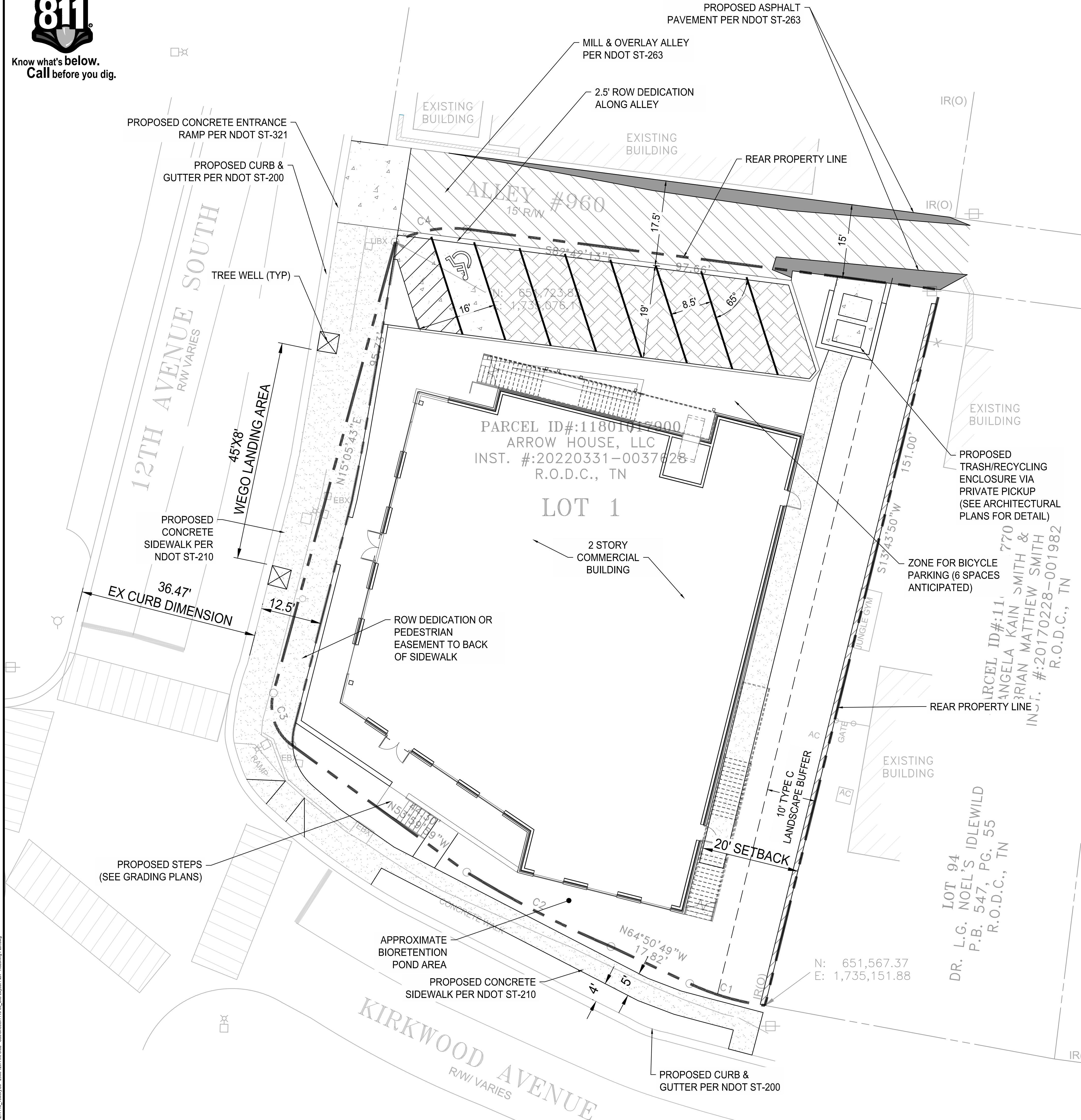




Know what's below.
Call before you dig.



