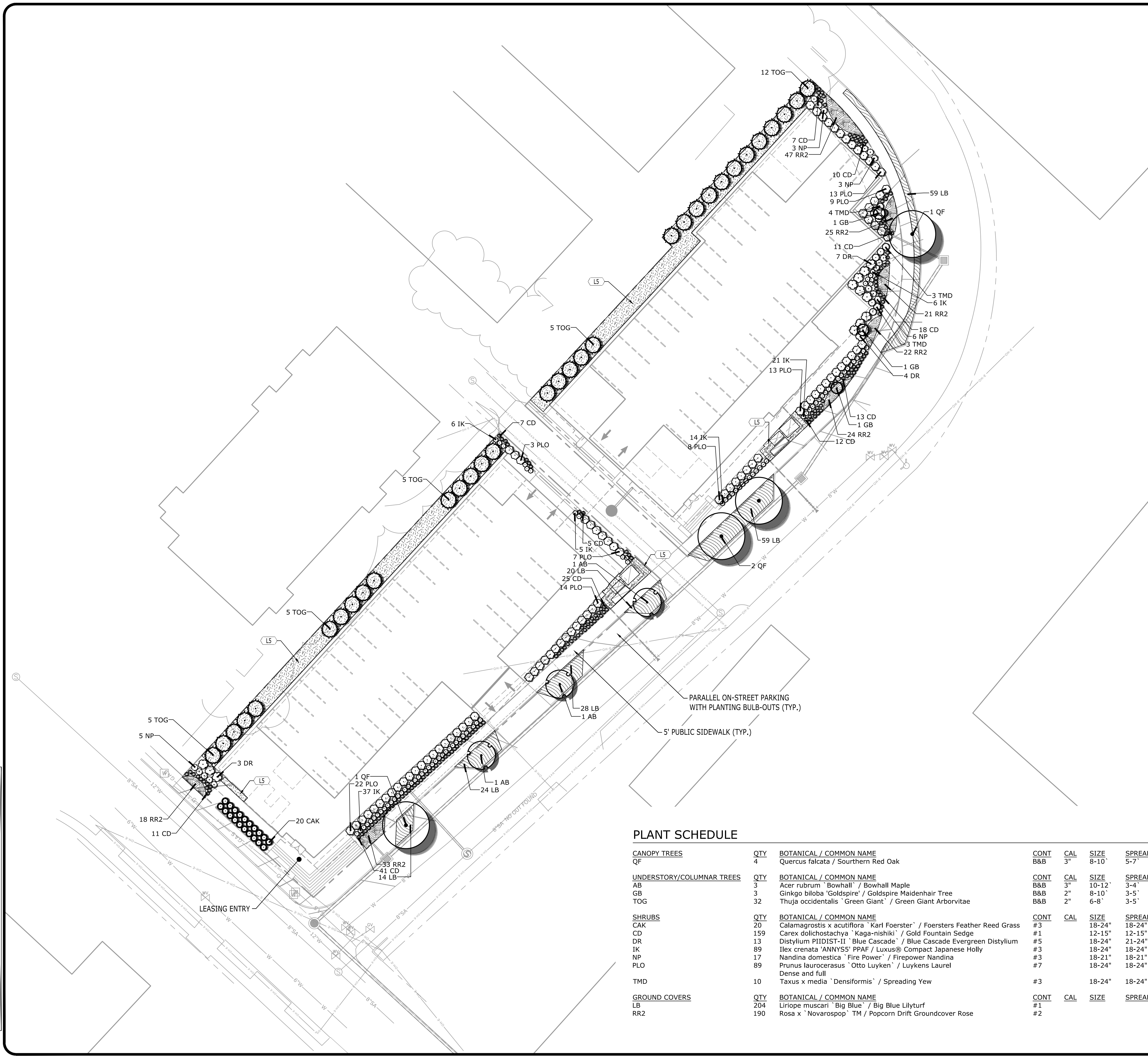
PARCEL ID
10402021000
TERRY FAMILY PARTNERS, LP
BK 11429, PG 422

PARCEL ID
10402021200
PARK RIDGE APARTMENTS, LLC
BK 9942, PG 478

T.C.=611.81
S.E.=605.11

T.A.=596.41
N.W.L.=591.15
S.W.L.=591.97

T.C.=600.01
S.E.=598.26



LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	
L2	IRRIGATION LIMITS	
L3	AREA TO BE SEEDED	
L4	AREA TO BE SODDED	
L5	AREA TO BE 4"-6" SLATE CHIPS	

TREE DENSITY UNIT WORKSHEET	
DATE	10/25/2022
MAP & PARCEL	10402021400, 10402020700, 10402020600
APPLICATION NUMBER	
PROJECT NAME	ACKLEN PARK DRIVE MULTIFAMILY
ADDRESS	106 ACKLEN PARK DRIVE, NASHVILLE TN 37203
ACREAGE	0.75
BUILDING COVERAGE	0.64
REQUIRED DENSITY	(0.75-0.64) x 22
TOTAL REQUIRED TDU	2.42

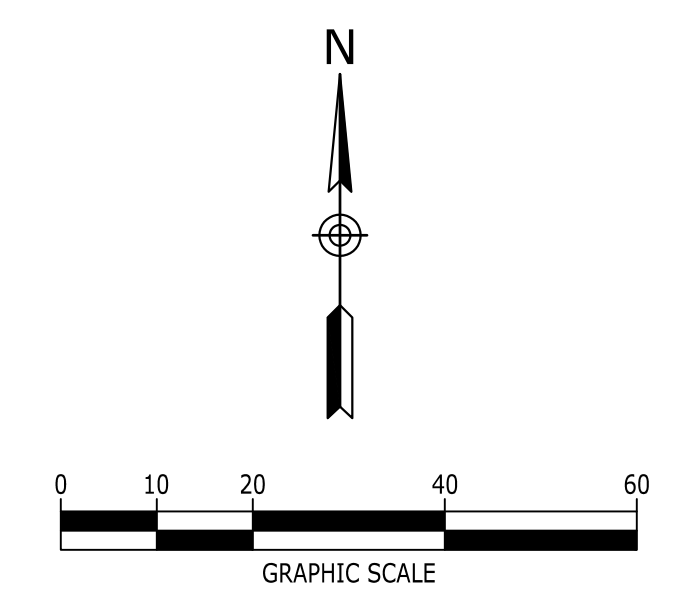
REPLACEMENT TREES - LARGE & MEDIUM CANOPY TREES			
DBH	#	VALUE	TDU
2"	0	0.50	0.000000
3"	4	0.60	2.400000