SITE DATA TABLE

PROJECT INFORMATION	
OWNER:	2908 12TH S PARTNERS, LLC
COUNCIL DISTRICT:	18 - TOM CASH
PHASES:	1
PROPERTY INFORMATION	
ADDRESS:	2908 12TH AVE S
FEMA:	47037C0356H (04/05/2017)
TAX MAP / PARCEL ID:	11801017900
LOT AREA:	14,885 SF (0.34 AC)
CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
STREET SETBACK:	0'-15' BUILD TO ZONE
ALLEY SETBACK:	0' ALONG ALLEY
REAR SETBACK:	20' ALONG EASTERN PROPERTY LINE
BUILD-TO ZONE:	0 - 15'
ZONING CLASSIFICATION	
JURISDICTION:	METRO NASHVILLE
EXISTING ZONING:	CS (OV-UZO)
PROPOSED ZONING:	SP (2024SP-057-001)
ALLOWED USES:	PER MUN-A-NS RESIDENTIAL USES PROHIBITED; NO MAX SQUARE FOOTAGE PER USER AND MORE THAN ONE ESTABLISHMENT PER USE ALLOWED

NOTE: FOR DEVELOPMENT STANDARDS AND REQUIREMENTS NOT SPECIFICALLY INCLUDED WITHIN THIS REGULATORY SP AND/OR INCLUDED AS A CONDITION OF METRO COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

BUILDING AREA	
FAR (MAX.):	1.0
ISR (MAX.):	0.9
BUILDING HEIGHT (MAX.):	2 STORIES (40' MAXIMUM)

PARKING SUMMARY	
PARKING REQUIRED	PER URBAN ZONING OVERLAY MAXIMUMS
BICYCLE PARKING REQUIRED	PER ZONING CODE (6 SPACES ANTICIPATED)

PURPOSE NOTE
• TO CREATE A COMMERCIAL DEVELOPMENT IN A T4 NC URBAN NEIGHBORHOOD CENTER

- DESIGN STANDARDS
- MINIMUM FIRST FLOOR HEIGHT: 14'
 - GLAZING % GROUND LEVEL: 30% ON 12TH AVE AND 20% ON KIRKWOOD (DUE TO FIRE EGRESS LOCATION)
 - GLAZING % SECOND FLOOR: 20% ON 12TH AND 10% ON KIRKWOOD (DUE TO FIRE EGRESS LOCATION)
 - STREET FACING FACADES TO COVER MINIMUM 60% OF STREET FRONTAGE
 - BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, STUCCO, CAST STONE, CEMENTITIOUS SIDING, METAL PANEL, GLASS OR MATERIALS SIMILAR IN FORM OR FUNCTION, UNLESS OTHERWISE APPROVED ON BUILDING DETAILS ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM THE RIGHT-OF-WAY BY LANDSCAPING OR AN ENCLOSURE, OR A COMBINATION OF BOTH. SCREENING DETAILS ARE TO BE SUBMITTED WITH THE FINAL SITE PLAN.
 - HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (4 MOST EXTERIOR CORNERS) TO THE MIDPOINT OF THE PRIMARY ROOF PITCH OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF
 - WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER
 - BUILDING FACADES FACING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE.
 - PORCHES SHALL PROVIDE A MINIMUM DEPTH OF 6 FEET.

- LANDSCAPE STANDARDS
- TYPE C BUFFER TO BE PROVIDED ADJACENT TO RESIDENTIALLY ZONED PARCELS.
 - LANDSCAPING AND TREE DENSITY PER METRO ZONING ORDINANCE.
 - SCREENING DETAILS OF ALL TRASH AND REFUSE WILL BE PROVIDED PER 17.24.060 OF THE METRO ZONING ORDINANCE.

- METRO WATER SERVICES
- ALL SEWER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DETAILS OF METRO WATER SERVICES.

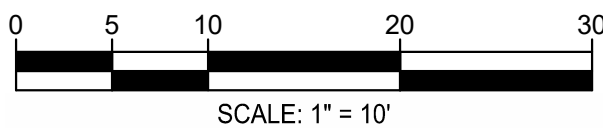
- NDOT
- TRASH SERVICE TO BE PROVIDED BY PRIVATE HAULER.