REPLACEMENT TREES - COLUMNAR & UNDERSTORY TREES			
DBH	#	VALUE	TDU
2"	35	0.25	8.750000
3"	3	0.30	0.900000

TOTAL REPLACED TDU	12.050000
TOTAL TDU PROVIDED	12.050000
TREE BANK PAYMENT	\$0

PLANT SCHEDULE

CATEGORY	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
CANOPY TREES						
QF	4	Quercus falcata / Sourthern Red Oak	B&B	3"	8-10'	5-7'
UNDERSTORY/COLUMNAR TREES						
AB	3	Acer rubrum 'Bowhall' / Bowhall Maple	B&B	3"	10-12'	3-4'
GB	3	Ginkgo biloba 'Goldspire' / Goldspire Maidenhair Tree	B&B	2"	8-10'	3-5'
TOG	32	Thuja occidentalis 'Green Giant' / Green Giant Arborvitae	B&B	2"	6-8'	3-5'
SHRUBS						
CAK	20	Calamagrostis x acutiflora 'Karl Foerster' / Foersters Feather Reed Grass	#3		18-24"	18-24"
CD	159	Carex dolichostachya 'Kaga-nishiki' / Gold Fountain Sedge	#1		12-15"	12-15"
DR	13	Distylium PIIIDIST-II 'Blue Cascade' / Blue Cascade Evergreen Distylium	#5		18-24"	21-24"
JK	89	Ilex crenata 'ANNYS' PPAF / Luxus® Compact Japanese Holly	#3		18-24"	18-24"
NP	17	Nandina domestica 'Fire Power' / Firepower Nandina	#3		18-21"	18-21"
PLO	89	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	#7		18-24"	18-24"
		Dense and full				
TMD	10	Taxus x media 'Densiformis' / Spreading Yew	#3		18-24"	18-24"
GROUND COVERS						
LB	204	Liriope muscari 'Big Blue' / Big Blue Lilyturf	#1		30" o.c.	
RR2	190	Rosa x 'Novarosop' TM / Popcorn Drift Groundcover Rose	#2		18" o.c.	



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 106 ACKLEN PARK DRIVE
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NO.	DATE	DESCRIPTION
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	2022.10.26	PRELIMINARY SP SITE PLAN SUBMITTAL

DRAWING TITLE
SITE LANDSCAPE

PROJECT NUMBER
 20190039

DRAWING NUMBER
L1.0

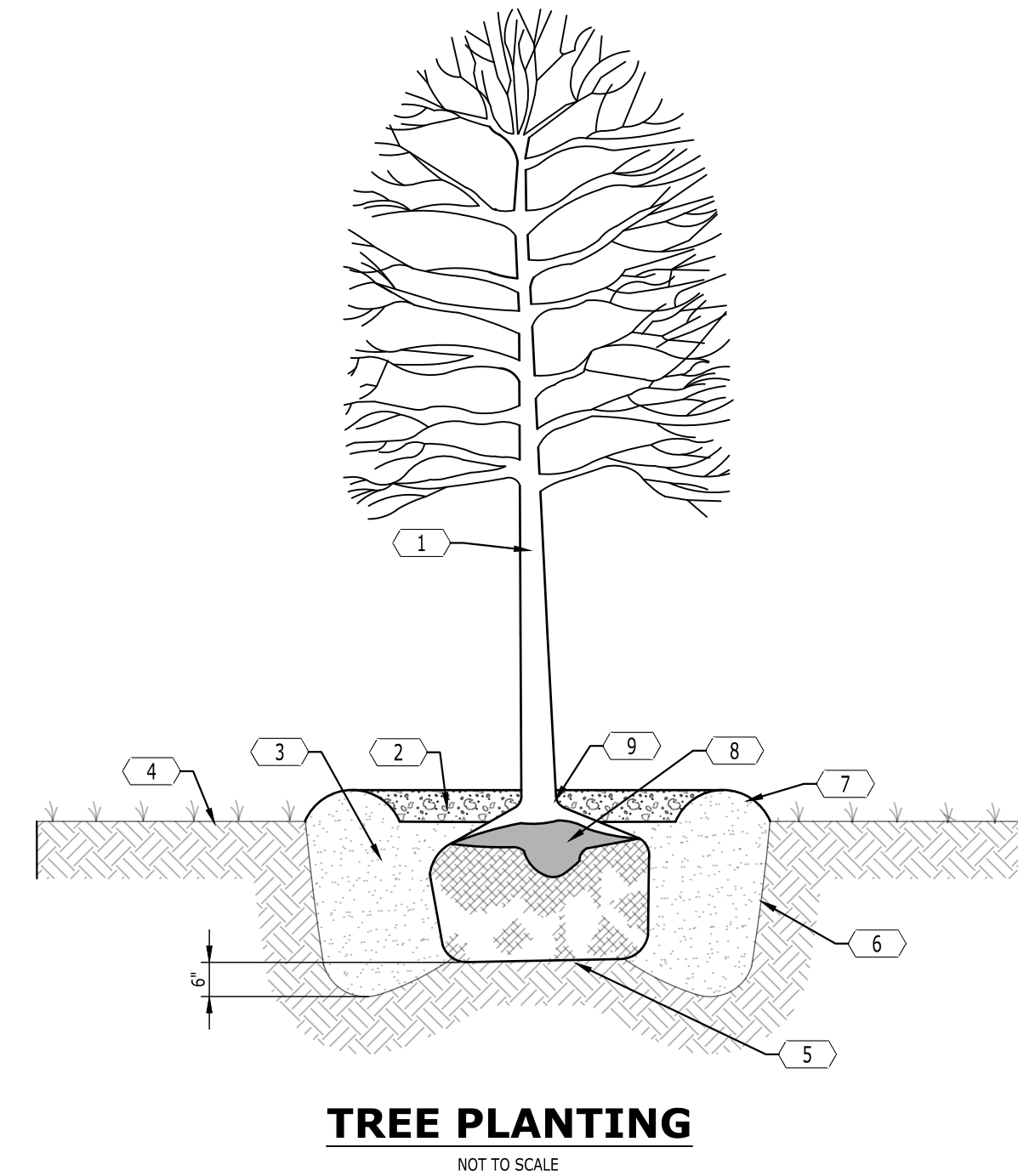
PLANTING NOTES

1. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY SURVEY COMPANY DATED SURVEY DATE. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 4" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS
7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSEY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
16. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
23. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (25#) 10-10-10 FERTILIZER PER 1000 SQ. FT. IF AZALEAS, RHODODENDRONS OR PIERIS ARE USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
24. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

KEYNOTES	
CODE	DESCRIPTION
1	CLEAN TRUNK TO HEIGHT SPECIFIED
2	3" DEEP LAYER OF MULCH
3	BACKFILL WITH EXISTING SOIL PER METRO REQUIREMENTS.
4	FINISH GRADE
5	SET ROOT BALL ON UNDISTURBED SOIL AT BOTTOM OF PIT.
6	SLOPE AND SCARIFY SIDES OF PIT
7	FORM RAISED SOIL RING WITH TOPSOIL (MINIMUM 3" HIGH, CONTINUOUS AROUND TREE).
8	FOLD DOWN OR CUT AND REMOVE TOP THIRD OF BURLAP. IF NON-BIODEGRADABLE WRAP IS USED, REMOVE COMPLETELY. REMOVE WIRE BASKET COMPLETELY.
9	CROWN OF ROOT BALL SHALL INSTALLED 2"-4" ABOVE FINISHED GRADE ELEVATION.

NOTES:

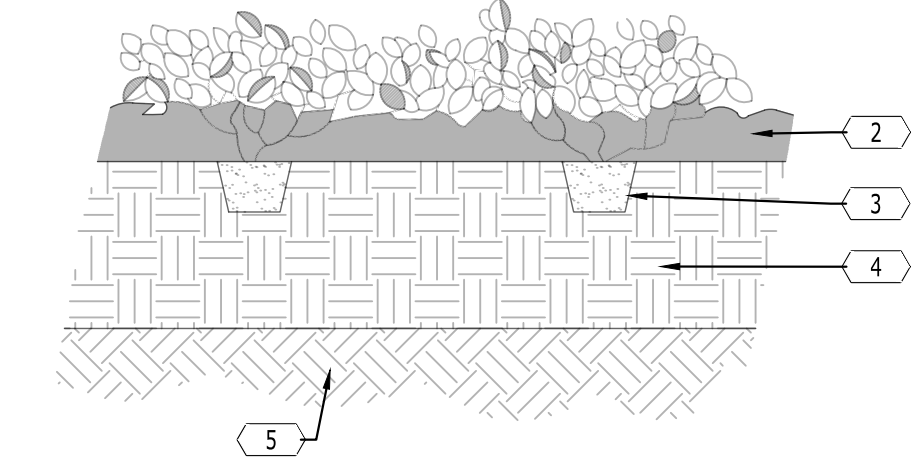
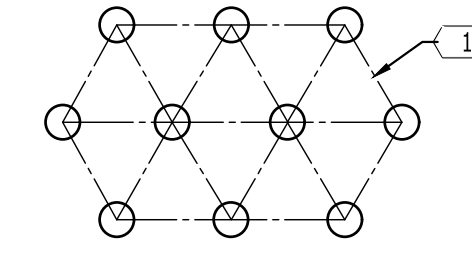
1. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
2. WATER THOROUGHLY AFTER INSTALLATION.
3. TREE SHALL BE STOOD PLUMB.
4. REMOVE ALL TAGS, ROPE, TRUNK WRAP AND CONTAINERS.



IRRIGATION NOTES

1. LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
3. IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORO OR RAINBIRD. IRRIGATION CONTROLLER SHALL BE TORO VISION II MODEL OR APPROVED EQUAL.
4. MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
5. IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
6. INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
7. WIRE CONNECTIONS TO BE MADE BY USING RAINBIRD MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
8. LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
9. ALL VALVES SHALL BE LOCATED IN AMATEX 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
10. IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

KEYNOTES	
CODE	DESCRIPTION
1	ALL GROUNDCOVER BEDS SHALL BE PLANTED USING TRIANGULAR SPACING, UNLESS SHOWN OTHERWISE. REFER TO THE PLANT SCHEDULE FOR SPACING.
2	4" HARDWOOD MULCH LAYER
3	REMOVE PLASTIC POT OR SPLIT PEAT POT
4	PREPARED SOIL MIXTURE: 1 PART ORGANIC GARDEN SOIL, 1 PART SAND, 2 PARTS NATIVE TOPSOIL, THOROUGHLY BLEND SOIL MIXTURE BEFORE PLACING.
5	UNDISTURBED SUBGRADE