- METRO FIRE MARSHAL
- CLEARANCES FOR FIRE TRUCK ACCESS: 20' UNOBSTRUCTED AREA MUST BE MAINTAINED ALONG A PUBLIC OR PRIVATE STREET.
 - FIRE LANES MUST BE PROVIDED FOR ANY BUILDINGS LESS THAN 30' IN HEIGHT WITH A SETBACK OF MORE THAN 150' OR MORE FROM A PUBLIC STREET OR ANY BUILDING TALLER THAN 30' WITH A SETBACK OF MORE THAN 50' OR MORE FROM A PUBLIC STREET.
 - BUILDING WILL COMPLY WITH CURRENT SPRINKLER REQUIREMENTS AT THE TIME OF PERMITTING.

- FEDERAL COMPLIANCE
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THE PLAN WILL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT [HTTP://WWW.ADA.GOV.US](http://www.ada.gov.us)

PAVING LEGEND

	HEAVY DUTY ASPHALT
	LIGHT DUTY ASPHALT
	PERVIOUS PAVERS
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



SURVEY INFO
PROVIDED BY: CHERRY LAND SURVEYING
DATUM: TENNESSEE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770

PRELIMINARY SP PLAN (2024SP-057-001)

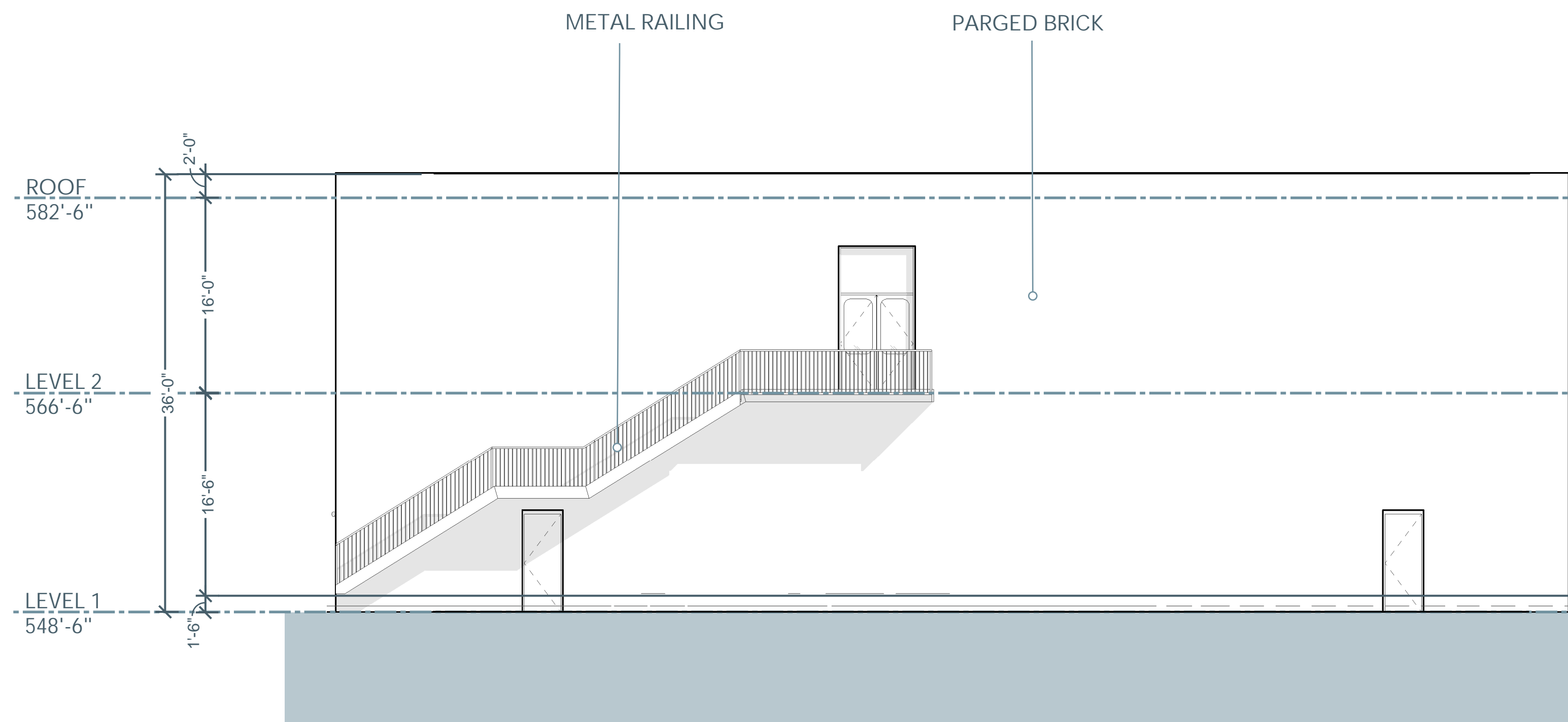
2908 12TH AVE SOUTH

NASHVILLE, TENNESSEE 37204

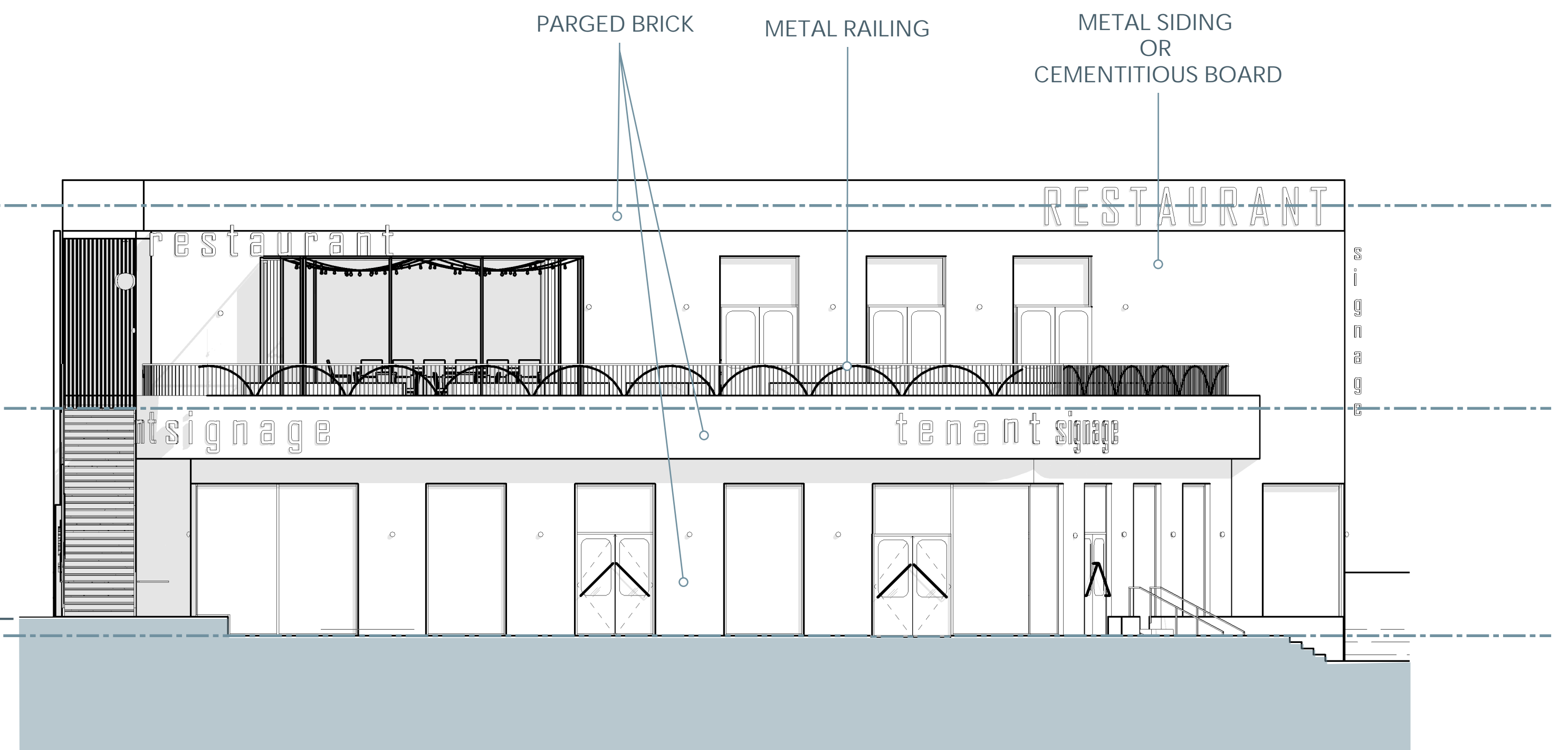
PRELIMINARY SP PLAN

PSP-1

1110-30_2908 12TH AVE S

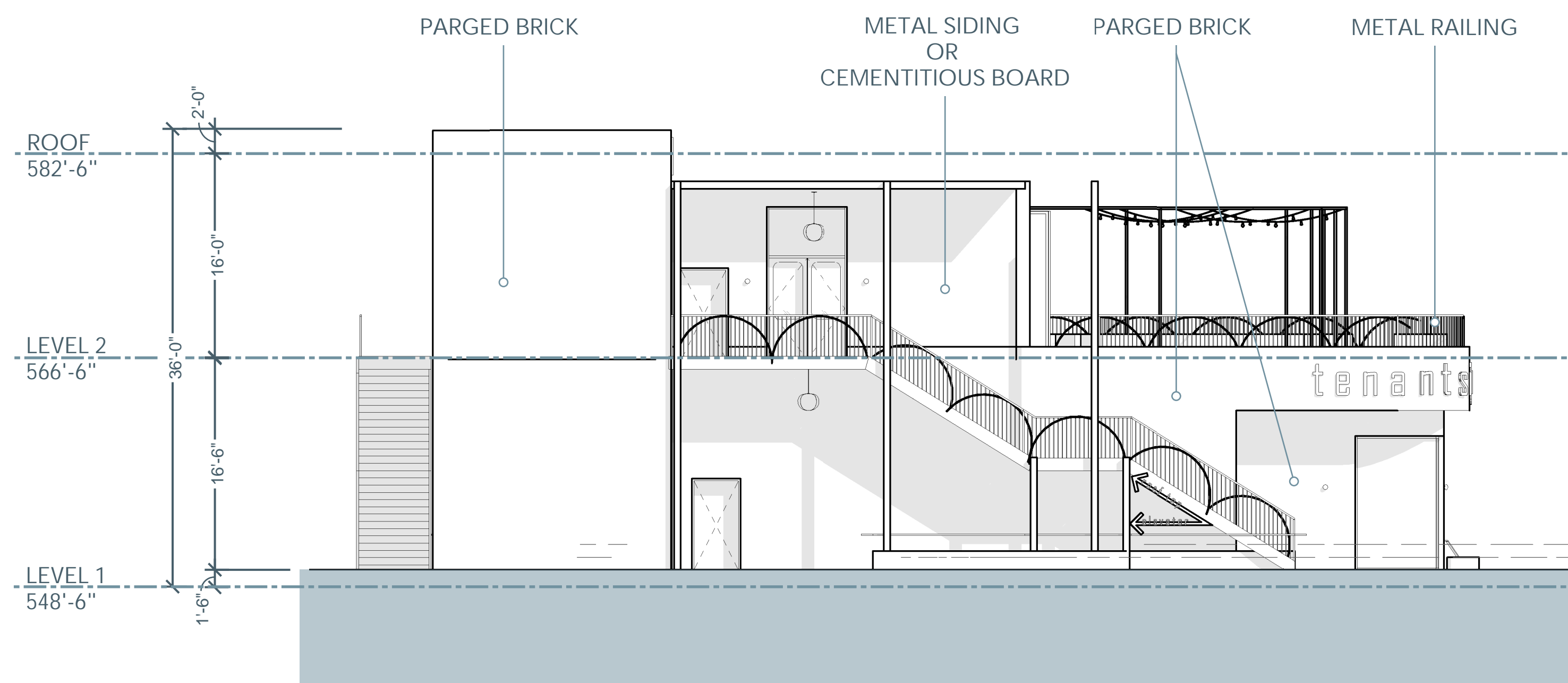