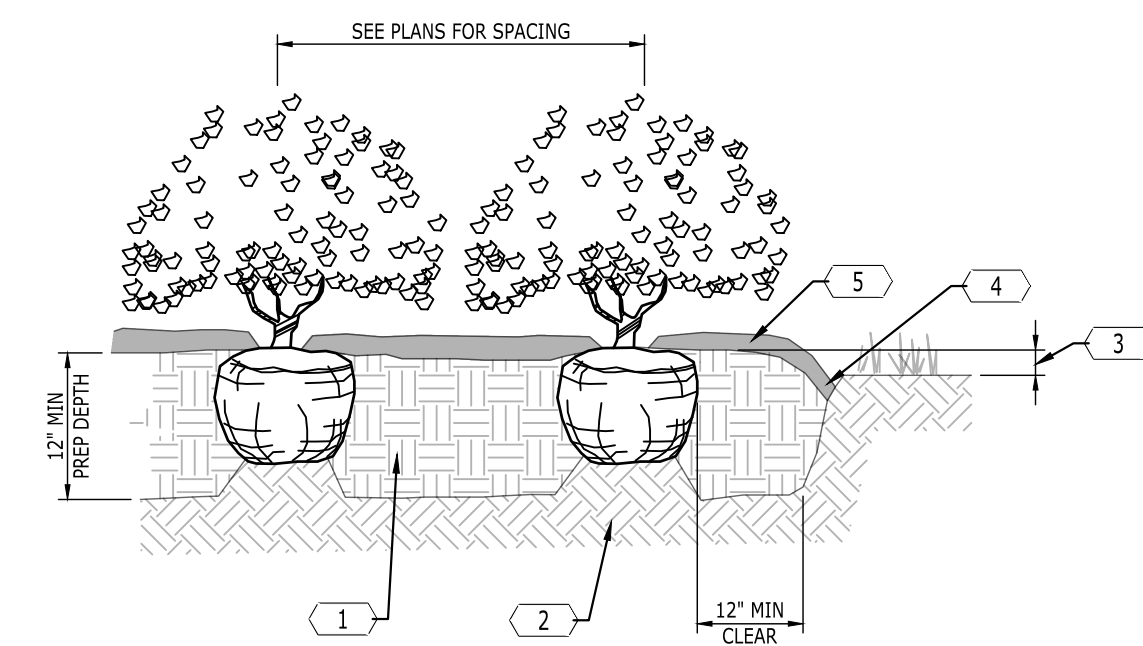


1

KEYNOTES	
CODE	DESCRIPTION
1	PLANTING MIX AS SPECIFIED
2	UNDISTURBED SUBGRADE. PROVIDE SUBGRADE PEDESTAL FOR EACH SHRUB INSTALLED, TO AVOID SETTLEMENT.
3	TOP OF ROOT BALL TO BE 1"-2" HIGHER THAN THE ADJACENT GRADE
4	"V" TRENCH AROUND PLANTING BED
5	3" HARDWOOD MULCH LAYER. CLEAR MULCH FROM WOODY SHRUB STEMS TO PREVENT FUNGAL GROWTH AND DECAY.

NOTES:

1. TAMP PLANTING MIX AS PIT IS FILLED AROUND EACH PLANT BALL.
2. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER PLANTING.
3. SCARIFY THE ROOT BALL IF ROOT-BOUND IN ITS CONTAINER.
4. WHERE SHRUBS APPEAR IN BED AREAS, 3" OF MULCH SHALL BE SPREAD OVER THE ENTIRE AREA WITHIN THE BED EDGE AS INDICATED ON THE PLANS.
5. DO NOT PRUNE BEFORE ACCEPTANCE.
6. REMOVE BURLAP FROM TOP THIRD OF ROOT BALL OR CAREFULLY REMOVE THE PLASTIC CONTAINER, IF ONE IS USED.
7. BACKFILL WITH SOIL MIXTURE AS FOLLOWS: 1 PART COMPOSTED GARDEN SOIL; 1 PART SAND AND 2 PARTS NATIVE TOPSOIL.



2



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FRANKLIN, TN 37067

CASE NO. 2019SP-053-001
PRELIMINARY SP SITE PLAN
ACKLEN PARK DRIVE MULTIFAMILY
106 ACKLEN PARK DRIVE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