ELEVATION | WEST

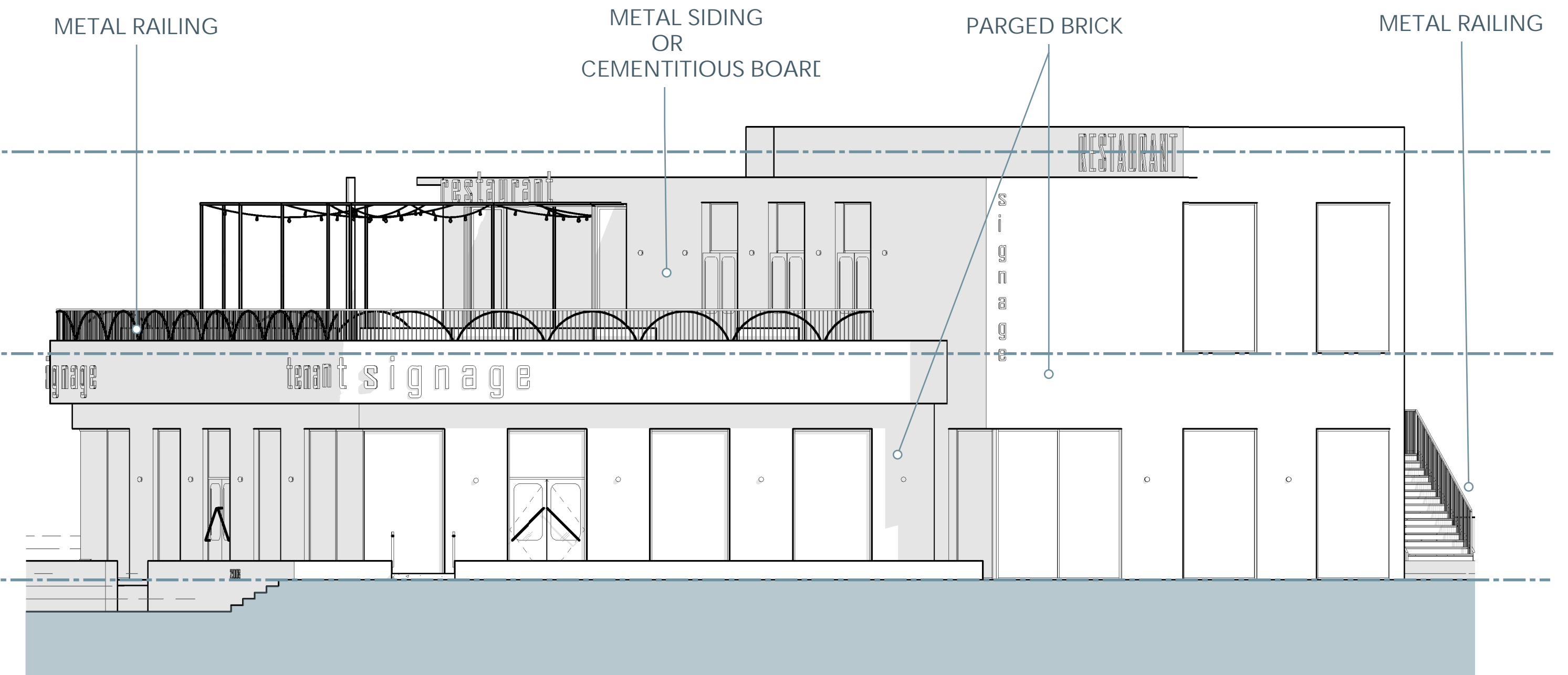


ELEVATION | EAST

GROUND FLOOR GLAZING: 37%
SECOND FLOOR GLAZING: 34%



ELEVATION | NORTH



ELEVATION | SOUTH

GROUND FLOOR GLAZING: 24%
SECOND FLOOR GLAZING: 11%

TOTAL GLAZING
GROUND FLOOR: 30%
SECOND FLOOR: 20%

2908 12TH AVE S | 11.25.2024

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CENTRIC
ARCHITECTURE