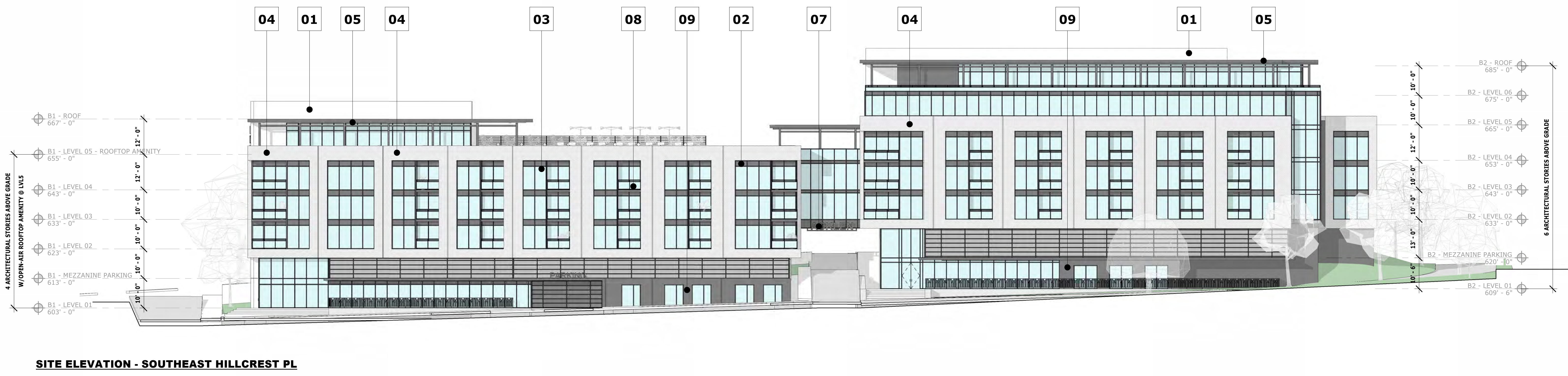
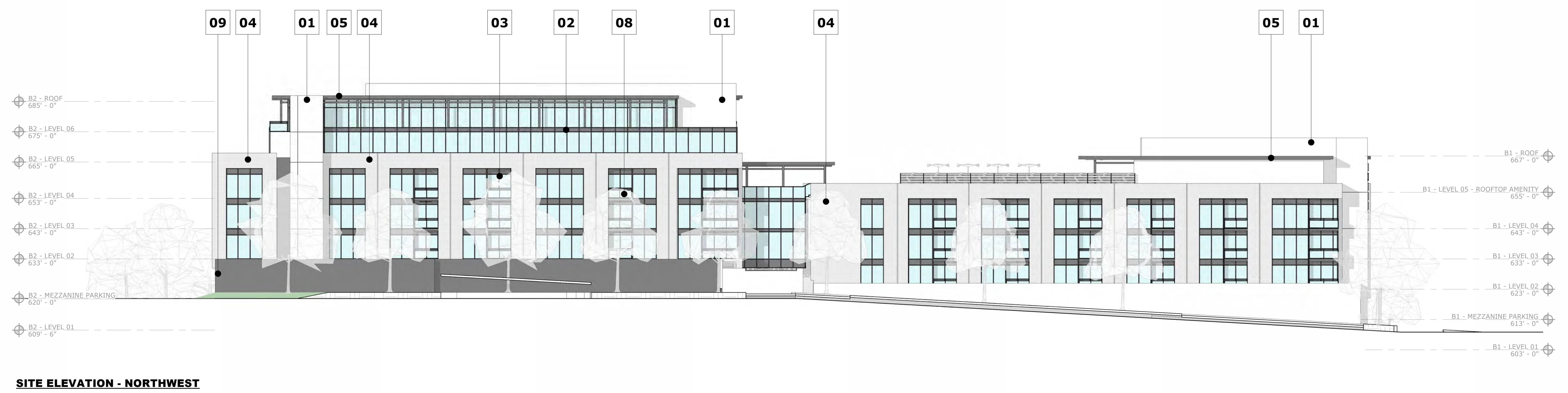
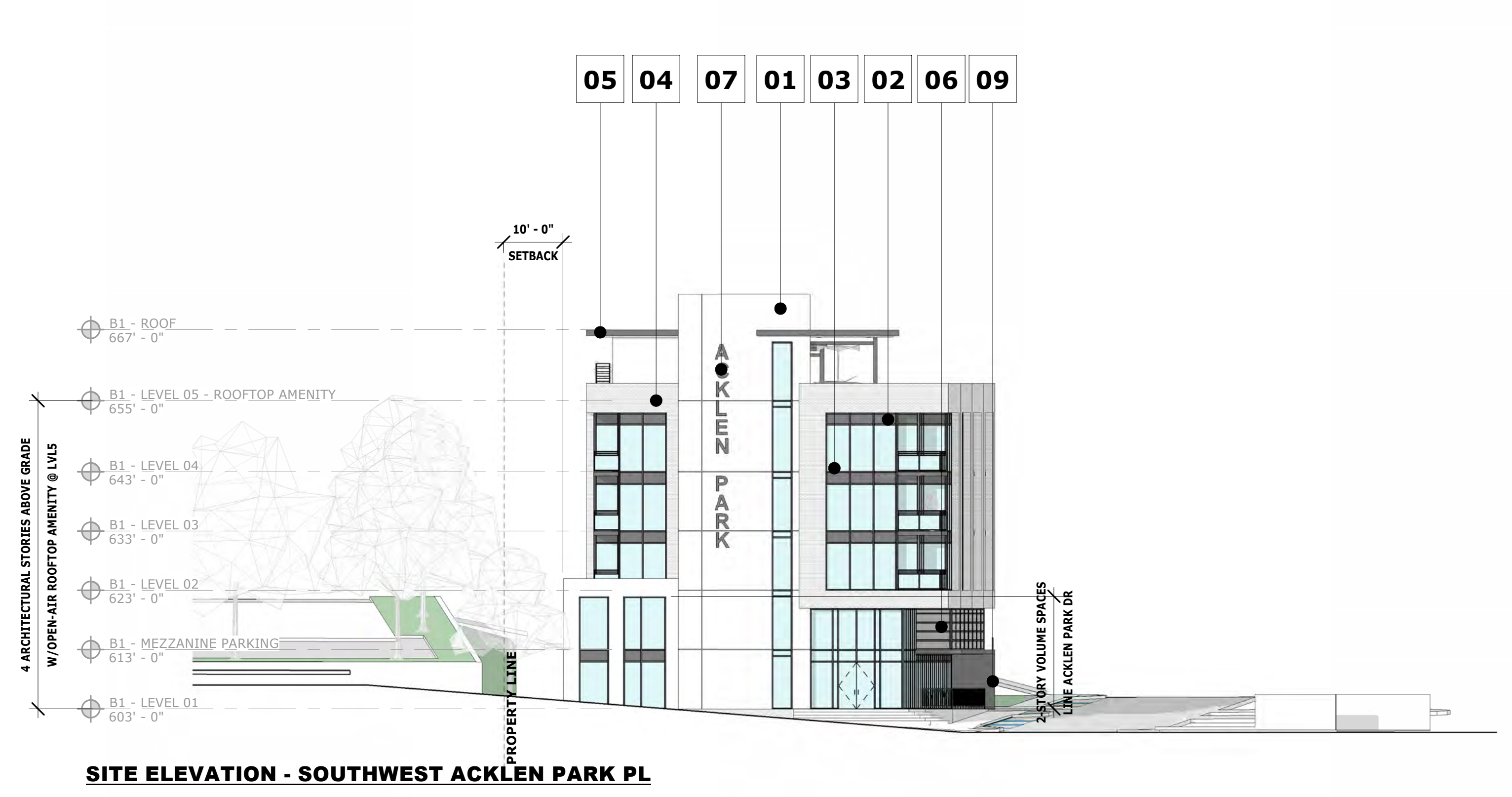
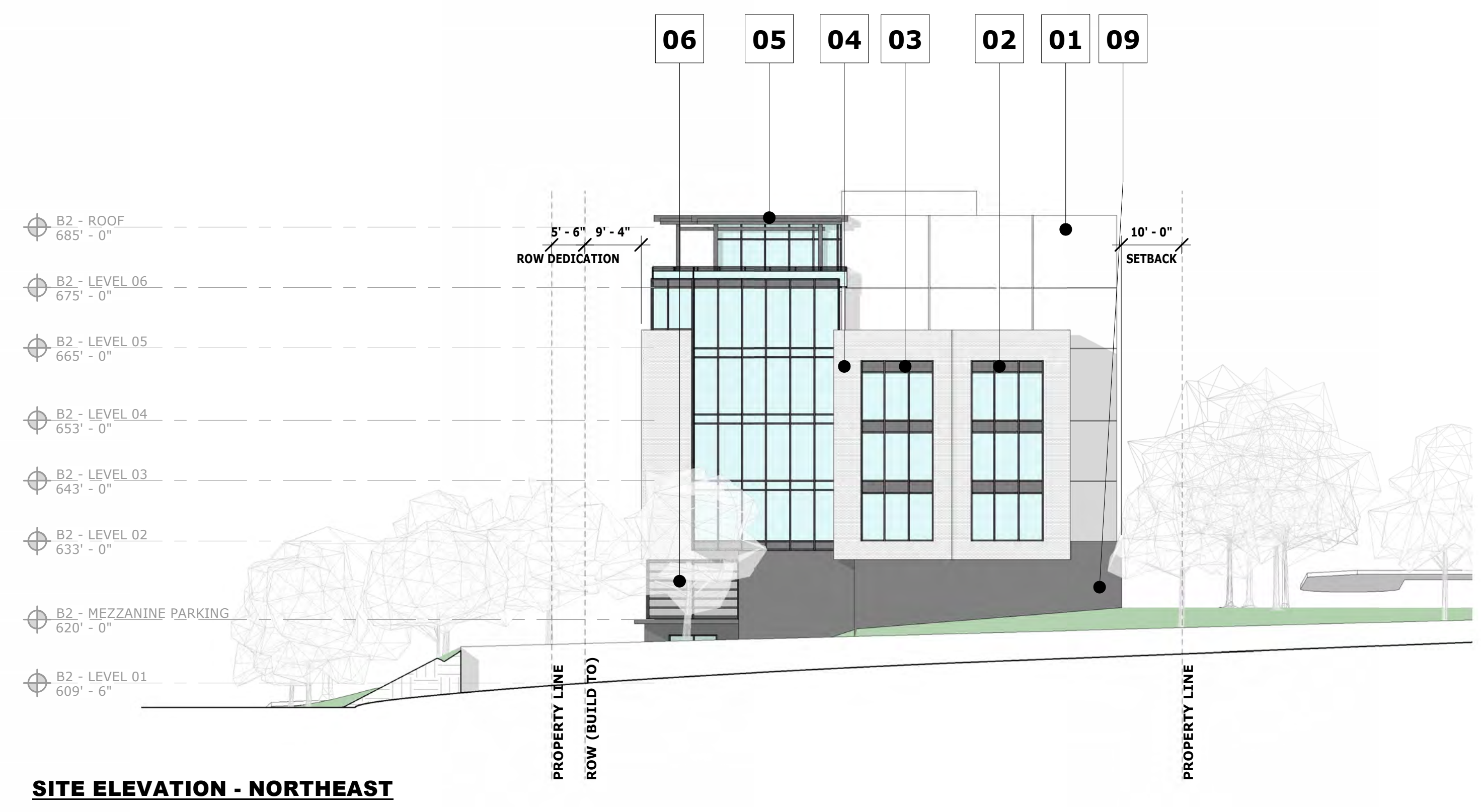
NO.	DATE	DESCRIPTION
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DRAWING TITLE
LANDSCAPE DETAILS

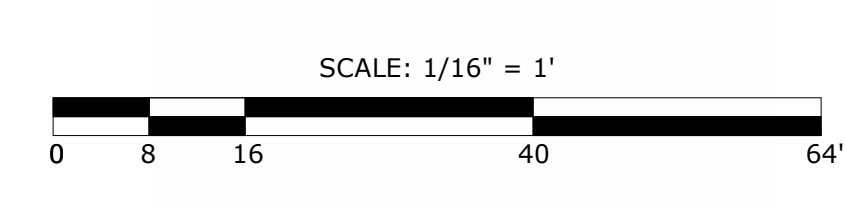
PROJECT NUMBER
20190039
DRAWING NUMBER

L2.0

ELEVATION KEYNOTES	
MARK	DESCRIPTION
01	APPLIED STUCCO ON METAL LATH; FINISH: WHITE
02	INSULATED METAL INFILL PANEL; FINISH: CHARCOAL GRAY
03	CURTAINWALL SYSTEM; FRAME: CHARCOAL GRAY; GLAZING: BLUE-TINT 1" INSULATED IGU
04	THIN-BRICK VENEER RAINSCREEN SYSTEM
05	CUSTOM ALUMINUM CANOPY; FINISH: CHARCOAL GRAY FRAME WITH FAUX WOOD SOFFIT
06	STOREFRONT SYSTEM; FRAME: CHARCOAL GRAY; GLAZING: GRAY-TINT 1" INSULATED IGU
07	EXTRUDED ALUMINUM CHANNEL LETTER SIGNAGE, LED BACK-LIT
08	GLAZED GAURDRAIL WITH CHARCOAL GRAY TOP RAIL TO MATCH FRAMING
09	THIN-SET, 1/2 RUNNING BOND, MODERN STONE TILES AT BASE OF BUILDING, TYP; FINISH: SMOOTH TEXTURE, CHARCOAL GRAY STONE, BACK MORTAR

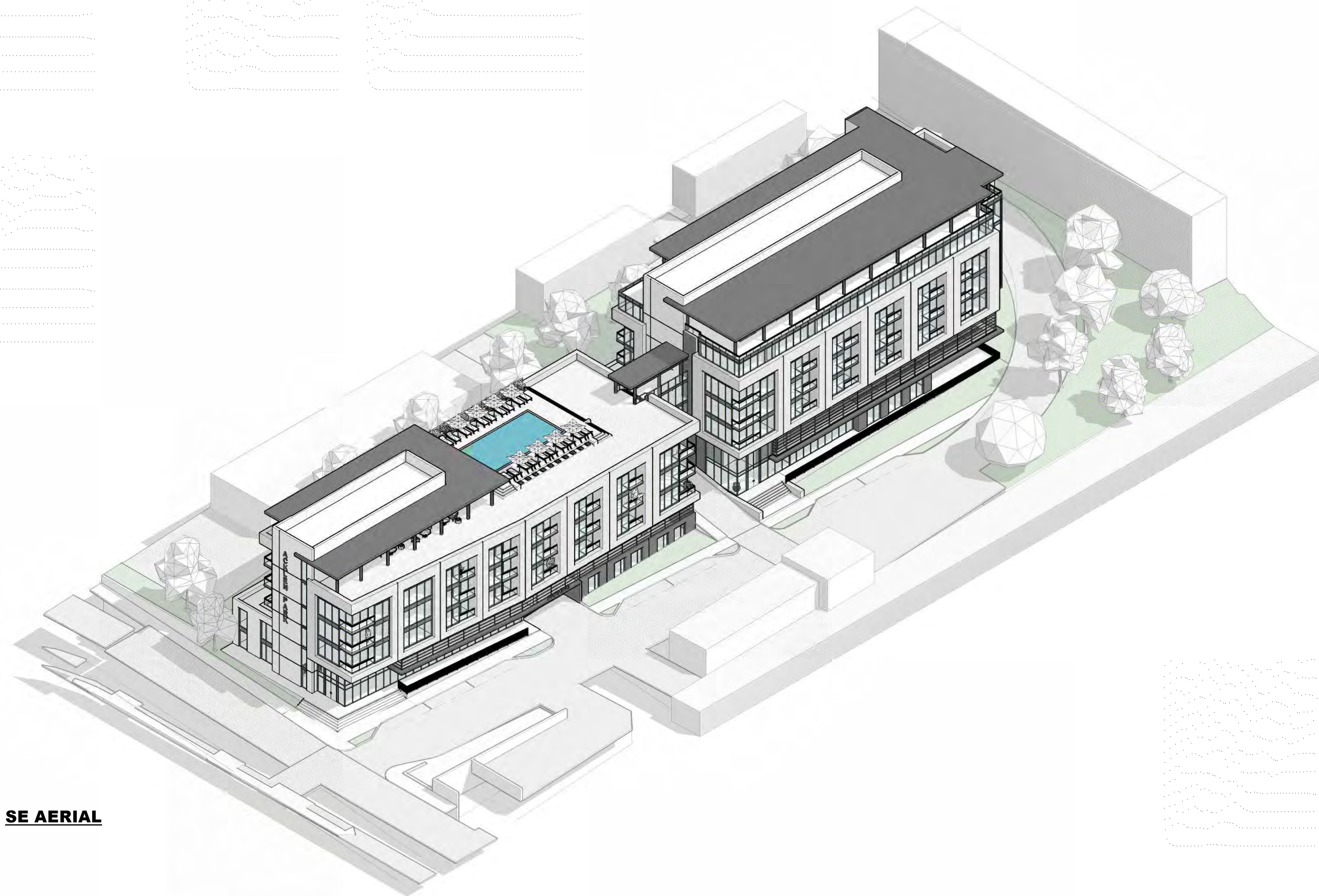


OVERALL SITE ELEVATIONS

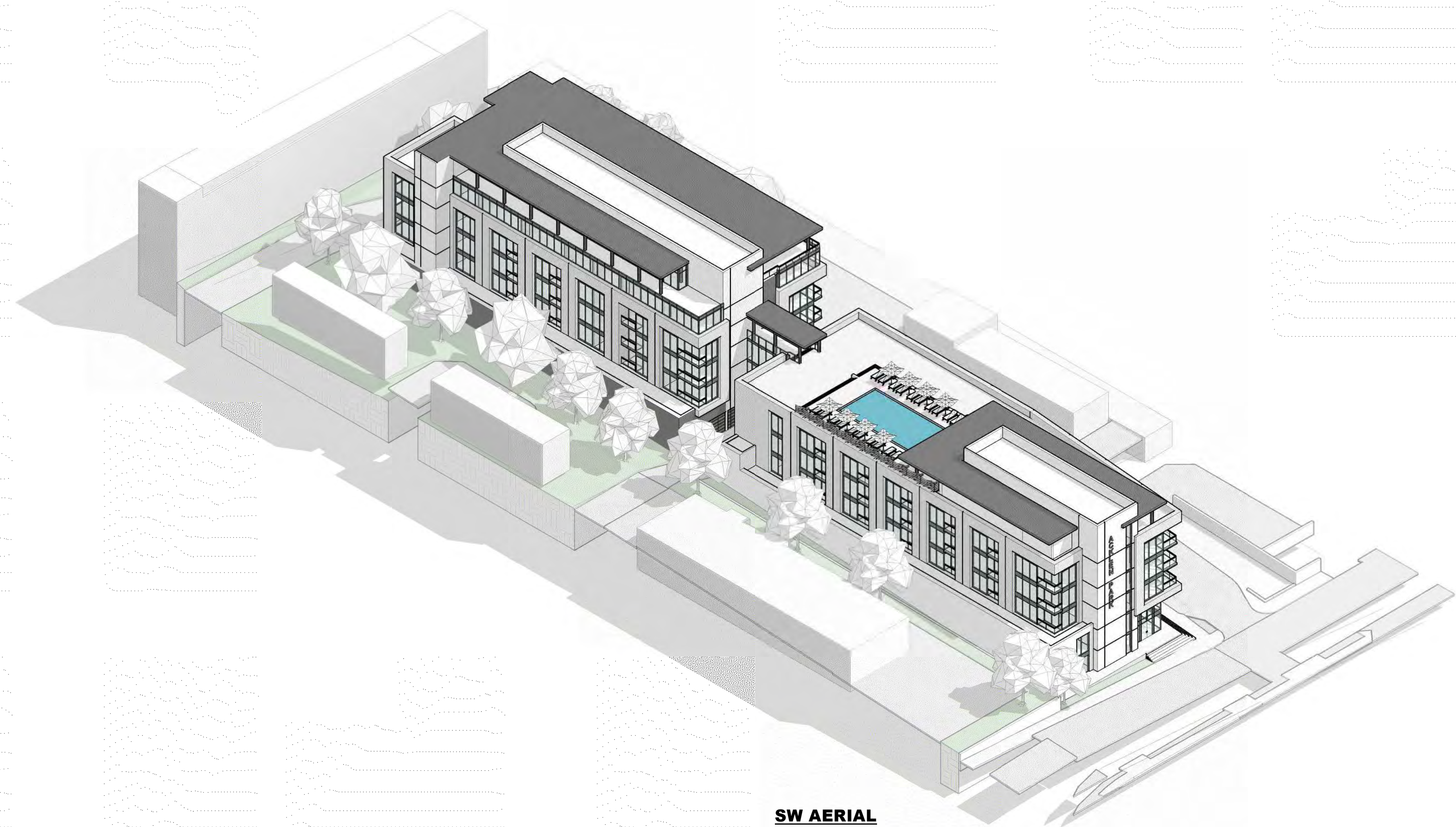


A201

NOT FOR CONSTRUCTION



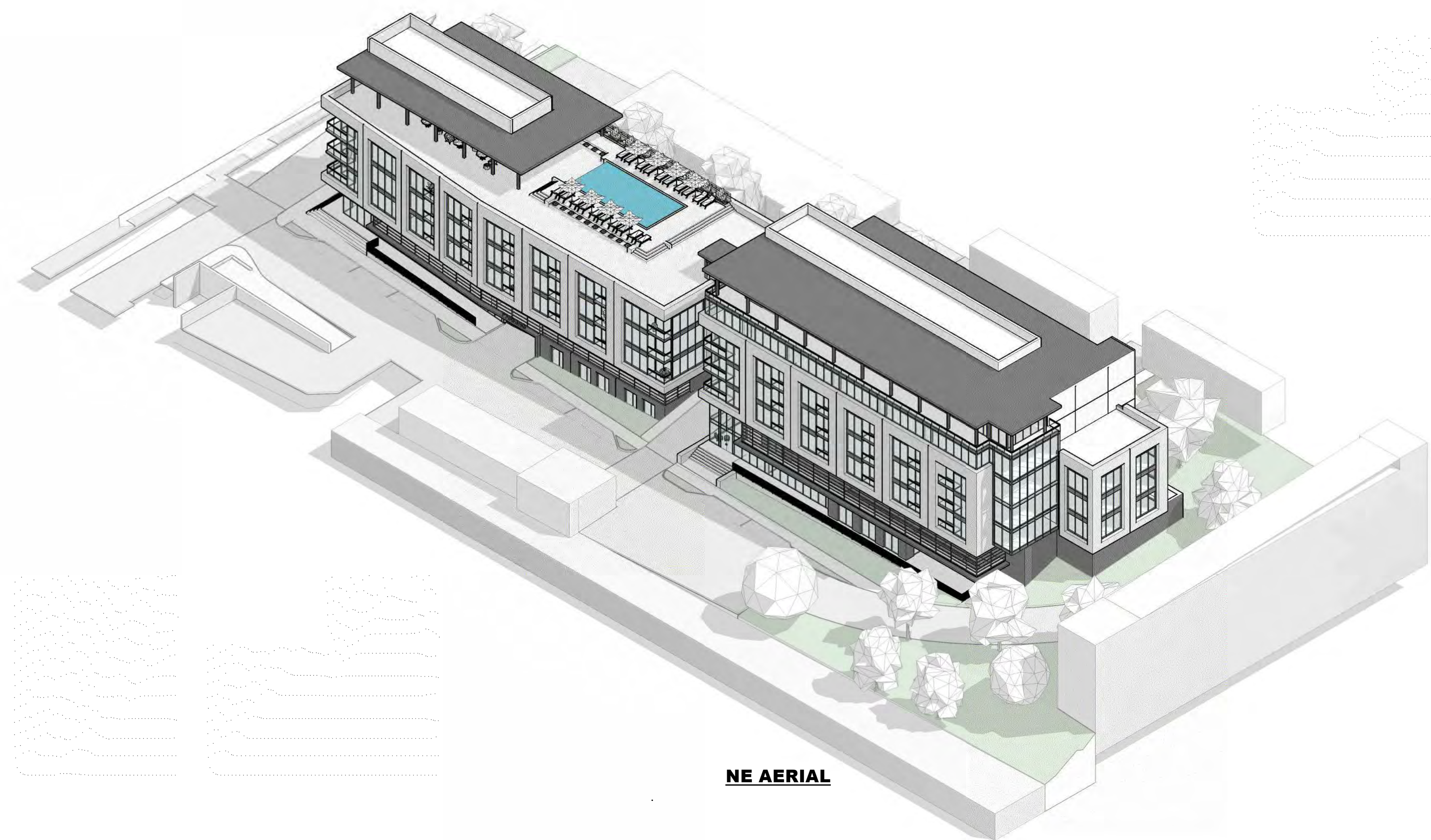
SE AERIAL



SW AERIAL



NW AERIAL



NE AERIAL

3D VIEWS

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION