

LEGISLATIVE TRACKING FORMFiling for Council Meeting Date: 12/02/25

Resolution



Ordinance

Contact/Prepared By: Karin Frinell, Grant ManagerDate Prepared: 10/27/25Title (Caption): Tennessee Historic Development Grant Program 26-28 Applicationto restore and preserve the original bronze doors of the Davidson County CourthouseThis project will address these issues through comprehensive restoration of the bronze doors on the south, west, and north facades.Submitted to Planning Commission? ☒ N/A ☐ Yes-Date: _____ Proposal No: _____Proposing Department: General Services Requested By: Karin FrinellAffected Department(s): General Services Affected Council District(s): 19**Legislative Category (check one):**

- | | | |
|---|---|--|
| ☐ Bonds | ☐ Contract Approval | ☐ Intergovernmental Agreement |
| ☐ Budget - Pay Plan | ☐ Donation | ☐ Lease |
| ☐ Budget - 4% | ☐ Easement Abandonment | ☐ Maps |
| ☐ Capital Improvements | ☐ Easement Accept/Acquisition | ☐ Master List A&E |
| ☐ Capital Outlay Notes | ☐ Grant | ☐ Settlement of Claims/Lawsuits |
| ☐ Code Amendment | ☒ Grant Application | ☐ Street/Highway Improvements |
| ☐ Condemnation | ☐ Improvement Acc. | ☐ Other: _____ |

FINANCE Amount +/-: \$ \$ 500,000.00**Match:** \$ \$ 575,027.87

Funding Source:

☐ Capital Improvement Budget

☐ Capital Outlay Notes

☐ Departmental/Agency Budget

☐ Funds to Metro

☐ General Obligation Bonds

☐ Grant

☐ Increased Revenue Sources

☐ Judgments and Losses

☐ Local Government Investment Project

☐ Revenue Bonds

☐ Self-Insured Liability

☐ Solid Waste Reserve

☐ Unappropriated Fund Balance

☐ 4% Fund

Other: DGS Major Maintenance

Approved by OMB: Aaron Pratt

Date to Finance Director's Office: _____

Approved by Finance/Accounts: _____

APPROVED BYApproved by Div Grants Coordination: Juanita Paulsen**FINANCE DIRECTOR'S OFFICE:** _____**ADMINISTRATION**

Council District Member Sponsors: _____

Council Committee Chair Sponsors: _____

Approved by Administration: _____ Date: _____

DEPARTMENT OF LAW

Date to Dept. of Law: _____ Approved by Department of Law: _____

Settlement Resolution/Memorandum Approved by: _____Date to Council: _____ For Council Meeting: _____ ☐ E-mailed Clerk
☐ All Dept. Signatures
 ☐ Copies
 ☐ Backing
 ☐ Legislative Summary
 ☐ Settlement Memo
 ☐ Clerk Letter
 ☐ Ready to File

Department of Law - White Copy

Administration - Yellow Copy

Finance Department - Pink Copy

GRANT APPLICATION SUMMARY SHEET

Grant Name: Tennessee Historic Development 26-28
Department: GENERAL SERVICES
Grantor: TENNESSEE DEPT. OF ECON. & COMMUNITY DEV.
Pass-Through Grantor (If applicable):
Total Applied For \$500,000.00
Metro Cash Match: \$575,027.87
Department Contact: Karin Frinell
4374
Status: NEW

Program Description:

The Metropolitan Government of Nashville and Davidson County is seeking funding through the Tennessee Historic Development Grant Program to restore and preserve the original bronze doors of the Davidson County Courthouse—an iconic Art Deco landmark completed in 1937. These monumental doors, designed by renowned sculptor Rene Paul Chambellan, are not only architecturally significant but also critical to the courthouse’s function as a civic and judicial hub. A 2025 condition assessment revealed severe deterioration in the door assemblies, including corroded bearings, structural misalignment, and safety hazards that threaten both public access and the historic integrity of the building.

Plan for continuation of services upon grant expiration:

This is a major rennovation and restoration of the Davidson Courthouse Brass Doors and will last for many years, and will be part of the General Services' maintence plan for future up keep.

APPROVED AS TO AVAILABILITY
OF FUNDS:

APPROVED AS TO FORM AND
LEGALITY:

<u>Jennae Reed/Imp</u>	11/5/2025 4:18 PM CST	<u>Hannah Beilin</u>	11/5/2025 2:30 PM PST
Director of Finance	Date	Metropolitan Attorney	Date

APPROVED AS TO RISK AND
INSURANCE:

<u>Balogun Cobb</u>	11/5/2025 4:27 PM CST	<u>Freddie O'Connell</u>	11/5/2025 4:39 PM CST
Director of Risk Management Services	Date	Metropolitan Mayor	Date

(This application is contingent upon approval of the application by the Metropolitan Council.)

Grants Tracking Form

Part One

Pre-Application ☐		Application ☒		Award Acceptance ☐		Contract Amendment ☐	
Department	Dept. No.	Contact				Phone	Fax
GENERAL SERVICES	010	Karin Frinell				4374	
Grant Name:		Tennessee Historic Development 26-28					
Grantor:		TENNESSEE DEPT. OF ECON. & COMMUNITY DEV.				Other:	
Grant Period From:		01/01/26	(applications only) Anticipated Application Date:		11/06/25		
Grant Period To:		12/31/28	(applications only) Application Deadline:		11/07/25		
Funding Type:	STATE	Multi-Department Grant		☐ If yes, list below.			
Pass-Thru:		Outside Consultant Project:		☐			
Award Type:	COMPETITIVE	Total Award:		\$500,000.00			
Status:	NEW	Metro Cash Match:		\$575,027.87			
Metro Category:	New Initiative	Metro In-Kind Match:		\$25,000.00			
CFDA #	N/A	Is Council approval required?		☒			
Project Description:		Applic. Submitted Electronically? ☒					
The Metropolitan Government of Nashville and Davidson County is seeking funding through the Tennessee Historic Development Grant Program to restore and preserve the original bronze doors of the Davidson County Courthouse—an iconic Art Deco landmark completed in 1937. These monumental doors, designed by renowned sculptor Rene Paul Chambellan, are not only architecturally significant but also critical to the courthouse's function as a civic and judicial hub. A 2025 condition assessment revealed severe deterioration in the door assemblies, including corroded bearings, structural misalignment, and safety hazards that threaten both public access and the historic integrity of the building.							
Plan for continuation of service after expiration of grant/Budgetary Impact: This is a major renovation and restoration of the Davidson Courthouse Brass Doors and will last for many years, and will be part of the General Services' maintenance plan for future up keep.							
How is Match Determined? Fixed Amount of \$ _____ or _____ % of Grant ☒ Other: ☒							
Explanation for "Other" means of determining match: This grant is a 50/50 grant up to a total grant award of \$500,000.00. The remaining costs will be covered by DGS major maintenance funds. Grant Administration (5%): \$25,000 In-kind Match General Services will provide an experienced in-house Grant Manager to oversee the project. This individual meets the experience requirements outlined in the grant guidelines and will be responsible for compliance reporting and coordination with the project team.							
For this Metro FY, how much of the required local Metro cash match:							
Is already in department budget?		\$575,027.87	Fund	40025	Business Unit	10403025	
Is not budgeted?			Proposed Source of Match:		FY25 GSR Major Maintenance		
(Indicate Match Amount & Source for Remaining Grant Years in Budget Below)							
Other:							
Number of FTEs the grant will fund:		0.00	Actual number of positions added:		0.00		
		4.80%	Indirect Cost of Grant to Metro:		\$52,801.34		
*Indirect Costs allowed? ☐ Yes ☒ No		% Allow.	0.00%	Ind. Cost Requested from Grantor:		\$0.00 in budget	
*(If "No", please attach documentation from the grantor that indirect costs are not allowable. See Instructions)							
Draw down allowable? ☐							
Metro or Community-based Partners:							

Part Two

Grant Budget

Budget Year	Metro Fiscal Year	Federal Grantor	State Grantor	Other Grantor	Local Match Cash	Match Source (Fund, BU)	Local Match In-Kind	Total Grant Each Year	Indirect Cost to Metro	Ind. Cost Neg. from Grantor
Yr 1	FY26		\$250,000.00		\$225,000.00		\$25,000.00	\$500,000.00	\$26,400.67	\$0.00
Yr 2	Fy27		\$250,000.00		\$350,027.87			\$600,027.87	\$26,400.67	\$0.00
Yr 3	Fy28									
Yr 4	FY__									
Yr 5	FY__									
Total			\$500,000.00		\$575,027.87		\$25,000.00	\$1,100,027.87	\$52,801.34	\$0.00
		Date Awarded:			Tot. Awarded:		Contract#:			
		(or) Date Denied:			Reason:					
		(or) Date Withdrawn:			Reason:					

Contact: juanita.paulsen@nashville.gov
vaughn.wilson@nashville.gov

JP

RESOLUTION NO. _____

A resolution approving an application for a Historic Development Grant from the Tennessee Department of Economic & Community Development, to the Metropolitan Government, acting by and through the General Services Department, to support the restoration and conservation of the original Art Deco bronze doors at the Davidson County Historic Courthouse to ensure the continued use of the courthouse while preserving its historic integrity for future generations.

WHEREAS, the Tennessee Department of Economic & Community Development is accepting applications for a Historic Development Grant with an award of \$500,000 and a required cash match of \$575,027.87 and in-kind match of \$25,000; and,

WHEREAS, the Metropolitan Government is eligible to participate in this grant program; and,

WHEREAS, it is to the benefit of the citizens of The Metropolitan Government of Nashville and Davidson County that the grant application be approved and submitted.

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the application for a Historic Development Grant, with an award of \$500,000, a copy of which is attached hereto and incorporated herein, is hereby approved, and the General Services Department, is authorized to submit said application to the Tennessee Department of Economic & Community Development.

Section 2. That this resolution shall take effect from and after its adoption, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

APPROVED AS TO AVAILABILITY
OF FUNDS:

Jenneen Reed/MPW
Jenneen Reed, Director
Department of Finance

INTRODUCED BY:

Member(s) of Council

APPROVED AS TO FORM AND
LEGALITY:

Courtney Mohan
Assistant Metropolitan Attorney

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109



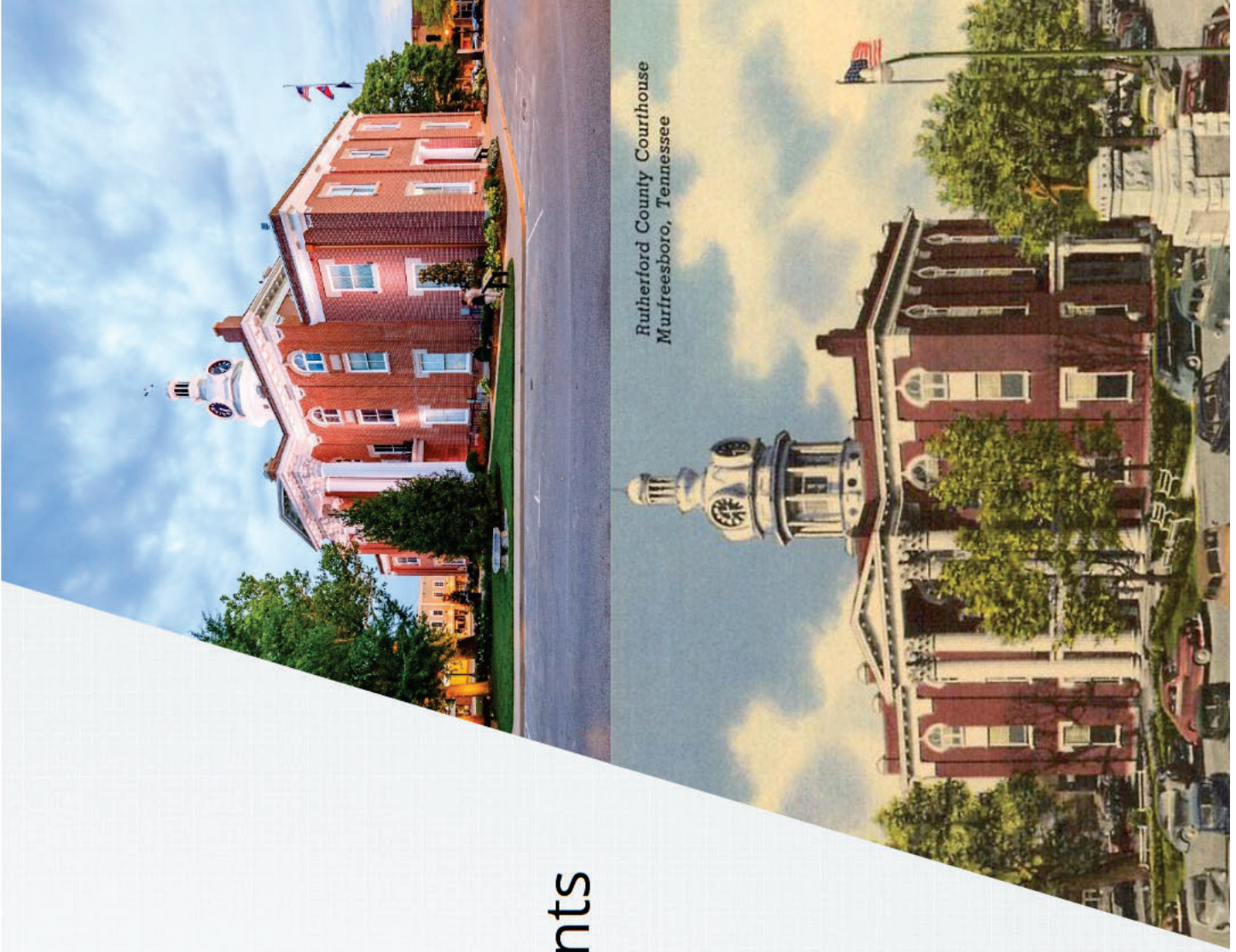
HISTORIC DEVELOPMENT GRANT PROGRAM COURTHOUSE ROUND

Application Webinar

October 3, 2025

Agenda

- Overview
 - Who is eligible?
- Timeline
- Grant Requirements
- Financial Requirements
- Questions and Contact Info



About the Program



In April 2021, the Tennessee General Assembly developed the Historic Development Grant Program and allocated \$4.8 million to renovate and preserve the State's historic buildings. The legislators recognized that historic buildings and their preservation expand the state's economy, create new employment opportunities, revitalize and renew communities, create an environment for investment, and promote tourism and rural economic development.



For the 2025/2026 Budget year, the Tennessee General Assembly allocated funding to provide grants to eligible historic courthouses across the state. Counties with eligible courthouses will be notified by TNECD staff.

Overview

- Applications must be submitted online **November 7, 2025** via SMART SIMPLE
- Applicant must be the person or entity who holds legal fee or leasehold title to a certified historic structure, or an identifiable portion of the certified historic structure.
- TNECD reserves the right to make adjustments to the scope and/or budget based on funding availability and scoring



Eligibility Overview

Who is Eligible?

- Certified Historic Courthouses

- listed individually in the National Register of Historic Places **or** are part of a National Register of Historic Places historic district as a contributing structure and certified by the secretary of the United States Department of the Interior as being of historic significance to the district (Additional information on the National Register can be obtained from the Tennessee Historical Commission); **and** are in a distressed or at-risk county as determined by TNECD; **or** federally qualified opportunity zone (see the TNECD Opportunity Zones directory for a map of opportunity zones in Tennessee); **or** state and nationally accredited Tennessee Main Street community or Tennessee Downtown community (Information can be found here); **or** Certified Local Governments (Information can be found here) approved by the National Parks Service in counties with a population of no more than 200,000 persons.



Eligible Courthouses

•	Anderson	•	Fentress	•	Lewis	•	Roane
•	Bedford	•	Franklin	•	Lincoln	•	Robertson
•	Benton	•	Gibson	•	Loudon	•	Rutherford
•	Bledsoe	•	Giles	•	Macon	•	Scott
•	Blount	•	Grainger	•	Madison	•	Sequatchie
•	Bradley	•	Greene	•	Marion	•	Sevier
•	Cannon	•	Hamblen	•	Marshall	•	Shelby
•	Carroll	•	Hamilton	•	Maury	•	Smith
•	Carter	•	Hancock	•	McMinn	•	Stewart
•	Cheatham	•	Hardeman	•	McNairy	•	Sullivan
•	Chester	•	Hardin	•	Meigs	•	Sumner
•	Claiborne	•	Hawkins	•	Monroe	•	Tipton
•	Clay	•	Henry	•	Montgomery	•	Trousdale
•	Cocke	•	Houston	•	Moore	•	Unicoi
•	Coffee	•	Humphreys	•	Morgan	•	Union
•	Cumberland	•	Jackson	•	Obion	•	Warren
•	Davidson	•	Jefferson	•	Overton	•	Washington
•	Decatur	•	Johnson	•	Perry	•	Wayne
•	DeKalb	•	Knox	•	Pickett	•	Weakley
•	Dickson	•	Lake	•	Polk	•	White
•	Dyer	•	Lauderdale	•	Putnam	•	Williamson
•	Fayette	•	Lawrence	•	Rhea	•	Wilson



BOLD-Listed on the National Register of Historic Places

2025 Timeline

- Applications Open: October 1, 2025
- Application Webinar : October 3, 2025
- Applications Due: November 7, 2025
- Award Announcements: December 15, 2025
- **Projects activities cannot begin until the grant contract is executed** and must be complete within thirty-six (36) months.
 - *Only expenses incurred during the contract period will be eligible for reimbursement.*



Grant Requirements

	Financial This is a <u>100% REIMBURSABLE</u> grant; you must have 100% of the project financing up front.
	Procurement Procurement must be fair and transparent Grantees must document compliance with local procurement laws
	Files Can keep files electronically or in hard copy TNECD must be able to access them on the monitoring visit Keep contract, invoices, bid documents, all TNECD communication, and all other relative documentation Keep files for 5 years after the close of the contract
	Reporting Reports will be required monthly with a comprehensive final report Reporting on metrics and outcomes will continue after the project is complete and closed out for 2 years
	Monitoring When the project reaches 50% completion an in person monitoring visits will occur by staff to ensure that the project is following the Secretary of Interior Standards for Rehabilitation.
	Closeout Final invoice submitted at the end of the project – this is a reimbursable grant. You will be required to submit the NPS Part 3 form and certificate of occupancy.



Eligible Expenses

- Any expenditure for a structural component of a building is eligible for grant funds. Treasury Regulation 1.48-1(e)(2) defines structural components to include
 - walls, partitions, floors, ceilings, permanent coverings such as paneling or tiling, windows and doors, components of central air conditioning or heating systems, plumbing and plumbing fixtures, electrical wiring and lighting fixtures, chimneys, stairs, escalators, elevators, sprinkling systems, fire escapes, and other components related to the operation or maintenance of the building.
- In addition to the above named "hard costs," there are "soft costs" which also qualify.
 - These include construction period interest and taxes, architect fees, engineering fees, construction management costs, reasonable developer fees, and any other fees paid that would normally be charged to a capital account. More information on soft costs can be found on the Technical Preservation Services website.
- Secretary of Interior Standards on Rehabilitation
- TNECD will work with the Tennessee Historical Commission (THC) on the NPS Part 1 and Part 2 that will be submitted as attachments with your application for compliance with the standards.
 - NPS Part 2 will become the scope of work for your grant contract. All work must be approved with this document; there is a potential for conditions from the THC on this document.

Financial Requirements

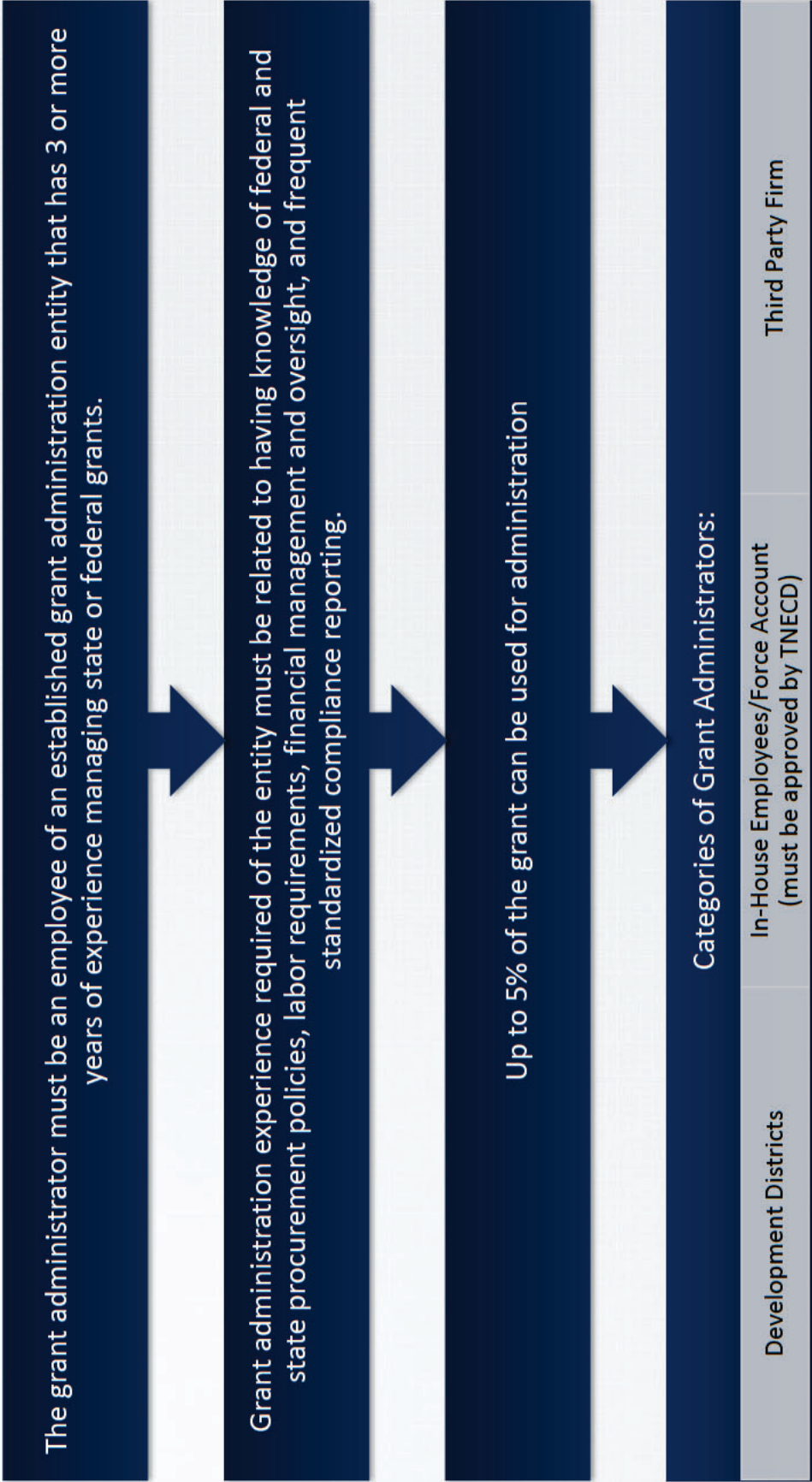
- Maximum grant up to \$500,000
- **County Match for 2025/2026 Courthouse Round only**
 - Tier 1: 50/50
 - Tier 2: 70/30
 - Tier 3: 90/10
 - Tier 4: 95/5
- Want to know your county [tier level](#)?
- The Historic Development Grant program requires that grants awarded \$75,000 hire a third-party grant administrator. The grant administrator must work for or be an employee of an established grant administration entity that has 3 or more years of experience managing state or federal grants. More info can be provided by TNECD staff.



Reimbursement Requirements

- This is a **100% REIMBURSABLE grant**; you must have 100% of the project financing up front.
 - work **must** be completed in order to submit an invoice to the State at project closeout
- Project can be invoiced for 50% after monitoring by THC
- All back-up documentation for reimbursement **must** show dates of service and include a description of the service provided or work completed
- Expenses **must** be paid by contract grantee and proof of payment must be included in reimbursement request
- After grantees are selected, another webinar will be held to cover invoicing, compliance, etc.

Grant Administrator Qualifications



Grant Administrator Procurement In-House Employee / Force Account

- Force account labor occurs when municipal or county employee's complete work for grant funded activities rather than the work being completed by a contractor/private firm. For a grantee to use force account labor on a project, the following information must be submitted to TNECD and approved.
1. Must be a position that is dedicated to grant writing and administration employed by your organization
 2. Provide the names, qualifications, and position titles of personnel that will be performing the work.
 3. Details of experience with projects of like or similar nature.
 4. Information on workload (as it may affect capacity to do the work within the timeframe or work scheduled).
 5. Justification for doing the work by In-House Employee /Force account rather than by contractor.
 6. A complete breakdown showing:
 - The number of work hours and cost per hour for each category of labor
 - A list of non-salary costs such as materials, supplies, equipment, software, etc. (not to be billed to grant, but necessary to complete the job)
 7. Certification from the above-mentioned personnel's supervisor that they are full time employees and have not been hired just for this project.
 8. Certification that the equipment to be used is owned by the grantee and is not rental equipment (cannot be billed to the grant)

Grant Administrator Procurement Third Party Firm



A copy of the procurement letters that were sent out requesting Statement of Qualifications from at least (3) eligible and reasonable professional grant administration firms.

Letters should outline administration requirements of the grant and provide at least two weeks of response time for administration firms to submit a Statement of Qualification.



A copy of the front page or cover letter for all Admin Statements of Qualifications received back in response.

If more than one Statement of Qualification was received for grant administration, a copy of the scoring system is needed. This should be scored based on qualifications, and price can be a factor if needed.

If only one Statement of Qualifications was received, we will need a memo outlining that only one response was received.



A copy of the executed contract with the professional administration firm



SmartSimple

- TNECD website Link: <https://ecd.grants.tn.gov/>



Sub-Recipient Grant Management Enterprise Solution(SR-GMES)

Sub-recipient / Applicant login in here

Log In

State Employee

Login Here

Forgot Password?

To register or view Grant funding opportunities:

Click Here

Training Videos

Watch Here

Our new website will be ready soon!

This system may contain Government information, which is restricted to authorized users ONLY. Unauthorized access, use, misuse, or modification of this computer system or of the data contained herein or in transit to/from this system constitutes a violation of state and federal laws including, but not limited to Title 18, United States Code, Section 1030, and may subject the individual to Criminal and Civil penalties pursuant to Title 26, United States Code, Sections 7213(a), 7213A (the Taxpayer Browsing Protection Act), and 7431.

This system and equipment are subject to monitoring to ensure proper performance of applicable security features or procedures. Such monitoring may result in the acquisition, recording and analysis of all data being communicated, transmitted, processed, or stored in this system by a user. If monitoring reveals possible evidence of criminal activity, such evidence may be provided to Law Enforcement Personnel.

ANYONE USING THIS SYSTEM EXPRESSLY CONSENTS TO SUCH MONITORING and SHOULD HAVE NO EXPECTATION OF PRIVACY for any information stored or communicated via this system.

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Registration Instruction

- If you have an existing account, login to the system with your email and password.
- To start the registration process for an organization, or new contact person, select the "Click Here" button under "To Register or view Grant Funding opportunities."



TN
Department of
Community
Development

Sub-Recipient Grant Management
Enterprise Solution(SR-GMES)

Sub-recipient / Applicant login in here





State Employee

Forgot Password?
To register or view Grant
funding opportunities:

Our new website will be ready soon!

This system may contain Government Information, which is restricted to authorized users ONLY. Unauthorized access, use, misuse, or modification of this computer system or of the data contained herein or in transit to/from this system constitutes a violation of state and federal laws including, but not limited to Title 18, United States Code, Section 1030, and may subject the individual to Criminal and Civil penalties pursuant to Title 26, United States Code sections 7213(a), 7213A (the Taxpayer Browsing Protection Act), and 74.

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Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Registration Instructions

- The screen will populate with 2 options to choose from, and you will select "New User"

Department of Economic & Community Development Grant Management Solution Registration Options

New User

If you are a new contact for an existing organization, click here to register.

Available Funding Opportunity

Click here to view Department of Economic and Community Development Funding Opportunities



Registration Instructions

- Start by entering the name of your organization in the first box and proceeding through the form
 - If nothing auto populates you will need to register your entity by clicking the links found in the instructions at the top of the page.

Sub-recipient Organization New User Registration

Start Here

Instructions

Enter the name of your organization. As you start typing a name, our database will suggest a match, then click on the name. If your organization does not automatically populate, please following directions below to register your organization.

For Non-profit organizations:

1. If you can't find your organization, click **here to add it**.
2. To search the IRS database for your organization, click **here to search**.

For Government organizations :

1. If you can't find your organization, click **here to add it**.

Are you a returning user? Login **here**.

TN

* Organization Name

Registration Instructions

- Once the organization (or new user) registration is submitted, the person setting it up will receive an email from noreply@smartsimplemailer.com with the subject line "Login to Account".
 - This email will contain that person's username (email address) and a link to reset that person's account password.
- When you get into the system, you will see a dashboard where the Historic Development Grant is open for applications.
- Administrators in Smart Simple
 - The application must be started by the entity that TNECD will be contracting with if awarded. If the grantee has an issue starting the application, contact the Program Director, Program Manager and Alaire Brown.

Important Notes on SmartSimple

- Every time you login to the system, you will see a dashboard where the applications you are working on will populate once started
- As you add information to the application be sure to click "Save Draft" regularly to save your progress before exiting the form
- The guide bars on the right side of the application are clickable to help you jump from section to section
- When you are finished with the application, click submit.
 - If you missed any mandatory questions they will populate at the top and you can click the bullet points to jump straight to the questions that are outstanding.

Attachments for the Application

- Map showing the location of the building within the district
- Photographs- Color Photos 10-15 of all exterior elevations and primary interior spaces.
 - Photographs must be keyed to a basic site plan/floor plan. All in one document.
 - Photo Key
- Property Assessor Map This can be pulled from <https://assessment.cot.tn.gov/TPAD/>
- NPS Part I Form
- Plans for Building with Description of Plans
- NPS Part 2 Form
- Project Budget
- Resolution from County Commission showing commitment of matching funds
- Letters of Support or Documents showing how this project achieves a vision for your community plan.
- Grant Payment Setup Form and W-9 (March 2024 Version)



Scoring Criteria

Project Need 35 points	Project Impact 15 points	Project Plan 20 points
Project Financing 20 points	Project Feasibility 10 points	Community Support 10
Project Location 10 points		TOTAL MAXIMUM 120 points

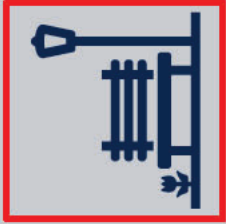


Other Reminders

- We want your success stories! Take pictures and keep up with progress.
- Think about outcomes throughout the project.
- All documents must be submitted electronically.
- Projects should be able to be completed in 36 months.
- Ask when you have questions as soon as they arise, rather than waiting until too late.



Contact information & Grant Website



Kim Parks, TN Main Street Program Director

Kim.Parks@tn.gov

Frank Clark, TN Main Street Assistant Director

frank.clark@tn.gov

Sarah Elizabeth Hickman-McLeod, RD Program Manager

sarah.hickman-mcleod@tn.gov



<https://www.tn.gov/ecd/rural-development/historic-development-grant-program.html>





Tennessee
State Government

~General Information

Grantee Organization

Metropolitan Government of Nashville & Davidson

FEIN

620694743

Organization Address

730 President Ronald Regan Wway

Requested Grant Amount

~Historic Property

Historic Property Name

Davidson County Courthouse

Property Description

Metropolitan Courthouse

Property Address

1 Public Square, Nashville TN 37201

County

Davidson

~Eligibility



**Tennessee
State Government**

National Register Listing

- ☒ Property is listed in or has been determined eligible for listing in the National Register of Historic Places
- ☐ Property is contributing within the boundaries of a district listed in the National Register of Historic Places

Name of Individually Listed Property

Davidson County Courthouse

Name of Historic District

Davidson County - Nashville, Historic Core

Community Qualifications - Property is located in the following:

Check all that apply

- ☐ Tier three (3) or four (4) county as determined by TNECD
- ☐ Federally qualified opportunity zone
- ☐ Tennessee Main Street community
- ☐ Tennessee Downtown community
- ☐ Certified Local Government approved by the National Park Service in counties with a population of no more than 200,000 persons
- ☒ Courthouse

Intended end use of the property

Other Government use, Courthouse

Will the property be used in whole or in part for personal residential purposes?

- ☐ Yes
- ☒ No



**Tennessee
State Government**

Please Explain

Government Administrative, Courthouse

~Project Contacts

	Name	Organization	Title	Email	Phone
P r i m a r y C o n t a c t	Karin Frinell	Metropolitan Government of Nashville and Davidson County- General Services	Grant Manager	Karin.Frinell@ Nashville.gov	5012951341
G r a n t A d m i n i s t r a t o r	Karin Frinell	Metropolitan Government of Nashville and Davidson County- General Services	Grant Manger	Karin.Frinell@ Nashville.gov	5012951341
S i g n a t o r y A u t h o r i t y	Gerald C Smith	Metropolitan Government of Nashville and Davidson County- General Services	Director	Gerald.Smith @Nashville.g ov	6158625050



O th er	Beth Williams	Metropolitan Government of Nashville & Davidson- General Services	Special Projects Manager	Beth.Williams @nashville.g ov	6158625038
O th er					

Do you have a professional grant administrator helping with the project?

- ☒ Yes
- ☐ No

Applicant: I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that:

- ☒ I am the owner or authorized representative of the owner of the above-described property
- ☐ I am not the owner of the above-described property, the owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which is attached to this application form and incorporated herein

~Program Overview



**Tennessee
State Government**

Briefly describe the project plans for the building

The Metropolitan Government of Nashville and Davidson County seeks funding through the Historic Development Grant Program to support the restoration and conservation of the original bronze doors at the Davidson County Courthouse. These monumental Art Deco doors, installed in 1937 and designed by renowned sculptor Rene Paul Chambellan, are integral to the architectural and historical significance of the courthouse.

The project will address critical structural and safety concerns identified in a 2025 condition assessment conducted by The Tradesmen Group LLC. The scope of work includes the removal, repair, and reinstallation of the bronze doors on the south, west, and north façades. Restoration activities will include replacement of deteriorated lower bearing assemblies, structural reinforcement, cladding repairs, conservation of decorative statuary, and improvements to weatherproofing and security hardware. The project will ensure the continued safe use of the courthouse while preserving its historic integrity for future generations.

Upload Interior & Exterior Photographs of Building

Upload Photo Key

Upload a completed NPS Part 1

Upload a completed NPS Part 2 Description of Rehabilitation Form

This form will be used to demonstrate how your rehabilitation will meet the Secretary of the Interior's Standards, even if you are not planning to use or are not able to participate in the federal Historic Tax Incentives program. If you have already received a Part 2 approval through the Tennessee Historical Commission. Please upload the signed copy.



Describe the need for the project

General Services commissioned a Condition Assessment of the exterior bronze doors installed as part of the original construction at the Davidson County Courthouse, conducted by the Tradesmen Group LLC completed in early 2025. The final reports is a condition assessment of bronze entryway doors following observation of areas of concern. The scope of the report includes the extent of damage and distress found on the doors installed at the north, west, and south facades. A visual inspection was performed of all accessible portions of the interior and exterior surfaces of the bronze doors. The inspection was performed to identify potential conditions of concern including: conditions that may be symptomatic of structural fatigue or instability of the door assemblies, surround and components; conditions of damage, deterioration or distress in the assembly components that would indicate systemic issues with the performance of the doors; and conditions that pose immediate safety concerns to the public or the historic architectural components. The grant award would be to support General Services in doing the work identified from the assessment to repair, restore, care for and maintain the historic doors. A copy of the full report is attached as part of the grant application and information contained within is being used to apply for the grant. The rehabilitation recommendations in the report help ensure continued safe use of the historic courthouse as it functions as a site for public use.

Describe the economic impact that this project will have

The Davidson County Courthouse is a prominent civic landmark and a key contributor to downtown Nashville's historic and cultural identity. Restoration of the bronze doors will:

- Preserve a major architectural asset that supports heritage tourism and civic pride.
- Enhance public safety and accessibility, ensuring continued use of the courthouse for judicial and governmental functions.
- Support skilled trades and local contractors, particularly those specializing in historic preservation, bronze work, and architectural conservation.
- Demonstrate public investment in historic preservation, encouraging private investment and revitalization in the surrounding area.

This project aligns with the Tennessee General Assembly's goals of promoting economic development through historic preservation.

**Discuss the status of your financing**

The Department of General Services has allocated Major Maintenance funds in the FY 2025/2026 budget to support capital improvements at Davidson County Courthouse. This project qualifies under the major maintenance category. Currently, \$14 million is available in the Major Maintenance business unit. General Services will encumber the required matching funds specifically for the Historic Courthouse Bronze Doors restoration project, while the remaining balance of the \$14 million will be allocated to other capital priorities. The requested grant funds will supplement these dedicated resources to fully implement the scope of work recommended in the 2025 condition assessment.

How feasible is your project? Describe the activities that will be taking place and provide an estimated timeline of implementation.

This project is highly feasible and shovel ready. The condition assessment has already been completed, and the scope of work is clearly defined. The project will be implemented in the following phases:

1. Pre-construction (Q1 2026): Final design, procurement, and contractor selection.

2. Construction (Q2 2026–Q4 2027):

- Removal and cataloging of bronze doors and components.
- Restoration of lower and upper bearing assemblies.
- Cladding and statuary conservation.
- Cast iron surround and threshold repairs.
- Reinstallation and final finishing.

3. Closeout (Q1 2028): Final inspection, documentation, and public communication.

The project will be managed by General Services in coordination with qualified preservation contractors and consultants.

Upload letters of support or documents to show how this project achieves a vision for your community plan

~Budget



Tennessee
State Government

	Grant Funds	Additional Funds	Total Project Costs	Description of Expenses
Professional Fee (Other), Grant & Award	\$0.00	\$0.00	\$0.00	Metro of Nashville and Davidson County IDCR 4.8% (NOT Allowable under the Grant)
Supplies, Telephone, Postage & Shipping, Occupancy, Equipment Rental & Maintenance, Printing & Publications	\$0.00	\$0.00	\$0.00	
Travel, Conferences & Meetings	\$0.00	\$0.00	\$0.00	Not eligible under program
Construction	\$500,000.00	\$475,027.87	\$975,027.87	TTGL Task Order Worksheet (TOW) Dated 15 OCT 25
Construction Inspection	\$0.00	\$0.00	\$0.00	
Engineering and Design	\$0.00	\$0.00	\$0.00	
Engineering (Other than design)	\$0.00	\$0.00	\$0.00	



**Tennessee
State Government**

Legal Services	\$0.00	\$0.00	\$0.00	
Appraisals	\$0.00	\$0.00	\$0.00	
Acquisition of Property / Capital Purchase	\$0.00	\$0.00	\$0.00	
Other Non-Personnel	\$0.00	\$0.00	\$0.00	
Grantee/Project Administration	\$0.00	\$25,000.00	\$2,500.00	The Grant Manager is inhouse and Salary is covered by General Services.
Project Contingency	\$0.00	\$100,000.00	\$10,000.00	10% Contingency
Total	\$500,000.00	\$600,027.87	\$1,107.87	General Services will encumber the required matching funds specifically for the restoration project, while the remaining balance of the \$14 million will be allocated to other capital priorities.



Provide a budget narrative that explains how the budget was developed, and specifically how the funds will be spent.

The budget was developed based on the detailed recommendations and ROM (Rough Order of Magnitude) estimates provided in the February 2025 Condition Assessment Report. The total estimated cost for the full restoration is \$975,027.87, simply broken down as follows:

- South Doors:\$581,000
- West Elevation Doors:\$99,028
- North Elevation Doors:\$295,000

In addition to the direct restoration costs, the following administrative and indirect costs are included:

- Indirect Costs (4.8%):Per the Grant Administrator Indirect Costs are not allowed.
- Grant Administration (5%):\$25,000

General Services will provide an experienced in-house Grant Manager to oversee the project. This individual meets the experience requirements outlined in the grant guidelines and will be responsible for compliance, reporting, and coordination with the project team.

- Contingency (10%):\$100,000.00

General Services will provide a contingency to ensure the project can accommodate unforeseen conditions that may arise during restoration, such as hidden corrosion, structural instability, or material sourcing delay. General Services has committed to providing a 10% contingency, or \$100,000, in addition to the base estimate. This contingency will be used exclusively to address unexpected costs that are necessary to preserve the integrity and functionality of the historic features.

Total Grant Request:\$1,100,027.87

Grant funds will be used to cover eligible costs including:

- Specialized labor for bronze and cast iron restoration
- Custom fabrication of bearing assemblies and hardware
- Lead abatement and high-performance coatings
- Temporary security enclosures during construction
- Architectural conservation services and documentation
- Indirect and administrative costs as outlined above

No capital purchases are anticipated as part of this project. All work will be service-based and focused on restoration, conservation, and installation activities.

General Services will provide matching funds through its Major Maintenance budget to ensure full project completion.



Tennessee
State Government

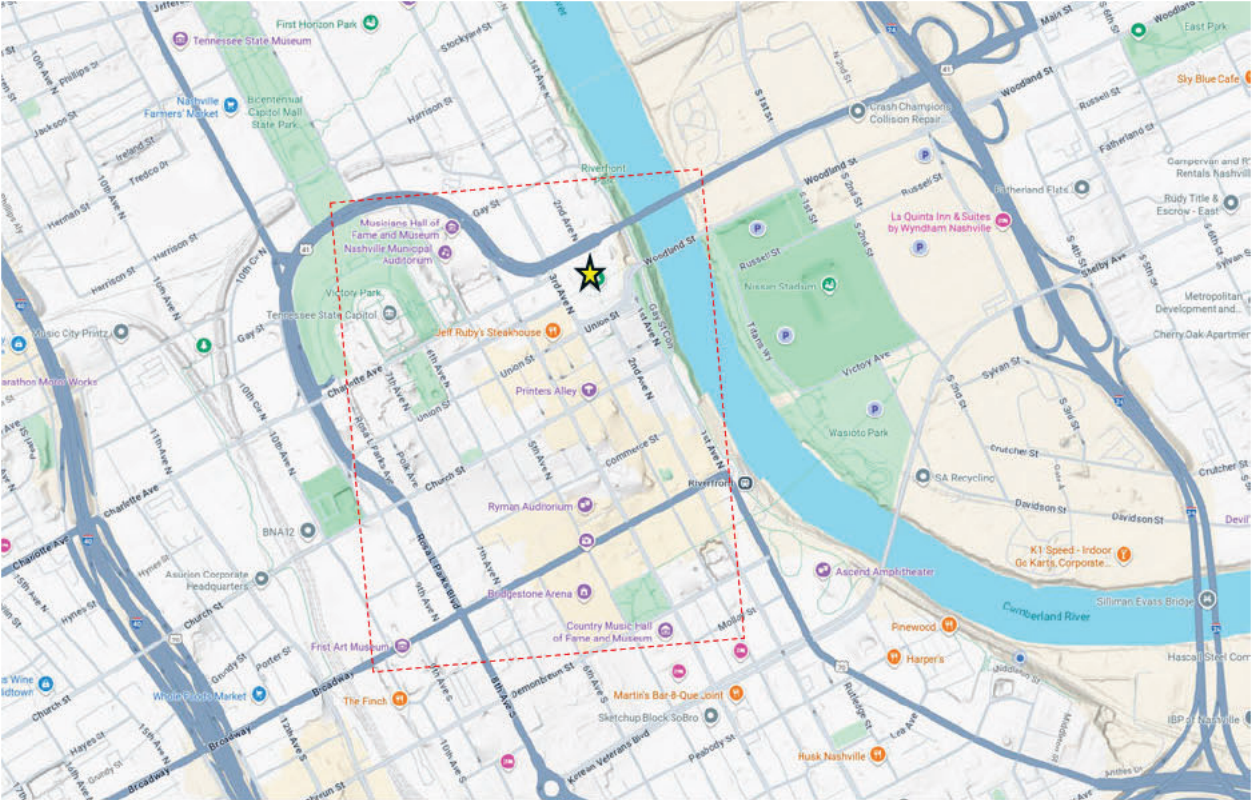
Grant Payment Setup Form [Found Here](#)

W9 [Found Here](#)

[DSG_TN_HCH_Retrofit_Grant_Form_W-9_09302025.pdf](#)
101.8 KB - 10/23/2025 7:08 AM

Total Files: 1

TN HCH Retrofit Grant
Map of greater Nashville Area around the Historic Courthouse



★ Davidson County Courthouse

--- Illustrative Historic Core



DAVIDSON COUNTY COURTHOUSE BRONZE DOORS CONDITION ASSESSMENT REPORT

Metro Department of General Services

1 Public Square

NASHVILLE TN 37201

February 28, 2025



Prepared by:

**The Tradesmen Group LLC
8465 Rausch Drive
Plain City OH 43064
TN License # 47676**

614-799-0889

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INTRODUCTION

This report is for the Condition Assessment of the exterior bronze doors found on the Davidson County Courthouse (also known as the Nashville Metropolitan Courthouse) located at 1 Public Square in Nashville, Tennessee. The Tradesmen Group LLC (TTG) was engaged by the Metro Department of General Services to conduct a condition assessment of bronze entryway doors at the Davidson County Courthouse following observation of areas of concern. The scope of the following condition assessment report includes the extent of damage and distress found on the doors installed at the north, west, and south facades.

Personnel from The Tradesmen Group LLC (TTG) performed preliminary background research to gain an initial understanding of the building's architectural character and historic significance as it related to the bronze doors.

From November 13-15 2024, Chris Bailey and Daniel Lord of TTG visited to historic courthouse to inspect and document the conditions of the bronze doors in need of assessment. TTG personnel were joined by Debora Rodrigues of Past Matters LLC to provide architectural conservation assistance during the on-site investigation. A visual inspection was performed of all accessible portions of the interior and exterior surfaces of the bronze doors. The inspection was performed to identify potential conditions of concern including:

- Conditions that may be symptomatic of structural fatigue or instability of the door assemblies, surround and components
- Conditions of damage, deterioration or distress in the assembly components that would indicate systemic issues with the performance of the doors
- Conditions that pose immediate safety concerns to the public or the historic architectural components

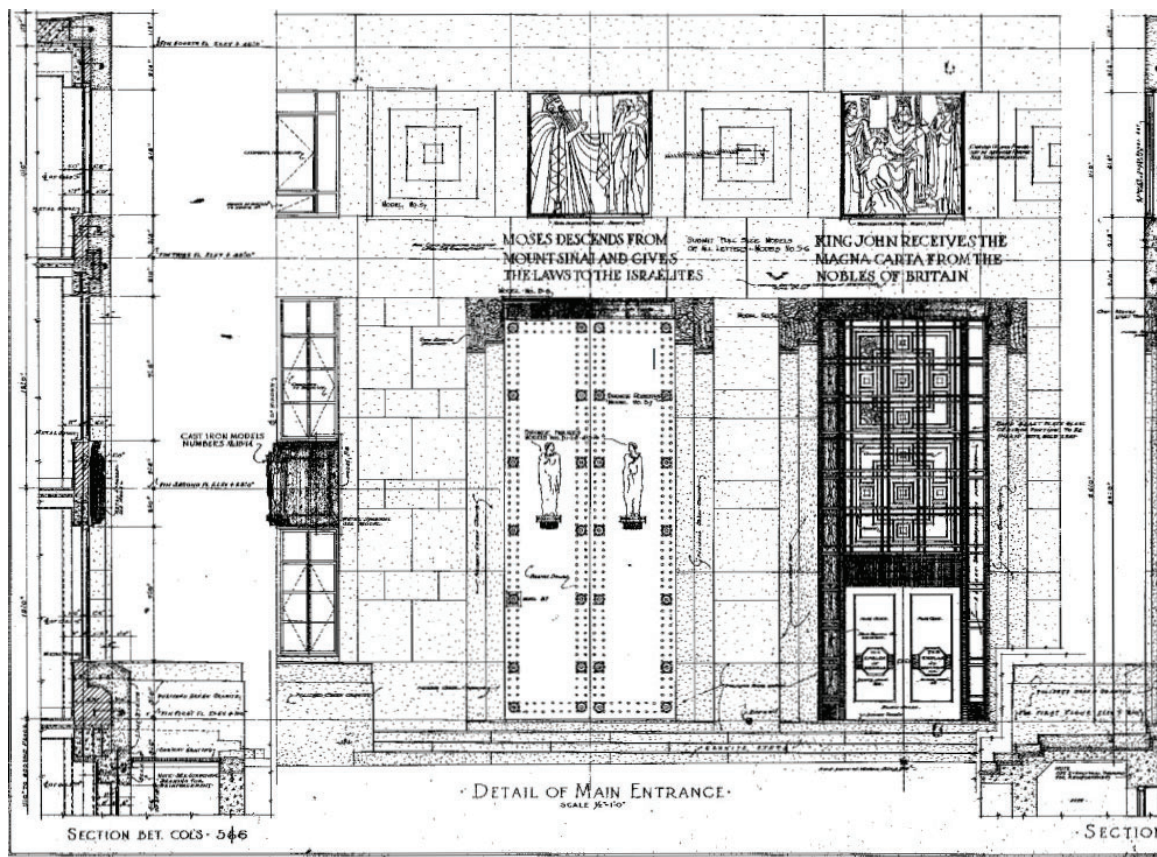
Visual observations were made and documented by photographic images and written notes. Faulty and deleterious conditions were observed for the range and extent of conditions. Areas of general and specific concern are identified in this report. As such, this report should not be construed as a comprehensive report of all conditions that could be possible or unforeseen, but as a general assessment report to inform and provide guidance for future efforts to repair, restore, care for and maintain the historic doors and most importantly to prioritize actions associated with these efforts. Findings in the report are based on visual observation of discovered conditions, professional experience and judgment, and standard accepted industry practices. Comprehensive photographs were taken to document observed conditions, the most representative of which are presented and annotated within this report. Additional photographs taken can be provided as a separate Appendix upon request.

The following report describes limited information on the site's history, observed conditions, treatment recommendations and conclusions. Cost estimates are provided as a guide for planning and budgeting. Actual construction costs may differ from provided estimates based on marketplace price escalations from the time of the estimates, availability of rare materials and other factors. These rehabilitation recommendations are made to ensure continued safe use of the historic courthouse as it functions as a site for public use.

BUILDING HISTORY & LOCATION

An architectural competition was held in 1935 to select a design for the new Davidson County Courthouse and Public Building in Nashville, Tennessee. Two architects, Frederick Heiron and Emmons Woolwine, worked in association and won the design competition. They devised an Art Deco design that was both distinctive and contemporary for its time. Construction of the building took approximately eighteen months before the building was opened to the public in December 1937.

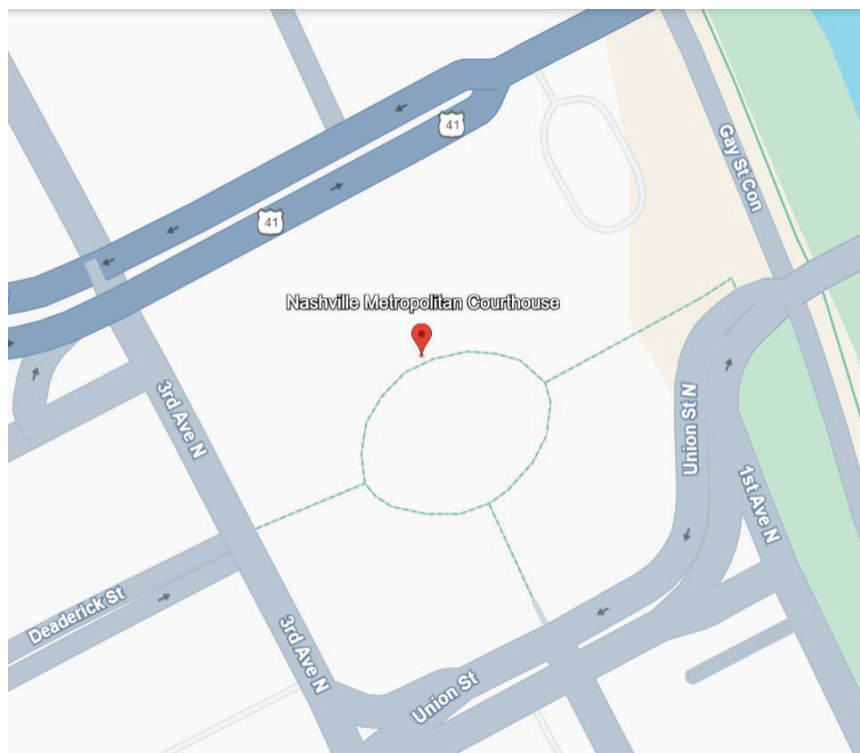
On the south-facing façade, large bronze exterior doors were furnished by the Michaels Art Bronze Company of Covington, KY and included bronze statuary of *Courage, Loyalty, Law, Justice, Security, and Wisdom* that were sculpted and executed by Rene Paul Chambellan. Chambellan is widely regarded as an America master of Art Deco sculpture with a prolific body of work. Premiere architectural firms of the early 20th century commissioned Chambellan's work as they designed some of the most prominent and architecturally significant buildings in America. Examples of his work can be found on the Chicago Tribune Building, the Chanin Building, Buffalo City Hall, the Sterling Memorial Library at Yale University, Radio City Music Hall, and Rockefeller Center.



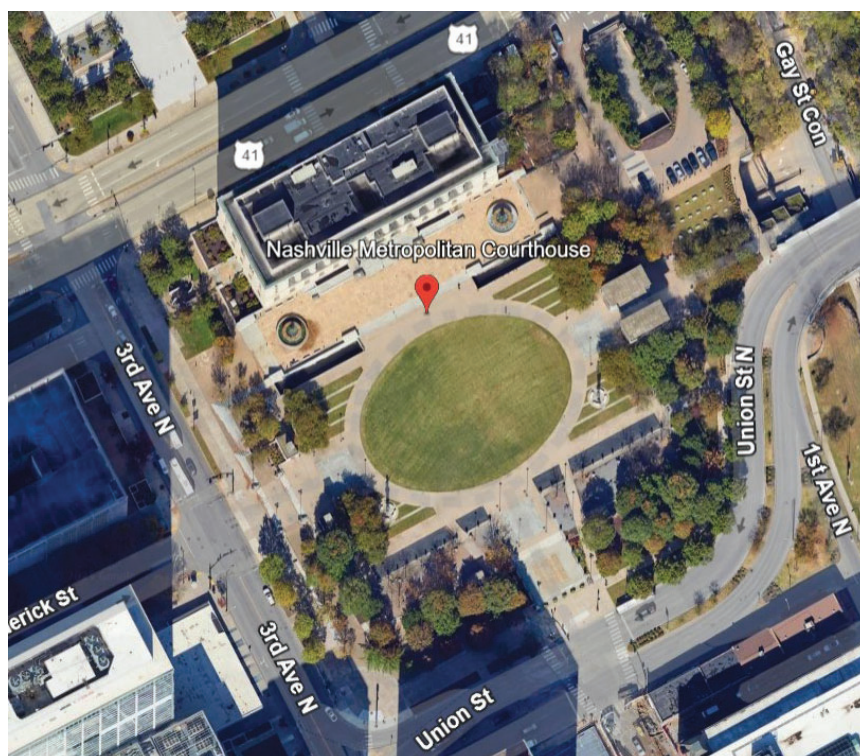
A detail image of the ca. 1935 architectural rendering of the Davidson County Courthouse entrance.
Image courtesy of Metro Nashville Historical Commission



An elevation image of one of the three pairs of bronze doors that were executed in the building's design. Image by TTG.



Nashville Metropolitan Courthouse Site Location. Image courtesy of *Google Earth*



Satellite image of Nashville Metropolitan Courthouse. Image courtesy of *Google Earth*

PHYSICAL DESCRIPTION

South Façade – Bronze Doors



Elevation image of the three pairs of bronze doors found on the south façade of the courthouse. Image by TTG.



Detail images of select bronze doors found on the south façade of the courthouse. Images by TTG.

Subframe

There are three sets of double doors located on the south elevation of the courthouse. The doors are approximately 240" tall and 61" wide. The doors weigh approximately 2,500 lbs each excluding the weight of the statuary. The total estimated weight with bronze statuary and medallions is 3,000 to 3,200 pounds.

The internal structure of each exterior door includes a welded sub-frame of mild steel C5x6.7. The frame is partially coated with orange lead based primer.



Detail image depicting the typical internal structure of each exterior door that includes sub-frame of mild steel. Image by TTG.

Cladding

The exterior, interior, and exposed end of the door are clad in .17" thick bronze. The exterior cladding of the door appears to either be a copper rich bronze or copper. The exposed face of the cladding has a faux bronze patina applied. The finish is inconsistent on each face of the doors.



Detail images of the faux bronze patina applied to the surfaces of the bronze doors. Images by TTG.

The interior side of the cladding is secured with countersunk ¼"-20 bronze screws. The screws have slotted heads and are fastened with tapped holes into the steel subframe. The exterior skin is secured with countersunk ¼"-20 bronze screws. The screw heads have been filed down to remove the slotted feature of the head. The screws are fastened to tapped holes into the steel subframe



Detail images of the interior side of the cladding fastener (at left) and the exterior side of the cladding fastener (at right). Images by TTG.

The latch side of the door consists of .17" bronze cladding, a solid bar of 1.125"x1.125" bronze, and a 3.4"x 1.25" piece of bronze. The solid bronze bar stock serves as a door stop when both doors are closed. The door stop on the stage right door is located on the rear of the door. The doorstop on the stage left door is located on the front. The bar stock and cladding are secured to the sub frame with ¼" -20 bronze screws. The bottom, top, and hinge side of the door are unclad



Detail image of the door stop found on the bronze doors. Image by TTG.

Door Accessories

There is a round hinged door pull inset into the back of each door.



Detail image of the typical round hinged door pull inset into the back of the bronze doors. Image by TTG.

There is also an inset door-catch receiver found on the back of each bronze door. Secure to the stone wall of the courthouse is a bronze door catch.



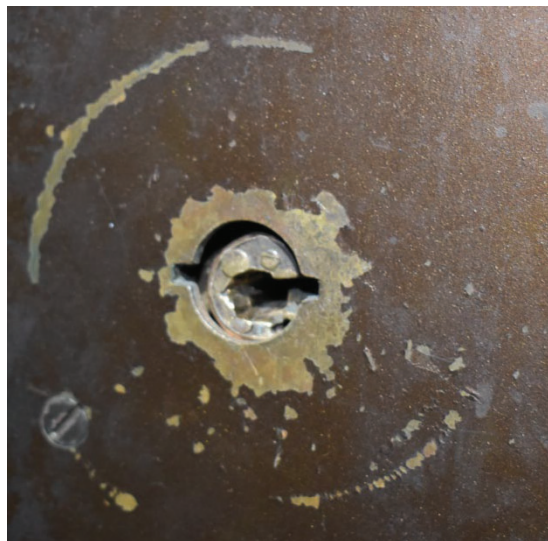
Detail images of the door catch receiver (at left) and the bronze door catch (at right). Images by TTG.

On the stage left door there is a threshold and header security bolt. A round bronze bolt receiver is embedded in the stone threshold. A round receiver hole is in the door header. The bolts are engaged with a flush mount lever located on the side of the door.



Detail image of the threshold and header security bolt. Image by TTG.

A keyed, hidden deadbolt is present in the stage right door. A deadbolt receiver is located in the stage left door.



Detail images of the door locking mechanism, the keyed deadbolt (at left) and the deadbolt receiver (at right). Images by TTG.

A cast bronze escutcheon plate is located above the threshold hinge. The plate is secured to the stone threshold using four countersunk, bronze, #6, flathead, machine screws. There is no seal or insulator between the escutcheon plate or the pivot hinge body



Detail image of the bronze escutcheon plate located above the threshold hinge. Image by TTG.

Hinge Components

There are two pivot hinges on each door. The threshold hinge body below the escutcheon plate is embedded in the stone threshold.



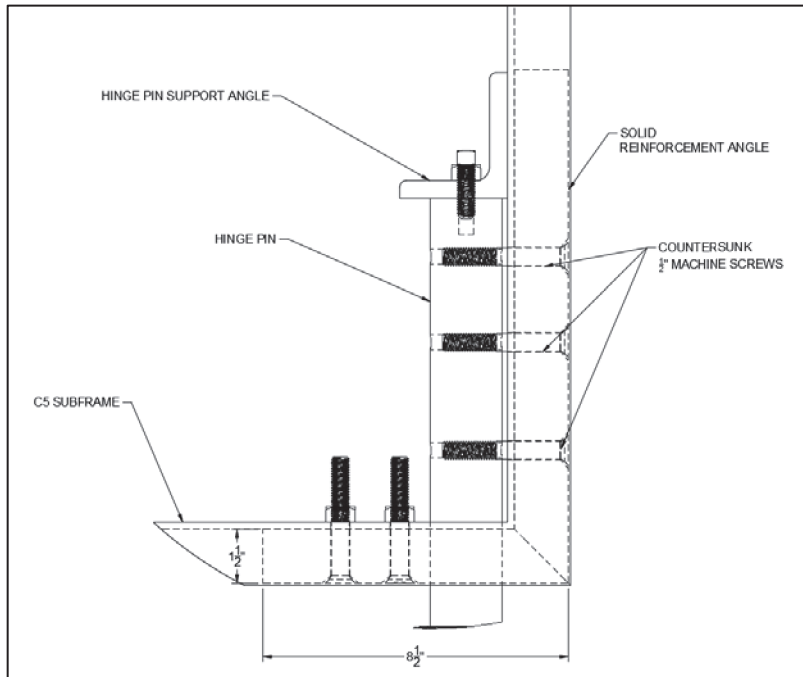
Detail image of the threshold hinge body embedded in the stone threshold. Image by TTG.

There were no visible signs of hinge body anchors. The header hinge is located above the entryway ceiling lightbox and is bolted to a structural steel frame member.



Detail image of the header hinge above the entryway ceiling. Image by TTG.

The header bearing is laterally adjustable with an adjustment block welded to the structural steel. A bolt is used to move the bearing. There is a 2" hinge pin inserted into the bearing body. The 2" pin travels through the door subframe and is secured to the frame with three fasteners.



Detail image of the header bearing (at left) and a shop drawing depicting the header bearing assembly (at right). Images by TTG.

Three 1/2" 13, countersunk, machine screws, fastened from the exterior of the door. These three screws are countersunk into an L shaped, corner reinforcement, and thread into the 2" hinge pin. One 1/2" 13, square head bolt, and nut secure the central z-axis of the hinge pin to a 1/2" x 3-1/2" x 3" angle that is welded to the subframe of the door.

The L shaped reinforcement is secured to the subframe with three 1/2" 13, countersunk machine screws. The three screws are countersunk into the corner reinforcement and are secured with square nuts on the inside of the [Grab your reader's attention with a great quote from the document or use this space to emphasize a key point. To place this text box anywhere on the page, just drag it.] subframe.

The L shaped reinforcement angle is approx. 4-1/2" wide x 1-1/2" thick. The part is either a weldment or a cast component.



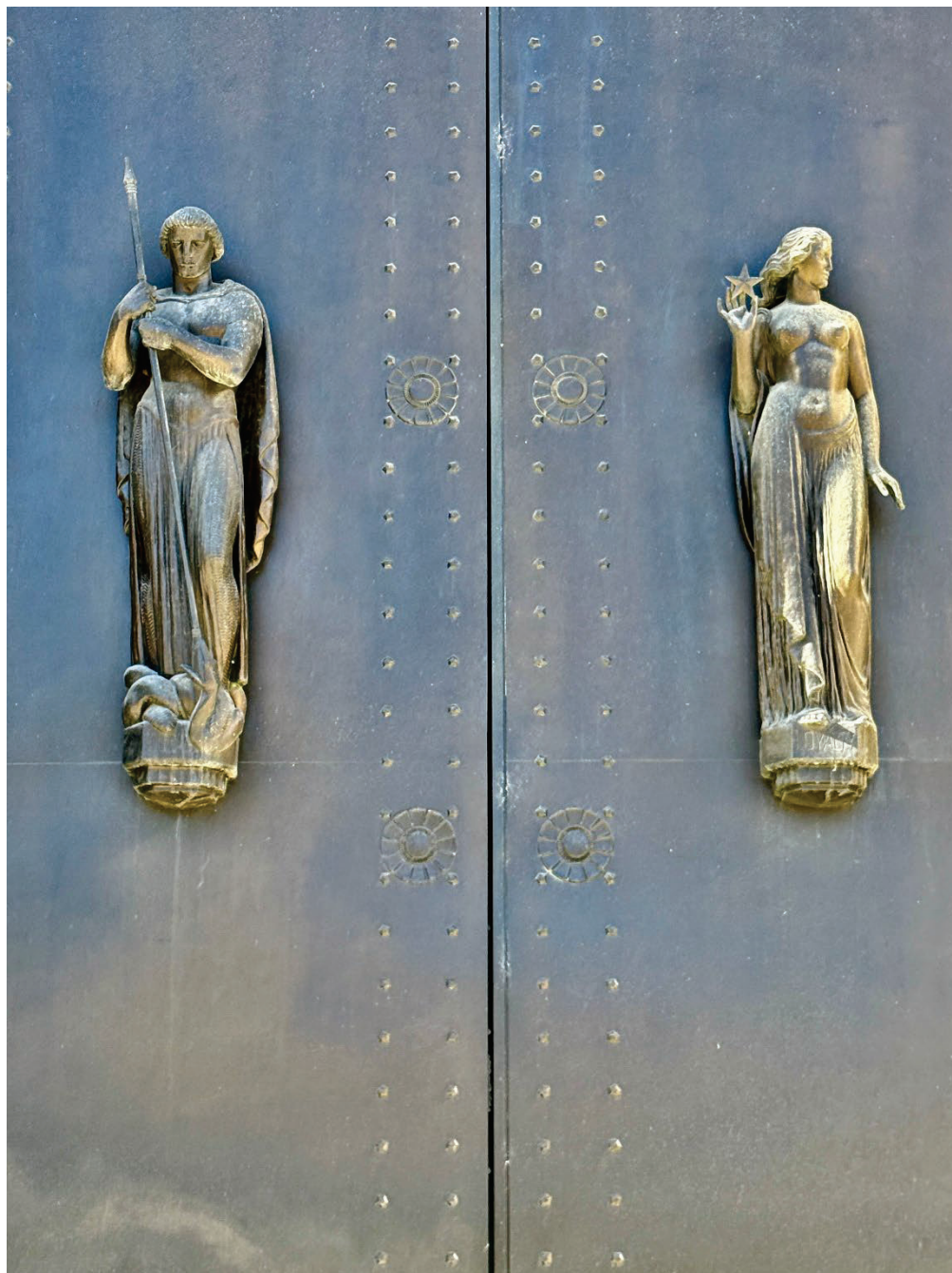
Detail image of the L shaped corner reinforcement. Image by TTG.

Statuary

Each door has a single, unique, bronze cast statuette by Rene Paul Chambellan. Each door includes 14 cast bronze rosettes and multiple irregular pentagon faux rivets. The statuary and decorative components are riveted to the door cladding.



Detail image of the rivets that secure the statuary and decorative elements to the bronze cladding. Image by TTG.



Elevation image statuary figures found on the bronze doors. Image by TTG.

West Façade – Bronze Doors

A single set of double doors are located on the west elevation of the courthouse. Each door has a single full glass pane. A single transom spans above the doors. The doors are fabricated from a brass/bronze that is similar to other original components located on the building. These doors appear to be original to the building. The doorway surround is fabricated in cast iron. The door are approximately 36 ½" wide and 83 ½" tall.



An elevation image of the double-doors on the west façade of the building. Image by TTG.

Internal Structure

The door frame is bent sheet metal with individual stile and rail components. The components are mechanically secured together with hidden brackets and fasteners.

Cladding

The exterior, interior, and exposed end of the door are clad in 3/32" brass or bronze. The exterior finish is a mill, natural, brown patina. The interior finish is brushed, slightly polished with a brass hue.



Detail image of the door cladding found on the west elevation doors. Image by TTG.



Detail image of the door cladding found on the interior of the west elevation doors. Image by TTG.

The exterior finish has green patina stains on the lower third of the door from salt used for snow and ice melt or a past masonry cleaning campaign.



Detail image of green patina stains on the lower third of the interior door surface. Image by TTG.

The glass pane is a 1/4" laminate pane. The glazing and glass appear to be relatively new. The interior of the door has four removeable glazing stops that are secured to the door with countersunk brass screws. The glazing stops are mitered at each corner.

Accessories

On the interior, each door has a stationary push bar with a brass finish. There is hardware and component remnants above the push bar from a second set of push bars that have been removed.



Detail image of remnants from previously installed hardware. Image by TTG.

Both doors have a semi-functional gas and spring powered door closer. The closers are not original and have been retrofitted to the door using an offset adapter plate. The closers do not match and are two different models.



Detail image of semi-functional door closer. Image by TTG.

There is a magnetic closer/lock bolted to each door. The electrical control system is bolted to the cast iron header of the doorway. These doors serve as an emergency exit only and the magnets release the doors during a fire alarm.



Detail image of the magnetic closer present on the west façade doors. Image by TTG.

The threshold is a multilayered bronze or brass assembly and it appears to be the same age as the doors. A pile weather stripping found only on the edge of the door stile. There is a single deadbolt present on the stage left door. The stage right door has a threshold and header security bolt built into the frame of the door.



Detail image of the multilayered bronze door assembly. Image by TTG.

Both doors are missing the pull bar handles on the exterior side of the door. The mounting brackets and fasteners are still present on the door. Each door has brass and rubber threshold weather stripping, secured to the bottom of the doors with screws.

Transom

The transom is a single panel located directly above the door header. The transom is a fixed and set into the cast iron frame. There is no sash for the transom. The glass panel is secured to the sash with solid bar stock that is fastened to the frame with countersunk fasteners.



Detail image of the transom above the doors found on the west façade. Image by TTG.

Cast Iron Surround

The cast iron door surround is set back approximately 18" from the exterior wall of the building. The exterior façade of the entryway is a multicomponent system fabricated from cast iron. The cast iron is either secured directly to the masonry or to an internal steel substrate that is similar to the north doorway cast iron. List of components include:

- (a) Interior and exterior mull cover with integrated dentil moldings
- (b) Jamb
- (c) Doorstop
- (d) Interior and exterior door and transom casing



Elevation image of the west façade doors. Individual components are notated. Image by TTG.

The cast iron is secured to structure and to adjacent cast members with countersunk flathead machine screws. There are several coats of paint on all the cast iron components

The interior door surround consists of painted cast iron and polished marble veneer panels. The polished marble is secured to the steel components and masonry block with copper wire and mortar

North Façade – Bronze Doors

Three sets of double doors are located on the north elevation of the courthouse. All doors have a single full glass pane. Each doorway has a sidelight on both sides of the opening. The northeast and northwest doors include a transom window above the doors. The doors appear to not be original to the building and have been retrofitted into the existing openings. Each entry has a painted decorative cast iron surround. The door dimensions are approximately 32" wide by 82" tall.



Elevation image of the typical doors found on the north façade of the courthouse. Image by TTG.

Internal Structure

The sub-frame is a bent c-channel frame fabricated from bent sheets of 3/32" bronze. The frame is either mechanically assembled or welded together. It is not possible to tell without removing the cladding

Cladding

The exterior, interior, and exposed end of the door are clad in 3/32" ga bronze. The exterior finish is a mill, natural, brown patina. The interior finish is brushed and slightly polished. There is less brown patina on the interior



Detail image of a typical door exterior cladding on the north façade of the courthouse. Image by TTG.



Detail image of a typical door interior cladding on the north façade of the courthouse. Image by TTG.

Both interior and exterior have green patina stains on the lower third of the door from salt used for snow and ice melt.



Detail images of green patina staining on the interior (pictured above) and exterior (pictured below) cladding on the north façade doors of the courthouse. Image by TTG.

The cladding is plug welded and end joint welded to the frame.



Annotated image of door components identified on the west façade doors of the courthouse. Image by TTG.

The glass pane is a ½" thermal pane. The glazing and glass appear to be relatively new. The interior of the door has four removeable glazing stops that are secured to the door with countersunk bronze screws. The glazing stops are mitered at each corner.



Detail image of the glazing stops found on the interior side of the door. Image by TTG.

Accessories

On the Interior, each door has a panic bar with a brass finish. The push bars are operational on all three sets of doors. The central north door panic bar also has a set of security bars integrated into the panic bar



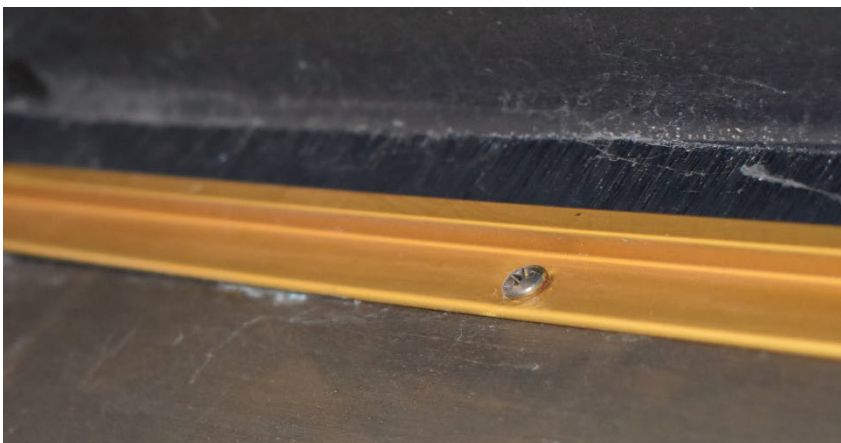
Detail image of a push bar on the interior side of the door. Image by TTG.

The northeast and northwest doors have a functional brass finished gas or spring powered closer. The center north door has motorized ADA compliant opener/closer



Detail image of the brass finished door closer. Image by TTG.

Each door has horsehair weather stripping installed on the left and right side of the interior side of the door. The weather stripping is set in a metal channel and is secured to the doors with screws. The weather stripping appears to be retrofitted to the doors. There is a brass finished channel on the northeast and north doors. The northwest door has a black finished channel. There is also a pile type weather stripping on the outside edge of each door.



Detail images (at left and above) of weather stripping types. Images by TTG.

Each door has a multi-layered bronze or brass threshold. The threshold appears to be the same age as the doors.



Detail image of a typical threshold found on the north façade doors of the courthouse. Image by TTG.

The central north door is the only door with handles on the exterior, executed in brass.. Each door has brass and rubber threshold weather stripping, secured to the bottom of the doors with screws.

Sidelights

Located on the side of each door is a 3 panel sidelight. The sidelight sashes are fabricated from brass or bronze. Each sidelight has a full-length piano hinge and a brass window latch. Each of the sidelights was securely closed and would not open. The glass panes are secured to the sashes with solid square bar stock. The bar stock is secured to the sashes with countersunk fasteners. Several of the fasters have been replaced with pan head screws.



Detail image of the interior side of a typical sidelight found on the north façade doors. Image by TTG.

Each sidelight has a missing piece of hardware located on the opposite side of the piano hinge. The fastener for the hardware is still present in the frame.



Detail image of the area where hardware is missing on the interior sidelight. Image by TTG.

The glass panels appear to be standard 1/8" or 3/16" glass. The panels are set in bed of white glazing.

Transom

The northeast and northwest doorways have a single panel transom directly above the door header. The transom is a fixed, brass sash that is similar in composition to the sidelights. The glass panel is secured to the sash with solid bar stock that is fastened to the sash with countersunk fasteners. It is frosted/etched with a beautiful art deco design that matches the design aesthetic of the building.



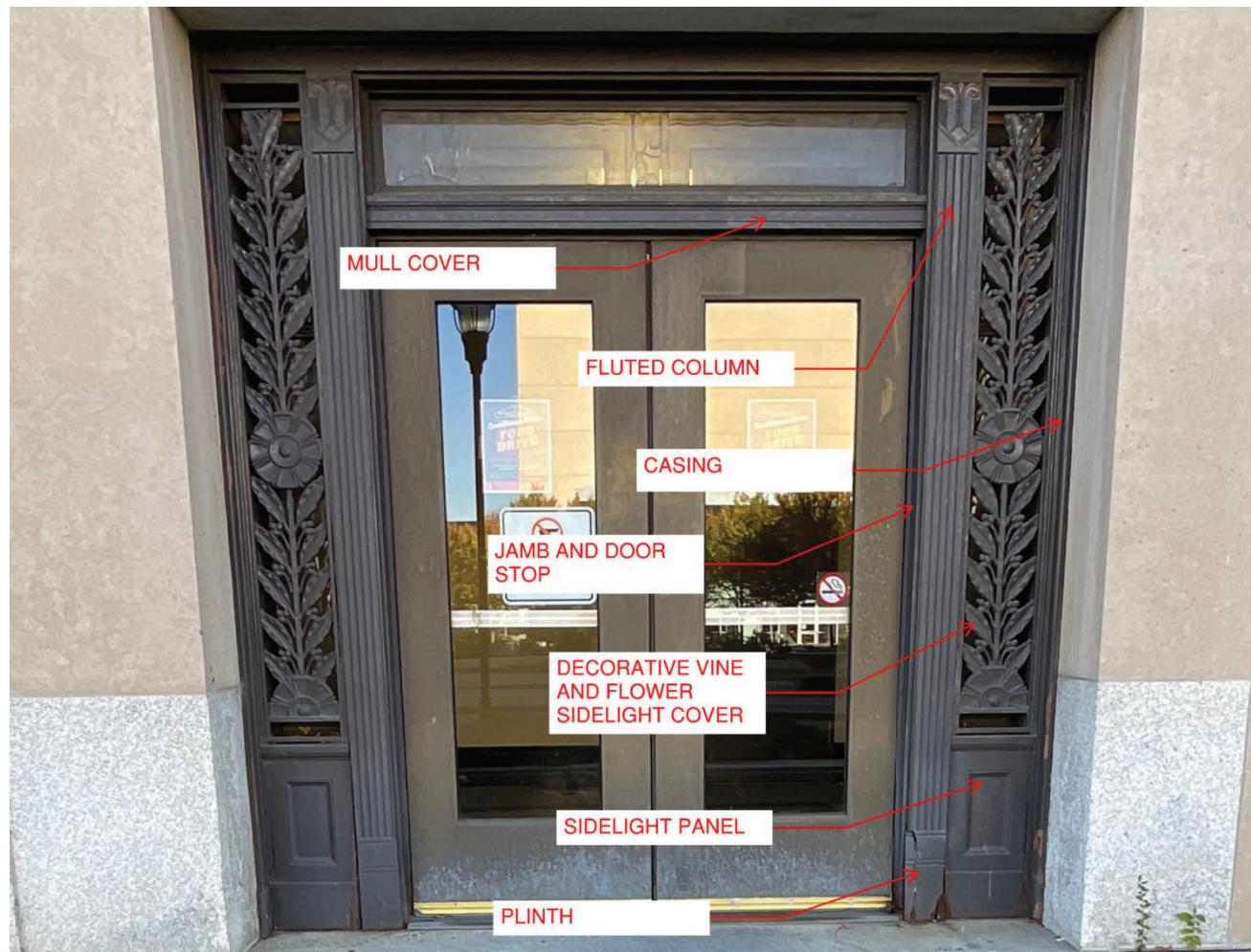
Elevation image of the decorative glass panel set into the transom. Image by TTG.

Cast Iron Surround

Each doorway is set back approximately 12" from the exterior wall of the building. The exterior surface of the entryway is a multicomponent system fabricated from cast iron. The cast iron is fastened to an internal structural steel wide flange beam. The internal steel has an orange lead based coating. Terracotta blocks and miscellaneous masonry is infilled between the steel and cast iron components.

List of components

- (e) Fluted column mull post with plinth bases
- (f) Interior and exterior mull cover
- (g) Jamb
- (h) Door stop
- (i) Interior and exterior door and sidelight casing
- (j) Exterior sidelight panel
- (k) Decorative vine and flower sidelight cover
- (l) Casing



Annotated elevation image of the cast iron surround components on the north façade of the courthouse. Image by TTG

The cast iron is secured to structure and to adjacent cast members with countersunk flathead machine screws. There are several coats of paint on all the cast iron components

Interior Surround

The interior door surround consists of painted cast iron and polished marble veneer panels. The polished marble is secured to the steel components with copper wire and mortar



Detail image of the interior surround. Image by TTG.

OBSERVED CONDITIONS

South Façade – Bronze Doors

Subframe

It was not possible to remove the cladding from all the doors and review the condition of each door. The assessment of the frames is based off the southeastern door. The C5 frame of the door is square and straight. The doors are plumb within an acceptable range. Any deviations out of plumb can be attributed to the condition of the bearings described below. The frame shows little to no signs of corrosion where the only corrosion observed is located on the bottom C5 rail that is contact with the bearing escutcheon plate and in close proximity to stone threshold. The welded joints are intact with no signs of cracking, undercut, incomplete fusion, or any visible voids or porosity.

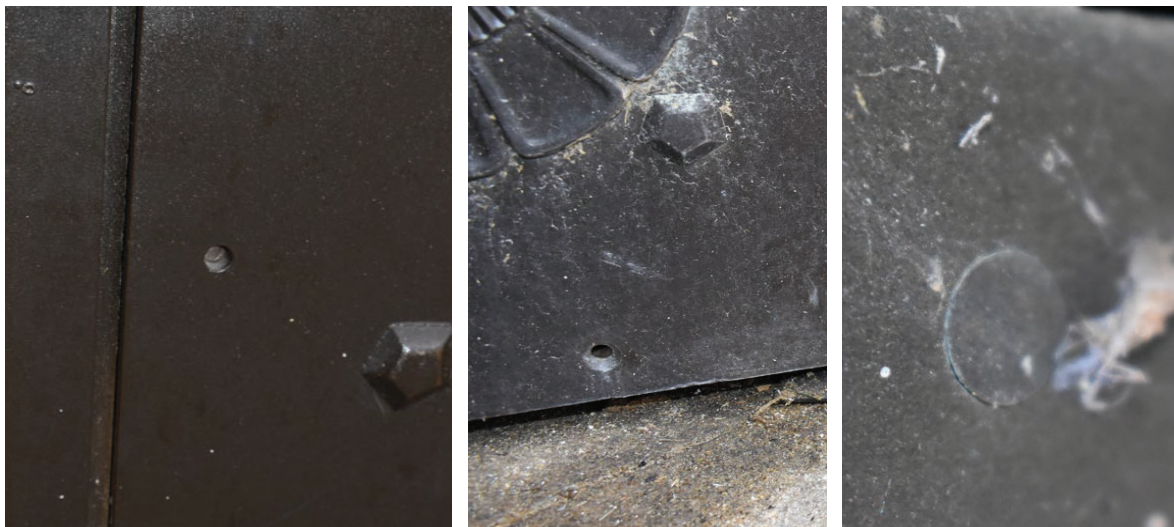


Detail image of the subframe of the bronze door. Image by TTG.

Cladding

Overall, the cladding is in good mechanical condition and is well fastened to the sub frame. Some deficiencies observed are multiple missing fasteners on the interior and exterior of the door. Loose fasteners on the interior and exterior of the door were also observed. It is not possible to tighten the exterior screws without replacing the existing screws or marring and altering the existing screwhead. The cladding acts as a frame stiffener. It is similar to how a sheet of plywood is used to maintain a square and rigid stud wall. The loose and missing screws can allow the frame to flex out of square. The loose and missing screws will also allow the cladding to vibrate or resonate against the frame while it is moved, during wind or weather events, and during thermal cycles. The number of missing or loose screws will exponentially accelerate over time due to these conditions.

Detail
images
of
various
missing
and
loose



fasteners observed during the assessment. Images by TTG.

In several locations on the exterior side of the door the cladding is deformed. The deformation is attributed to several conditions. The condition of the lower hinge has allowed the doors to impact the stone jamb. The weight of the doors in combination with the width and hinge location allow the doors to become a lever where the door operator has a significant mechanical advantage. The combined forces create a scenario where the cladding and stone jamb cannot withstand the force created by the door movement. The end result is broken stone and deformed cladding. The cladding is soft and as it impacts the stone, it becomes stretched. Over time, the cladding will further elongate. This decreases the clearance between the stone and the door and the cycle continues. The edge of the cladding also gets caught on the stone jamb and is pulled away from the steel door frame. This action loosens or breaks the fasteners holding the cladding to the frame. This condition cannot be eliminated without replacing the lower bearing assembly.



Detail image of deformation observed in the exterior side cladding. Image by TTG.

There are holes in the cladding located on the interior side of the doors and near the upper and lower bearing post. These holes are nonfunctional and serve no purpose but may have been drilled as an attempt to lubricate the bearing posts. It is not possible to lubricate the bearings from this location. These holes were used during the door assessment to access the interior of each door with a camera scope.



Detail image of one of the holes observed in the cladding during the assessment. Image by TTG.

Accessories

All the door pulls are mechanically functional and only show signs of normal wear. All the catch plates are mechanically sound and are firmly attached to the stone walls. There is one missing receiver plates. Several of the door catches are functional and the remainder are not. This could be caused by the deterioration of the bearings allowing the receiver and the catch to become misaligned, or a deformed and misaligned spring steel catch located inside the receiver plate.



Detail image of a missing receive plate observed during the assessment. Image by TTG.

The lower threshold security bolt is functional at all three sets of doors. The lever handle is present and functional but requires excessive force to engage or disengage. The upper header security bolt is nonfunctional on all three sets of doors. The lever to engage the bolts is missing at each location. It is unknown if the bolt is still present in the door or if it has been removed.



Detail image of the missing bolt lever observed during the assessment. Image by TTG.

TTG did not have access to the key to the doors to test each deadbolt, but it is believed they are functional and used each day to secure the doors at night. The keyed bolts do show signs of wear and misalignment from the exterior cladding.

All of the escutcheon plates are intact and present on each door. Due to the deterioration of the bearing the doors have dropped slightly and rest and pivot on the plates. This has resulted in several observed conditions. The doors are rubbing on the plates when they are opened or closed. This action flexes the cladding on the door frame and wears the top surface of the escutcheon plate. Two escutcheon plates were removed during the assessment. Both plates showed signs of deformation from the weight of the doors.



Detail image of an escutcheon plate removed during the assessment. Image by TTG.

The fasteners securing the plates to the threshold cannot withstand the force of the friction from the door. Several screws have dislodged from the substrate and are no longer present. At these locations the plates slightly rotate and move when the doors are opened and closed.

Hinge Components

The lower bearing is nonfunctional at all door locations. The embedded bearings have corroded and seized. Because of the mechanical advantage mentioned above, all the fasteners securing the door frame to the hinge pin have been sheared. Following the bearing failure the door began to pivot around the hinge pin, instead of rotating with it. This movement has worn away the hinge pin and the hole in the door frame and the reinforcement L the hinge pin is installed in. It is also responsible for the sound of squeaking and groaning. The holes drilled in the cladding were possibly drilled in this location due to the prominence of the noise. Over time this wear has increased the size of the hole and decreased the size of the pin. This wear in conjunction with the seized bearing has resulted in the doors moving out of alignment, increasing the load on the upper bearings, and making the doors difficult to operate. The corrosion can be attributed to the following:

- Its location below grade.
- Presence of water from rain, snow, and ice
- The use of de-icing salts
- The design of the bearing body
- Not sealed
- Improper materials for location
- They are impossible to service due to the inaccessibility of the bearing body

The escutcheon plate was removed from two of the doors. At one location, part of the bearing housing was accessible enough to remove a portion of the mortar and deteriorated body. The size of the door frame prevented accessing the entire bearing body. The exposed bearing body showed severe signs of deterioration.

The hinge pin is hidden by the escutcheon plate. The escutcheon plate was removed on the right southwest door and removed from the right southeast door. The southwest pin showed severe signs of deterioration. Directly below the door frame the corrosion has reduced the diameter of the pin from 2" to 1-1/4". This is almost a 40% reduction from its original size. The hinge pin located at the southeast door showed signs of heavy rust and corrosion, but did not exhibit the severe corrosion identified in at the southwest door.



Detail image of the severely deteriorated hinge pin observed during the assessment. Image by TTG.

A camera scope was used to review the inside of each door at the hinge pin. All of the doors exhibited the same sheared fastener symptom. The camera confirmed the ends of the fasteners were still threaded into the pin, the door rotated while the pin remained stationary. The scope was also used to review if the heads of the screws were still inserted into the reinforcement L. A large portion of the heads to the machine screws were missing.

Please access the following link to view videos captured on-site that document these conditions: [Davidson County Courthouse Bronze Door Condition Assessment Videos](#)



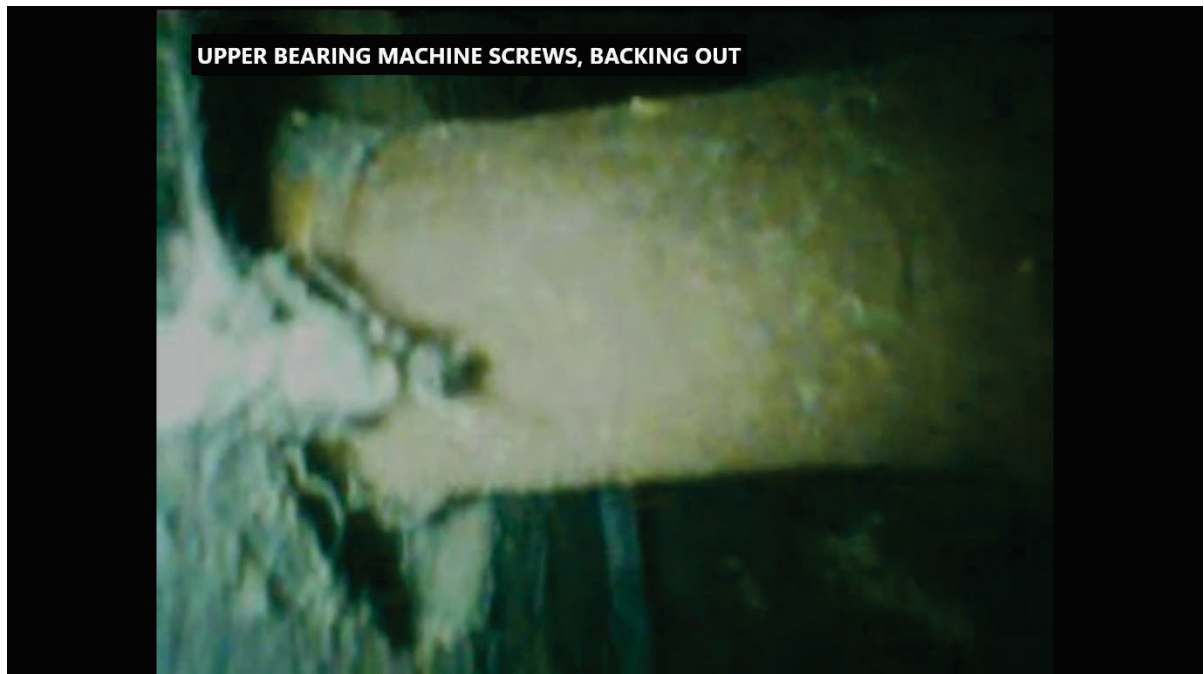
Borescope image that illustrates sheered machine screws. Image by TTG.

The upper bearing bodies are in excellent condition and exhibit very limited signs of deterioration. Without removing substantial portions of the ceiling light tray and its internal support, it is not possible to physically reach the bearing and perform a more in depth inspection.

The upper hinge pin at all locations pivot with the door. This is the intended behavior of the bearing system.

The camera scope was used to review the fasteners connecting the L reinforcement bracket to the hinge pin. The fasteners on three of the doors were backing out of the hinge pin. It was not possible to determine how much of the fastener remained threaded into the hinge pin. If the fasteners back completely out of the pin, the door will no longer be supported by the upper bearing and will begin to rotate around the pin. This will lead to the upper bearing condition being identical to the lower bearings.

Please access the following link to view videos captured on-site that document these conditions: [Davidson County Courthouse Bronze Door Condition Assessment Videos](#)



Borescope images of the internal fasteners that are backed out of the hinge pin. Images by TTG.

West Façade – Bronze Doors

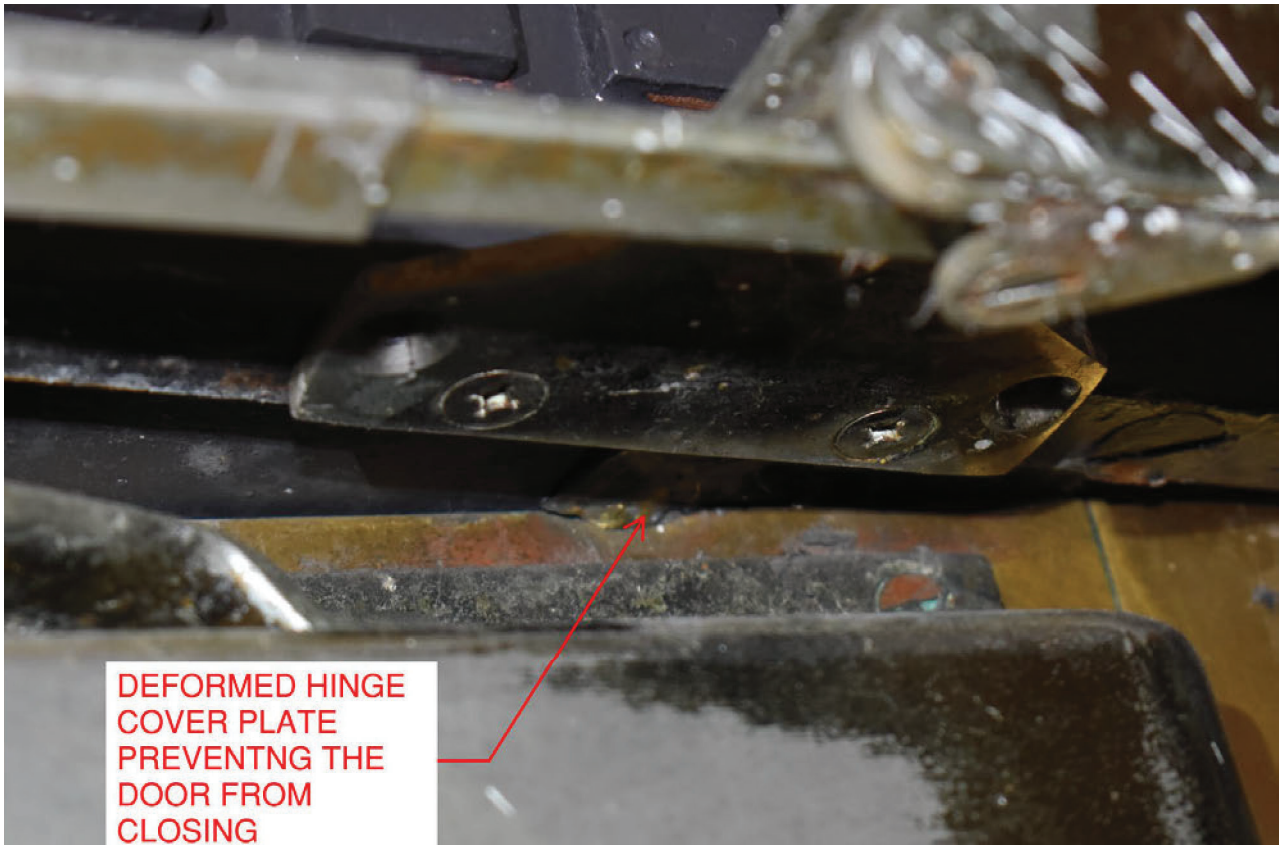
Doors

During the assessment TTG was required to coordinate with Metro to deactivate the magnetic closers. This was necessary to prevent the open doors from setting off the fire alarm. TTG did not test this function of the door system.

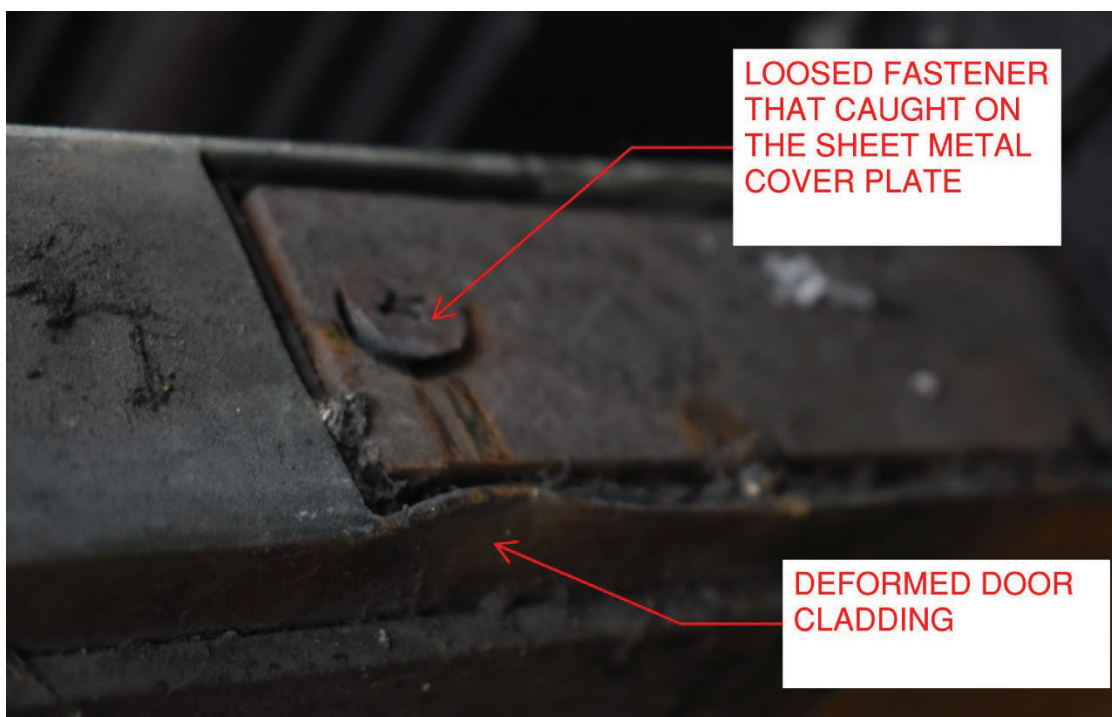
The stage left door was functional and took little effort to open and close. The right door required substantial effort to open and was impossible to close, even when using unreasonable force. There are two adjacent components that were interfering with the operation of the door.

The central bridge of the threshold is displaced and is applying upward pressure to the lower rail of the door. This pressure has pushed the door upward into the door header.

The decorative cover plate for the upper hinge pin has become dislodged from the screws securing it flush with the door header. A corner of the cover plate was pulled outward by a fastener securing the hinge pin receiver to the upper rail of the door frame. When the door is shut the deformed cover plate interferes with the door and does not allow it to completely close. While onsite TTG removed the deformed portion of the cover plate and was able to close the door with moderate force. The combination of loose screws and the reduced clearance between the header and the door caused this issue.

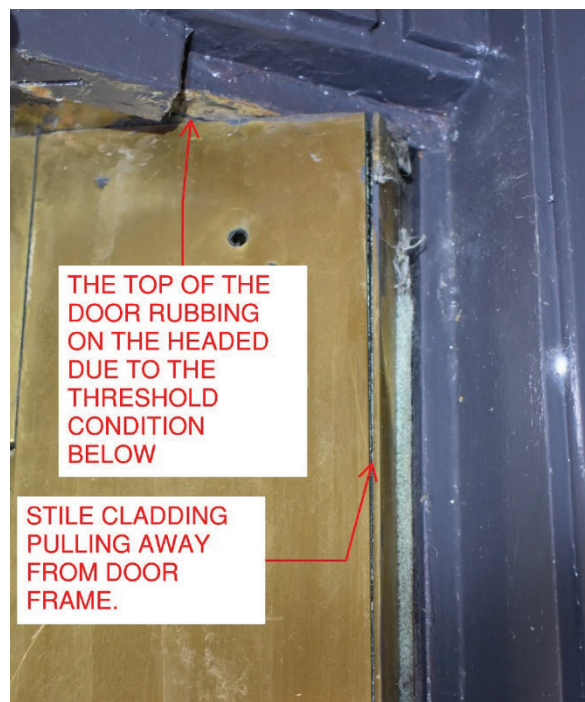


Detail image of the deformed hinge cover plate. Image by TTG.



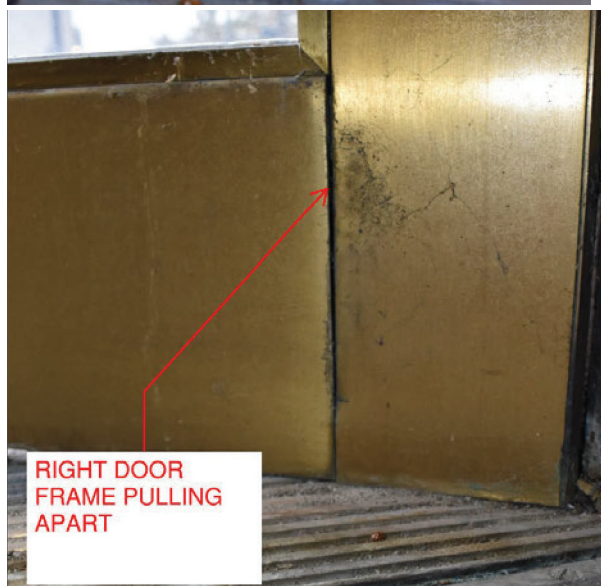
Detail image of deleterious issues observed during the condition assessment. Image by TTG.

There are multiple holes from removed and abandoned hardware on both doors. The stile cover on the hinge side of the right door is peeling away from the body due to the lack of clearance between the door and the header.

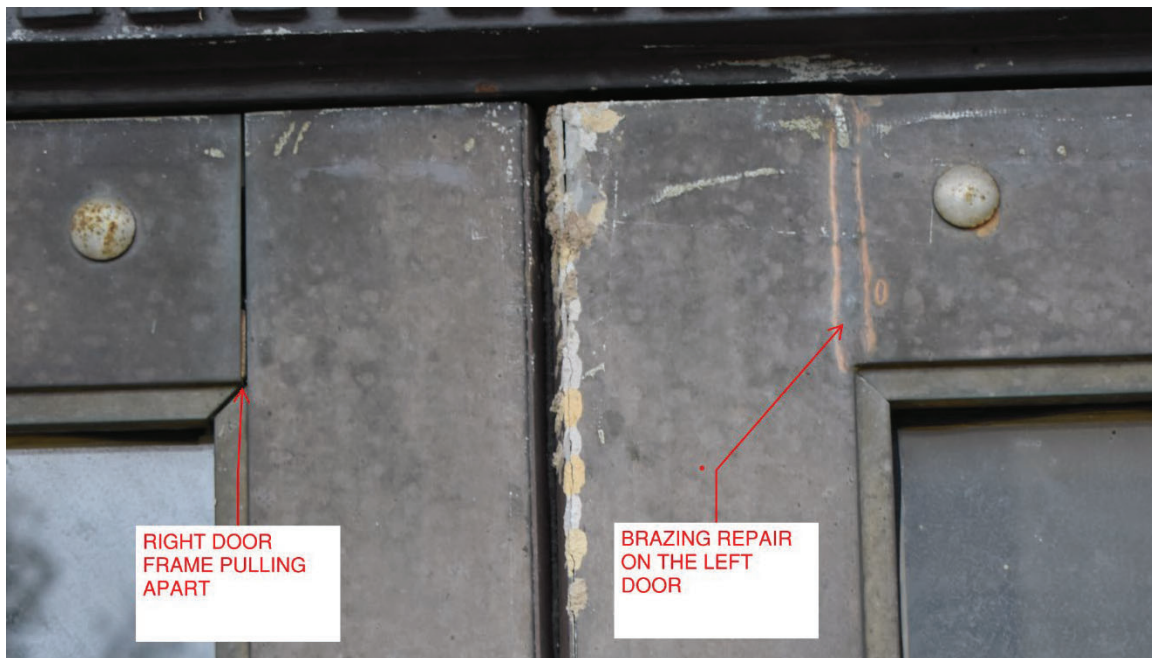


Detail image of holes and deformed stile cladding. Image by TTG.

The mechanical assembly of the door stiles to rails is failing at multiple locations on the right door. The joints on the left door separated in the past and were brazed together.

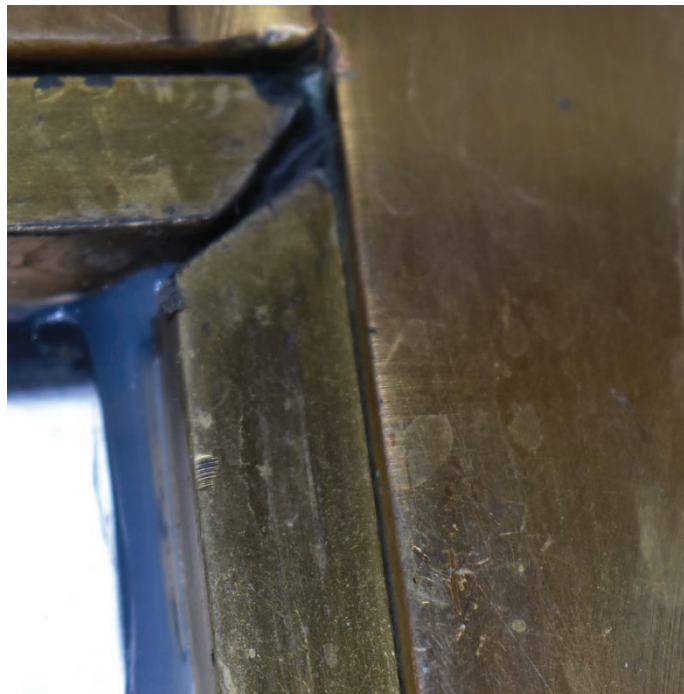


Detail images of various previous repairs and failure at the door rails. Images by TTG.



Additional image of previous repairs and failures on the door frames. Image by TTG.

The glass panes in each door show no evidence of cracks or delamination and the glazing is intact. The glass panes appear to have been replaced recently. Several of the interior glazing stops are misaligned and do not form clean miters.



Detail image of misaligned glazing stops on the interior door. Image by TTG.

Accessories

The spring and gas door closers are retrofit onto the doors and located on the top rail, adjacent to the stile joint. The location of the closer in combination with the door assembly may create enough force on the door frame that contributes to the failure of the stile and rail joints. The pivot hinges on both sets of doors are functional. The threshold and header security bolts are missing and nonfunctional.

Weather Stripping

The pile weatherstripping is present on the left door stile and the hinge side stile. The right door has a channel on the security bolt side for the pile, but it is not present.



Detail image of pile weather sealant. Image by TTG.

The threshold weather stripping on the right door has impacted the cast iron jamb and folded over on itself.



Detail image of folded weather stripping. Image by TTG.

Threshold

The threshold shows signs of fastener failure and lifting at the right side and center. This lifting is caused by fastener failure and the force applied to the edge of the threshold by the displaced cast iron. There are signs of water seepage underneath the threshold from the exterior. There is no clearance between the right door and the threshold starting at the hinge edge to roughly $\frac{3}{4}$ the width of the door. The left side of the threshold is not displaced and there is an acceptable $\frac{3}{16}$ " to $\frac{1}{4}$ " gap between it and the bottom of the door.



Detail of lifting threshold. Image by TTG.



Detail images of deleterious conditions observed on thresholds during the assessment. Images by TTG.

Transom

The transom glass pane and glazing appears to be functional and in good shape.

Cast iron surround

The cast iron exhibits signs of movement and displacement in the lower 18" of the jamb and the casing. The movement and displacement is caused by heavy corrosion of the internal steel structure and the adjacent cast iron. There are multiple open joints that allow water to seep behind the cast iron and soak into the masonry. This moisture is trapped in the wall and aids in the corrosion of the metal components.



Details images of corrosion displacement and movement on cast iron components. Images by TTG.

The cast iron and the internal support sits directly on the stone or concrete foundation. There is no flashing or sealant at this location. Any rainwater or melting snow can seep underneath the cast iron and into the wall cavity. There are signs of water seepage at all the jambs. Sealant has been applied in this location in an effort to mitigate the water intrusion. The sealant is acting as a water trap and accelerating the deterioration of the cast iron.



Detail image of heavily corroded cast iron on a door surround found on the west façade. Image by TTG.

The cast iron casing plinth is missing on the right door. The paint and sealant on the cast iron is failing at multiple locations. The cast iron above the 18" mark is in good condition.

North Façade – Bronze Doors

Doors

All the doors are mechanically functional and in good working order. The door frames and cladding are sound and only show signs of normal wear from use. Each door shows signs of corrosion from salt used for snow and ice removal. The glass panes on each door show no evidence of cracks or delamination and the glazing is intact.

Accessories

The panic bars are functional on each door. The lower security bar cover plate on the stage right central north door is damaged and needs resecured to the door. The self-closers are functional on each door. The automated opener and closer are functional on each door

Weather stripping

The retrofitted horse hair weather stripping is firmly secured in most locations. The weatherstripping has pulled off at the bottom of the doors at the northeast and north entrances. This condition appears to be the result of the weather stripping getting caught on the threshold when the doors are opened and closed.



Detail image of deformed weather-stripping on north façade doors. Image by TTG.

The pile weatherstripping is present on the door edges on the northwest and northeast door. The central north

door is missing the pile weather stripping.



Detail image of weather-stripping on north façade doors. Image by TTG.

Threshold

The threshold at each door shows signs of fastener failure and lifting at the center and ends. This lifting can be caused by fastener failure or substrate failure below the threshold.



Detail image of deteriorated threshold. Image by TTG.

Fasteners appear to be made of ferrous steel. The combination of salt, water, and galvanic reaction from the threshold contact, aided in the corrosion of the fasteners. There are signs of water seepage underneath the threshold from the exterior.



Detail image of lifting threshold observed during the assessment. Image by TTG.

The northeast door is rubbing on the threshold around the pivot hinge.



Detail image of deteriorated threshold on the northeast door. Image by TTG.

Sidelights

The side lights are in good mechanical shape. Several attempts were made to open the sidelights at each door. Each was securely shut and would not open with moderate force. These could have been secured shut with fasteners or the jambs have pinched the sashes in place. There are several broken glass panes. The glass in general is hazy with heavy soiling.



Detail images of side light glass panes. Images by TTG.

There are signs of water intrusion between the sash and glazing. This is evident by staining on the sash. This staining could also be caused by condensation on the interior of the sidelight.



Detail image of water intrusion on a sidelight examined during the assessment. Image by TTG.

Transom

The northwest transom glass is cracked in the lower right corner of the pane.



Detail image of crack transom glass. Image by TTG.

Cast Iron Surround

At each door the cast iron exhibits signs of movement and displacement. The movement and displacement is caused by heavy corrosion of the internal steel structure and the adjacent cast iron. There are multiple open joints that allow water to seep behind the cast iron and soak into the masonry. This moisture is trapped in the wall and aids in the corrosion of the metal components.



Detail images of severe corrosion and deterioration on cast iron surround elements. Images by TTG.

The cast iron and the internal steel support sits directly on the stone or concrete foundation. There is no flashing or sealant at this location. Any rainwater or melting snow can seep underneath the cast iron and into the wall cavity. There are signs of water seepage at all the jambs.



Detail image of deteriorated cast iron members. Image by TTG.

Several decorative cast iron components have cracked and split due to the rust jacking of the internal steel. These cracks allow additional water to intrude into the substrate.



Detail image of cracked and displaced cast iron components. Image by TTG.



Detail images of deteriorated and corroded cast iron members. Images by TTG.

The paint and sealant on the cast iron is past its lifespan.

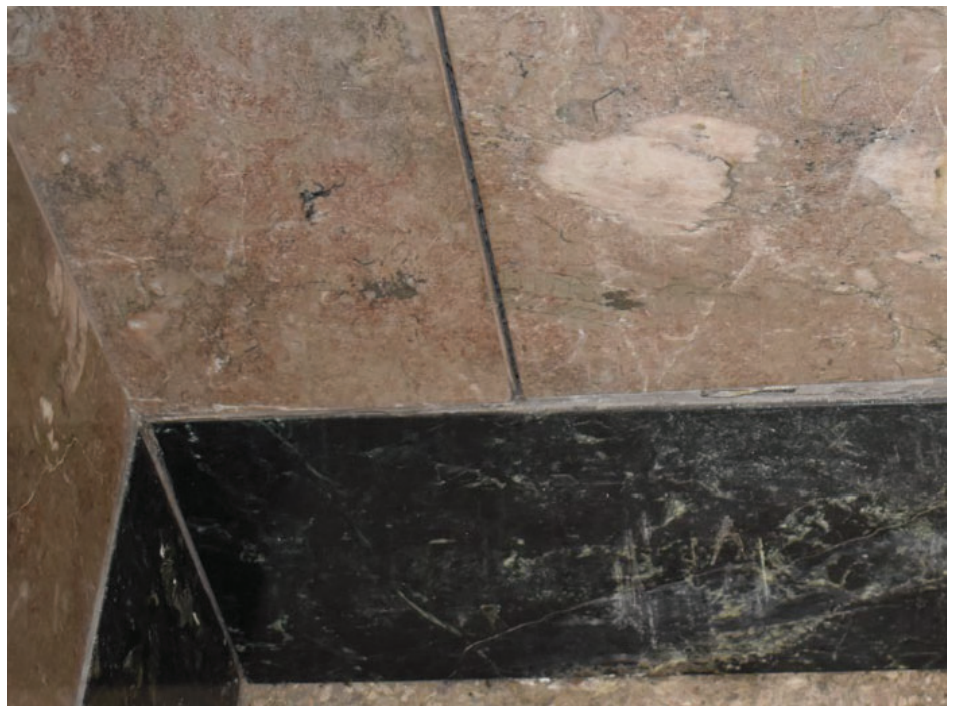


Detail image of paint and sealant coatings that are beyond their service life. Image by TTG.



Detail image of paint and sealant coatings that are beyond their service life. Image by TTG.

In multiple locations the corroded cast iron and support steel is causing the polished marble on the interior walls to be displaced. Two marble panels were removed at the northeast door at the floor level. The removal of these panels exposed the extent of the corrosion occurring in the interior of the wall.

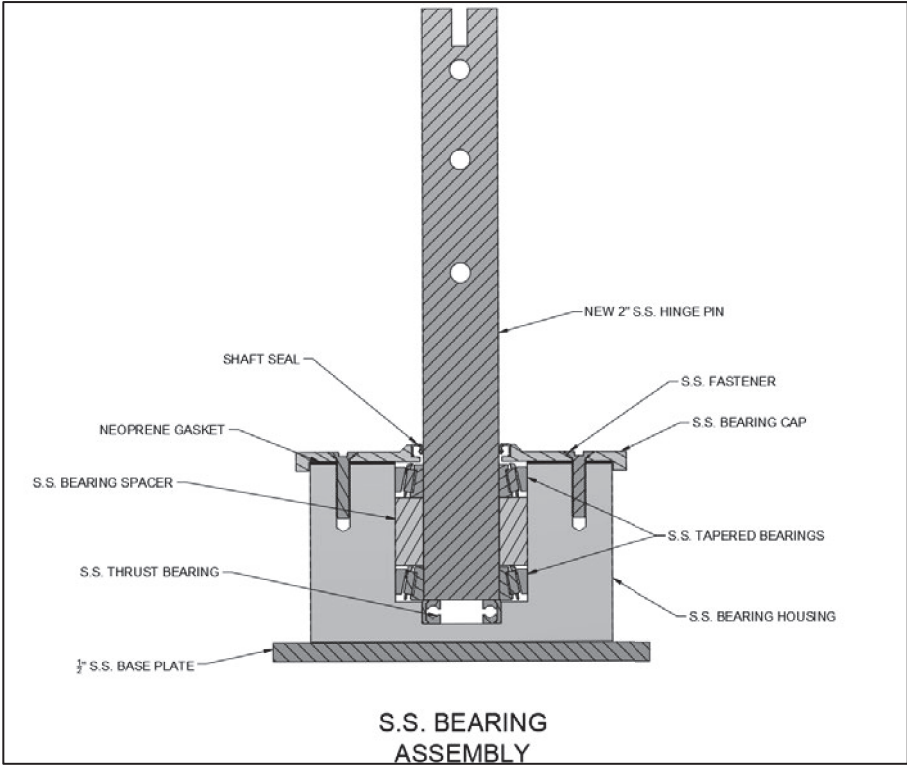
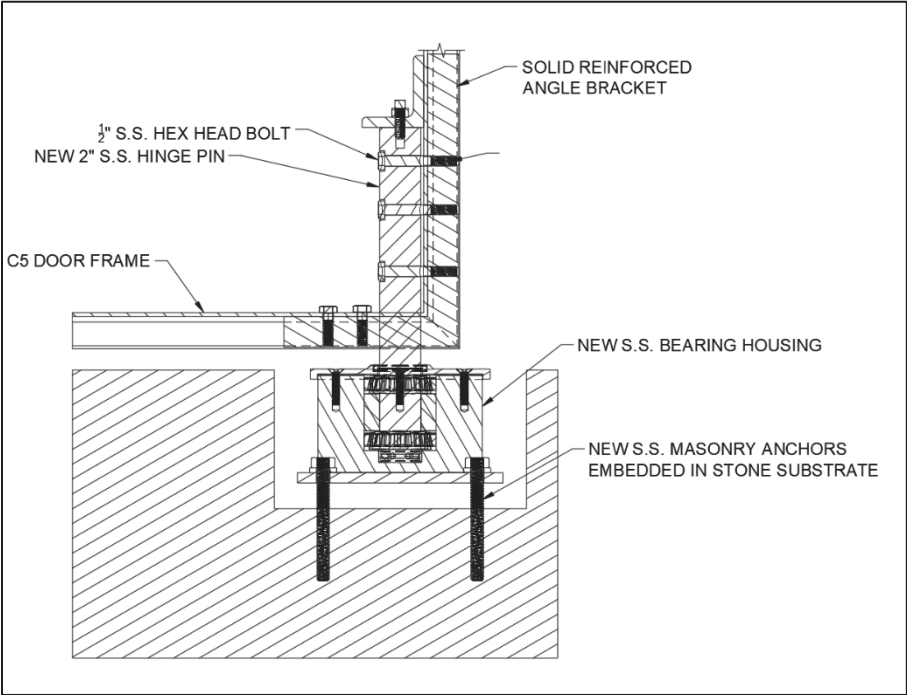


Detail images of displace marble components from underlying corroded metal components. Images by TTG.

TREATMENT RECOMMENDATIONS

South Façade – Bronze Doors

- 1) Complete removal of the doors to allow for the replacement of the lower bearing housings, upper bearing restoration, lead abatement of frame coatings, new HP frame coatings, cladding repairs, and cladding refinishing.
 - a) Door removal will require complete removal of the light tray ceiling above the doors
 - b) A temporary wall fabricated from steel studs, painted plywood, and lockable security doors can be installed at each door location.
 - c) All components should be cataloged and crated prior to site removal.
 - d) Custom rigging and material handling will need to be considered due to weight limitations on the plaza.
- 2) Complete replacement of the lower bearings on all doors.
- 3) Replace the existing bearings with custom designed lower bearing housing and internals. The design should include
 - a) New stainless steel housing.
 - i) New stainless steel bearings and shims
 - ii) Neoprene or VITON gasket between housing and housing cap.
 - iii) Accessible grease port for maintenance.
 - iv) Rotary shaft seal at hinge pin location
 - v) Top of the bearing housing and bearing cover joint should sit above ground level. This will prevent possible water, dirt, and salt from seeping into the bearing housing. The Escutcheon plate may need to be adjusted to accommodate the new design.
 - b) New stainless steel pivot hinge pin and attachment
 - i) The old hinge pins should be replaced with a new stainless steel hinge pin.
 - ii) The mounting configuration of the pins to the doors should be adjusted as follows.
 - (1) Utilize hex head bolts. Change the threaded holes in the hinge pins to clearance holes.
 - (2) Mill the hinge pin flat at the clearance holes. This will increase the surface area engagement between the hex head and the pin.
 - (3) Change the clearance holes in the solid L reinforcement angle to threaded holes or use lock washers and nuts on the exterior side of the bracket.
 - (4) These changes will allow access to the fasteners by removing the inside lower or upper cladding. The current design only allows access to the fasteners by removing the door.
 - iii) Review of the existing lower bearing housing masonry anchorage.
 - (1) Review any existing as-built or project drawings
 - (2) If required, enlarge the existing housing masonry pocket to allow installation of new stainless steel anchors.
 - (3) Infill gap between housing and stone threshold with non-shrink grout
 - iv) Concept drawings included on the following page.



Concept drawings of custom designed lower bearing housing and internals. Drawings by TTG.

- 4) Restore the upper bearing housing
 - a) Catalog and remove.
 - b) Disassemble
 - c) Removal of existing coatings
 - d) Assessment of the condition of internal components
 - e) New HP coating
 - f) Replacement of worn components
 - g) Repacking and assembly of bearing.
 - h) Replacement of the hinge pin with new stainless steel pin
 - i) Addition of grease port if one is not present on the housing
- 5) Removal and restoration of cladding, statuary, and accessories
 - a) Catalog all accessories, cladding, and statuary
 - b) Onsite removal and crating of accessories, cladding, and statuary
 - c) Repairs
 - i) Cladding
 - (1) Assess all components
 - (2) Repair any cracks or holes in cladding by brazing
 - (3) Flatten and reshape damaged cladding
 - (4) Re-patinate to an even semi-transparent brown finish.
 - ii) Accessories
 - (1) Door catch plate
 - (a) Mill new catch plate receiver from solid silicone bronze. Fabricate new catch spring from stainless steel sheet.
 - (b) Adjust existing catch spring sheet metal on all catch plates
 - (2) Security barrel
 - (a) Remove all components
 - (b) Assess components
 - (c) Replace missing components with replica/salvaged, or modern components
 - (3) Deadbolt lock
 - (a) Remove locking mechanism
 - (b) Assess components
 - (c) Recondition or repair components.
 - (4) Hinged door pull
 - (a) Assess for repairs
 - (5) Escutcheon plate
 - (a) Flatten warped plates
 - (b) Alter plate to accommodate new bearing housing if needed
 - (c) Re-patinated to an even semi-transparent brown finish.
- 6) Door frame restoration
 - a) Catalog
 - b) Removal from hinges

- c) Removal from Site
- d) Coating removal and abatement
- e) Condition assessment
 - i) Repairs
 - (1) Straighten and square frame if needed
 - (2) Review all welded joints and repair if needed
 - (3) Review all threaded holes
 - (4) Repair any damaged holes with stainless steel helicoils to maintain hole location for cladding
 - (5) Remove hinge pin support angle. This is required for reinstallation of the door frame
 - ii) Apply new HP coating
 - (1) SW or Tnemec system based on manufacturer's rep recommendation.
- f) Reinstallation of all components onsite.
 - i) Hinge
 - (1) Install lower bearing housing
 - (a) Use new S.S. fasteners
 - (2) Install upper bearing housing
 - (a) Use new stainless steel fasteners
 - (3) Install escutcheon plate
 - (a) Use new bronze fasteners and s.s. anchors
 - (4) Install frame
 - (a) Align frame with bearing housings
 - (b) Insert new stainless steel hinge pin into bearing housings.
 - (c) Bolt hinge pin to frame and L reinforcement bracket using 316 s.s. fasteners and Loctite 271
 - (d) Weld hinge pin support angle to frame
 - (i) Recoat welded zone with HP paint system
 - (e) Through bolt the hinge pin to the angle
 - (f) Adjust upper bearing to plumb the door
 - (g) Test door operation.
 - ii) Install cladding and accessories
 - (1) Exterior cladding
 - (a) Use silicone bronze, 1/4"-20 flat head screws to resecure the cladding to the frame
 - (i) Use Loctite 271 on all fasteners
 - (b) Grind, file, and sand flush screw heads to the surface of the cladding
 - (2) Interior cladding
 - (a) Use silicone bronze, 1/4"-20 flat head screws to resecure the cladding to the frame
 - (i) Use Loctite 271
 - (3) Install accessories using appropriate hardware
 - iii) Re-patinate cladding and hardware to an even semi-transparent brown finish.

West Façade – Bronze Doors

- 1) Repairs needed
 - a) General Repair Notes
 - i) The doors need a full and complete disassembly and restoration or to be completely replaced with custom manufactured bronze doors.
 - ii) The cast iron surround will require complete disassembly to address the corrosion and water infiltration at the threshold.
 - b) Doors
 - i) Due to the brazing repairs on the left door it will be very difficult and not cost effective to return the doors to their original state. The best option for restoration would require brazing all the joints on both doors to match the repairs that have already been performed.
 - ii) All the holes from missing hardware require brazing repairs and finish work to create a seamless repair.
 - iii) The miss cut glazing stops would be replaced with new materials cut with clean and tight miters.
 - iv) All the glass panels would be set in new glazing and sealant.
 - v) Based on the repairs listed above, new doors may be a cost effective option
 - c) Accessories
 - i) Weather stripping
 - (1) There are several retrofit products on the market that can be added to help seal the perimeter and edges of the doors
 - (2) Legacy Manufacturing manufactures stainless steel, adjustable perimeter gaskets that are installed on the jambs. The bodies of these gaskets could be painted to match the jamb. They also manufacture several meeting stile gaskets. Several of these gaskets can be installed in the existing pile gasket channel on the edge of the door. Pemko is another manufacturer.
 - (a) <https://www.legacyllc.com/product/5071ss-gasketing/>
 - (b) <https://www.legacyllc.com/product/735ms-meeting-stile/>
 - (c) https://www.pemko.com/en/products/astagals-meeting-stiles/split-astagals/product-details-nm.aehpdp-372-series-ag_pemko_301736
 - ii) Threshold
 - (1) The thresholds should be removed, assessed for reuse, cleaned and or repaired, and reinstalled. If the threshold is in poor condition or if the original configuration is not functional for the new installation it should be replaced. The following should be considered for reinstallation
 - (a) The substrate below the threshold should be reviewed to ensure it is sound and repairs should be made if there are signs of cracks or spalled stone.
 - (b) A permanent small masonry or stainless steel curb should be installed below the threshold location. This will act as a water stop. The curb and the surrounding masonry should be coated in a liquid applied PMMA system. The PMMA should tie into the new flashing system for the cast iron and masonry structure.
 - (c) The threshold should be installed in a bed of sealant and secured with bronze or brass fasteners set in lead or stainless steel anchors
 - d) Transom
 - i) The transom glass and stops should be cataloged and removed from their frame.
 - ii) An assessment and documentation of their conditions should be made after their removal
 - iii) The transom should be reinstalled after all other repairs to the adjacent materials have been made.

e) Cast Iron and Interior Marble Removal

i) Image of extend of cast iron assembly removal shown below:



- ii) Identify and catalog all cast iron components and their locations
 - iii) Identify and catalog all marble panel components and their locations
 - iv) All interior and exterior cast iron should be removed from the entrance.
 - v) All interior marble panels in contact with the cast iron or covering the structural steel should be removed.
- f) Structural Support Steel and Substrate
- i) Review with a structural engineer the condition of any structural steel during and after removal of cast iron, interior marble panels and masonry substrate.
 - ii) Remove and dispose of all coatings on existing steel. Perform in situ when required. ALL paint is assumed to be lead based.
 - iii) Replace or repair any components that are too corroded to reuse.
 - iv) Apply HP coating to existing, repaired, or replaced steel components.

- g) Internal flashing
 - i) Image of extent of liquid applied PMMA flashing shown below:



- ii) Install a liquid applied PMMA flashing behind the cast iron and under the threshold. This flashing will prevent water from entering the building below the threshold and cast-iron surround.
 - iii) The flashing should extend the entire length of the stone entrance opening and turn outward along the stone jambs. The flashing should extend to the end plane of the cast iron brick molding.
 - iv) The flashing should extend vertically a minimum of 6"
 - v) A reglet should be cut into the threshold for the PMMA to terminate into.
- h) Cast Iron Repairs and Installation
 - i) Remove and dispose of all coatings
 - (1) Paint is assumed to be lead based
 - ii) Review components for cracks, deterioration, and for missing or damaged components that cannot be repaired.
 - iii) Replace any missing components or components with 60% or more section loss with new cast iron components
 - iv) Repair schedule
 - (1) Cracks or split pieces
 - (a) On ¼" and thicker materials use the stitch and lock repair method
 - (b) On smaller, non-structural pieces, or broken corners use a stainless steel backing plate, mechanical fasteners, and Devcon metal putty to reattach the broken component.
 - (2) Deterioration and section loss
 - (a) Rebuild and shape to match using devcon metal putty.
 - v) Recoat all sides using a high-performance coating from Sherwin Williams or Tnemec

- vi) Reinstall components using countersunk, stainless steel fasteners, stainless steel bolts, nuts, washers, stainless steel brackets and shims.
- vii) Seal all joints and apply the final coat of paint after installation
- viii) All cast iron components shall maintain a minimum of 1/4" clearance from all masonry surfaces. Surfaces Include but are not limited to the foundation, walls, masonry substrate, and interior marble.
- i) Miscellaneous
 - i) Reinstall all door components after cast iron and marble panels have been reinstalled.
 - ii) Temporary walls and doors will need to be installed during the removal and repair of the cast iron surrounds

North Façade – Bronze Doors

- 1) Repairs needed
 - a) General Repair Notes
 - i) The doors are functional and require little service. However, the surrounding cast iron door frames show significant damage from internal corrosion. The damage is so extensive that performing in situ repairs cannot address the rust jacking occurring on the interior substrate. In place repairs would also not address the failed coatings and sealant that are inaccessible without removal of the cast iron.
 - b) Doors
 - i) The doors are in good mechanical shape and need little to keep them serviceable. The doors will need to be removed in coordination with repairs to the cast iron door frames and any displaced adjacent materials.
 - ii) The retrofitted horsehair weather stripping is functionally and aesthetically incorrect. All locations could be replaced with an adjustable gasket that is installed on the door frame and also on the door. If a new gasket seal is installed, the holes from the existing weather stripping will need to be filled and finished to blend into the door cladding.
 - iii) All hinges, hinge mounts, hinge pins, etc should be assessed, cleaned and reconditioned during disassembly
 - c) Accessories
 - i) Weather stripping
 - (1) There are several retrofit products on the market that function better and possibly improve the aesthetics of the horse hair weather stripping
 - (2) Legacy Manufacturing manufactures stainless steel, adjustable perimeter gaskets that are installed on the jambs. The bodies of these gaskets could be painted to match the jamb. They also manufacture several meeting stile gaskets. Several of these gaskets can be installed in the existing pile gasket channel on the edge of the door. Pemko is another manufacturer.
 - (a) <https://www.legacyllc.com/product/5071ss-gasketing/>
 - (b) <https://www.legacyllc.com/product/735ms-meeting-stile/>
 - (c) https://www.pemko.com/en/products/astragals-meeting-stiles/split-astragals/product-details-nm.aehpdp-372-series-ag_pemko_301736
 - ii) Threshold
 - (1) The thresholds should be removed, assessed for reuse, cleaned and or repaired, and reinstalled. If the threshold is in poor condition or if the original configuration is not functional for the new installation it should be replaced. The following should be considered for reinstallation
 - (a) The substrate below the threshold should be reviewed to ensure it is sound and repairs should be made if there are signs of cracks or spalled stone.
 - (b) A permanent small masonry or stainless steel curb should be installed below the threshold location. This will act as a water stop. The curb and the surrounding masonry should be coated

in a liquid applied PMMA system. The PMMA should tie into the new flashing system for the internal steel and masonry structure.

- (c) The threshold should be installed in a bed of sealant and secured with bronze or brass fasteners set in lead or stainless steel anchors
- d) Sidelights
 - i) The side light sashes should be cataloged and removed from their frames.
 - ii) An assessment and documentation of their conditions should be made after their removal.
 - iii) The glazing stops should be removed along with the glazing, glazing blocks, and the glass panes.
 - iv) Any repairs or refinishing of the sashes should be performed prior to reinstalling the glass
 - v) Missing hardware should be identified and replaced
 - vi) The existing glass should be cleaned and any broken or chipped panes should be replaced with matching glass.
 - vii) The glass panes should be installed and sealed using Sarco Dual Glaze glazing compound.
 - viii) The sidelights should be reinstalled after all other repairs to the adjacent materials have been made.
- e) Transom
 - i) The transom sashes should be cataloged and removed from their frames.
 - ii) An assessment and documentation of their conditions should be made after their removal
 - iii) The glazing stops should be removed along with the glazing, glazing blocks, and the glass panes
 - iv) Any repairs or refinishing of the sashes should be performed prior to reinstalling the glass
 - v) The existing glass should be cleaned
 - vi) A new etched glass pane for the northwest transom should be fabricated to match the existing pane.
 - vii) The glass panes should be installed and sealed using Sarco Dual Glaze glazing compound.
 - viii) The sidelights should be reinstalled after all other repairs to the adjacent materials have been made.
- f) Cast Iron and Interior Marble Removal
 - i) Images of extent of material needed to be removed for repair shown below:





- ii) Identify and catalog all cast iron components and their locations
- iii) Identify and catalog all marble panel components and their locations
- iv) All interior and exterior cast iron should be removed from the northeast and northwest entrances. At the central north entrance the exterior cast iron should be removed from the second floor lower mull cover down to the threshold. All the interior 1st floor cast iron at the central north entrance should be removed.
 - (1) The location of existing joints is unknown. Removal of the identified pieces may require removing additional or fewer components.
- v) All interior marble panels in contact with the cast iron or covering the structural steel should be removed.
- g) Structural Support Steel
 - i) Review with a structural engineer the condition of structural steel during and after removal of interior marble panels and masonry substrate.
 - ii) Remove and dispose of all coatings on existing steel. Perform in situ when required.
 - iii) Replace or repair any components that are too corroded to reuse.
 - iv) Apply HP coating to existing, repaired, or replaced steel components.

h) Internal flashing

i) Image of boundary for liquid applied flashing shown below:



- ii) Install a liquid applied PMMA flashing behind the cast iron and under the threshold. This flashing will prevent water from entering the building below the threshold and cast-iron surround.
- iii) Install stainless or zinc clad copper flashing on the exterior wall behind the finish plane of the cast iron. The flashing only serves as a substrate to apply a new liquid applied PMMA flashing.
- iv) The flashing should extend the entire length of the stone entrance opening and turn outward along the stone jambs. The flashing should extend to the end plane of the cast iron brick molding.
- v) The flashing should extend vertically up to the sidelight windowsill
- vi) A reglet should be cut into the threshold for the flashing to terminate into.
- i) Cast Iron Repairs and Installation
 - i) Remove and dispose of all coatings
 - ii) Review components for cracks, deterioration, and for missing or damaged components that cannot be repaired.
 - iii) Replace any missing components or components with 60% or more section loss with new cast iron components
 - iv) Repair schedule
 - (1) Cracks or split pieces
 - (a) On 1/4" and thicker materials use the stitch and lock repair method
 - (b) On smaller, non-structural pieces, or broken corners use a stainless steel backing plate, mechanical fasteners, and Devcon metal putty to reattach the broken component.
 - (2) Deterioration and section loss
 - (a) Rebuild and shape to match using devcon metal putty.
 - v) Recoat all sides using a high-performance coating from Sherwin Williams or Tnemec
 - vi) Reinstall components using countersunk, stainless steel fasteners, stainless steel bolts, nuts, washers, stainless steel brackets and shims.
 - vii) Seal all joints and apply the final coat of paint after installation
 - viii) All cast iron components shall maintain a minimum of 1/4" clearance from all masonry surfaces. Surfaces Include but are not limited to the foundation, walls, masonry substrate, and interior marble.
- j) Misc.
 - i) Reinstall all door components after cast iron and marble panels have been reinstalled.
 - ii) Temporary walls and doors will need to be installed during the removal and repair of the cast iron surrounds

REFERENCES

National Park Service, "National Register of Historic Places Inventory – Nomination Form: "Davidson County Courthouse/ Metropolitan Courthouse" (https://npgallery.nps.gov/NRHP/GetAsset/NRHP/87000670_text). Retrieved Feb 18, 2025

Metro Nashville Historical Commission, "The Davidson County Courthouse" April 2010

Mesick Cohen Wilson Baker Architects, LLP, "Metropolitan Nashville Davidson County Public Building and Courthouse Preservation Report"

Smithsonian American Art Museum, "Rene Paul Chambellan" (<https://americanart.si.edu/artist/rene-paul-chambellan-811>) Retrieved Feb 20, 2025

Wikipedia, "Rene Paul Chambellan" (https://en.wikipedia.org/wiki/Rene_Paul_Chambellan) Retrieved Feb 20, 2025

ROM ESTIMATE - \$975,000

Historic CH Bronze Doors	Historic Courthouse Bronze Doors Restoration & Conservation ROM Price	
	Price Schedule	
	Item	Amount
	South Elevation Doors	\$ 581,000.00
	West Elevation Doors	\$ 99,000.00
	North Elevation Doors	\$ 295,000.00
	Total Price	\$ 975,000.00

Report prepared by: Chris Bailey, Chad Shores & Rick Freitag

Executive Summary

The Metropolitan Government of Nashville and Davidson County is seeking funding through the Tennessee Historic Development Grant Program to restore and preserve the original bronze doors of the Davidson County Courthouse—an iconic Art Deco landmark completed in 1937. These monumental doors, designed by renowned sculptor Rene Paul Chambellan, are not only architecturally significant but also critical to the courthouse's function as a civic and judicial hub.

A 2025 condition assessment revealed severe deterioration in the door assemblies, including corroded bearings, structural misalignment, and safety hazards that threaten both public access and the historic integrity of the building. This project will address those issues through comprehensive restoration of the bronze doors on the south, west, and north façades, including structural repairs, conservation of decorative elements, and improvements to weatherproofing and security. With a total project cost of \$1,100,027.87, the grant will support essential preservation work while leveraging local maintenance funds and in-house project management to ensure timely and cost-effective implementation.

APPLICATION Requirement DRAFT narrative:

Briefly describe the project plans for the building:

The Metropolitan Government of Nashville and Davidson County seeks funding through the Historic Development Grant Program to support the restoration and conservation of the original bronze doors at the Davidson County Courthouse. These monumental Art Deco doors, installed in 1937 and designed by renowned sculptor Rene Paul Chambellan, are integral to the architectural and historical significance of the courthouse.

The project will address critical structural and safety concerns identified in a 2025 condition assessment conducted by The Tradesmen Group LLC. The scope of work includes the removal, repair, and reinstallation of the bronze doors on the south, west, and north façades. Restoration activities will include replacement of deteriorated lower bearing assemblies, structural reinforcement, cladding repairs, conservation of decorative statuary, and improvements to weatherproofing and security hardware. The project will ensure the continued safe use of the courthouse while preserving its historic integrity for future generations.

Describe the need for the project:

The bronze doors at the Davidson County Courthouse are experiencing significant structural deterioration, particularly at the lower bearing assemblies, which have corroded and seized. This has caused misalignment, excessive wear, and in some cases, deformation of the bronze cladding and surrounding stonework. The doors are extremely heavy—each weighing over 3,000 pounds—and their compromised condition poses a safety risk to the public and to the historic fabric of the building.

The 2025 condition assessment revealed that the doors are no longer operating as designed, with sheared fasteners, deteriorated hinge pins, and nonfunctional security hardware. Without intervention, these issues will continue to worsen, potentially leading to irreversible damage or failure. The proposed project is essential to stabilize and restore these historic elements, ensuring the courthouse remains a safe, functional, and dignified civic space.

Describe the economic impact that this project will have:

The Davidson County Courthouse is a prominent civic landmark and a key contributor to downtown Nashville's historic and cultural identity. Restoration of the bronze doors will:

- **Preserve a major architectural asset** that supports heritage tourism and civic pride.
- **Enhance public safety and accessibility**, ensuring continued use of the courthouse for judicial and governmental functions.
- **Support skilled trades and local contractors**, particularly those specializing in historic preservation, bronze work, and architectural conservation.
- **Demonstrate public investment in historic preservation**, encouraging private investment and revitalization in the surrounding area.

This project aligns with the Tennessee General Assembly's goals of promoting economic development through historic preservation.

Discuss the status of your financing:

The Department of General Services has allocated Major Maintenance funds in the FY 2025/2026 budget to support capital improvements at Davidson County Courthouse. This project qualifies under the major maintenance category. Currently, \$14 million is available in the Major Maintenance business unit. General Services will encumber the required matching funds specifically for the Historic Courthouse Bronze Doors restoration project, while the remaining balance of the \$14 million will be allocated to other capital priorities. The requested grant funds will supplement these dedicated resources to fully implement the scope of work recommended in the 2025 condition assessment.

How feasible is your project? Describe the activities that will be taking place and provide an estimated timeline for implementation:

This project is highly feasible and shovel ready. The condition assessment has already been completed, and the scope of work is clearly defined. The project will be implemented in the following phases:

1. **Pre-construction (Q1 2026)**: Final design, procurement, and contractor selection.
2. **Construction (Q2 2026–Q4 2027)**:
 - Removal and cataloging of bronze doors and components.
 - Restoration of lower and upper bearing assemblies.
 - Cladding and statuary conservation.
 - Cast iron surround and threshold repairs.
 - Reinstallation and final finishing.
3. **Closeout (Q1 2028)**: Final inspection, documentation, and public communication.

The project will be managed by General Services in coordination with qualified preservation contractors and consultants.

Provide a budget narrative that explains how the budget was developed, and specifically how the funds will be spent.

The budget was developed based on the detailed recommendations and ROM (Rough Order of Magnitude) estimates provided in the February 2025 Condition Assessment Report. The total estimated cost for the full restoration is **\$975,027.87**, simply broken down as follows:

- **South Doors:**\$581,000
- **West Elevation Doors:**\$99,028
- **North Elevation Doors:**\$295,000

In addition to the direct restoration costs, the following administrative and indirect costs are included:

- **Indirect Costs (4.8%):***Per the Grant Administrator Indirect Costs are not allowed.*
- **Grant Administration (5%):**\$25,000 In-kind Match
General Services will provide an experienced in-house Grant Manager to oversee the project. This individual meets the experience requirements outlined in the grant guidelines and will be responsible for compliance, reporting, and coordination with the project team.
- **Contingency (10%):**\$100,000.00

General Services will provide a contingency to ensure the project can accommodate unforeseen conditions that may arise during restoration, such as hidden corrosion, structural instability, or material sourcing delay. General Services has committed to providing a 10% contingency, or \$100,000, in addition to the base estimate. This contingency will be used exclusively to address unexpected costs that are necessary to preserve the integrity and functionality of the historic features.

Total Grant Request:\$1,100,027.87

Grant funds will be used to cover eligible costs including:

- Specialized labor for bronze and cast iron restoration
- Custom fabrication of bearing assemblies and hardware
- Lead abatement and high-performance coatings
- Temporary security enclosures during construction
- Architectural conservation services and documentation
- Indirect and administrative costs as outlined above

No capital purchases are anticipated as part of this project. All work will be service-based and focused on restoration, conservation, and installation activities.

General Services will provide matching funds through its Major Maintenance budget to ensure full project completion.

Category/Description	Grant Funds	(Match by General Services)	Total Project Costs	Description of Expenses
Professional fee (other) Grant Award	\$0.00	\$0.00	\$0.00	Metro of Nashville and Davidson County IDCR 4.8% (NOT Allowable under the Grant)
Supplies	\$0.00	\$0.00	\$0.00	
Travel (Not allowable)	\$0.00	\$0.00	\$0.00	Not allowable
Construction	\$500,000.00	\$475,027.87	\$975,027.87	TTGL Task Order Worksheet (TOW) Dated 15 OCT 25
Construction Inspection	\$0.00	\$0.00	\$0.00	
Engineering & Design	\$0.00	\$0.00	\$0.00	Not applicable- for DGS needs
Engineering other than design	\$0.00	\$0.00	\$0.00	
Legal services	\$0.00	\$0.00	\$0.00	
Appraisals	\$0.00	\$0.00	\$0.00	
Acquisition of property/capital purchase	\$0.00	\$0.00	\$0.00	Not applicable -for DGS needs
Other non-personal	\$0.00	\$0.00	\$0.00	
Grantee/project administration	\$0.00	\$25,000	\$25,000.00	Grant Administration and Management - Inhouse Professional Grant Manager (5% per grant guidance) Inkind
Project contingency	\$0.00	\$100,000.00	\$0.00	10% Contingency for Construction Completion.
Total	\$500,000.00	\$600,027.87	\$1,100,027.87	General Services will encumber the required matching funds specifically for the restoration project, while the remaining balance of the \$14 million will be allocated to other capital priorities

Supervisor Validation of Grant Administrator Qualifications**(Beth Williams, Special Projects Manager)**

Karin M. Frinell serves as the in-house Grant Manager for the Metropolitan Government of Nashville and Davidson County's Department of General Services. With over 25 years of experience managing state and federal grants, Ms. Frinell brings deep expertise in grant writing, compliance, financial oversight, and program administration. Her role includes identifying funding opportunities, preparing and submitting proposals, managing active grants, coordinating with internal divisions and external agencies, and ensuring full compliance with all reporting and audit requirements.

Ms. Frinell's responsibilities also include budget development, indirect cost rate proposals, single audit coordination, and expenditure tracking. She has successfully managed grants from multiple federal and state agencies and is well-versed in procurement, performance monitoring, and financial reporting. Employed by an established government entity and meeting the experience threshold outlined in the grant guidance, Ms. Frinell is fully qualified to serve as the grant administrator for this project and will lead all aspects of grant compliance and coordination with Tennessee ECD staff.

Karin M. Frinell

Grants Manager

Metro Department of General Services, Nashville, TN

Professional Summary

Experienced public sector grant manager with over 25 years of success in securing, administering, and reporting on state and federal grants. Proven track record of managing multimillion-dollar capital and infrastructure projects across emergency management, public health, military, and general government sectors. Skilled in budgeting, procurement, compliance, cross-agency collaboration, and audit readiness. Adept at aligning funding strategies with organizational goals and ensuring full lifecycle grant performance.

Core Competencies

- State & Federal Grant Management
- Budget Development & Oversight
- Procurement & Contract Administration
- Cross-Agency Collaboration
- Audit & Compliance Reporting
- Program & Project Management
- Public Sector Financial Systems
- Performance Metrics & Deliverables
- Stakeholder Communication

Professional Experience

Grants Manager (ASO4)

Metro Department of General Services – Nashville, TN

2023–Present

- Lead grant strategy, application, and administration for all General Services divisions.
- Manage active grants including DOE and HHS-funded capital projects and state infrastructure programs.
- Coordinate with Metro’s Division of Grants Management and Office of Management and Budget.
- Develop and track budgets, indirect cost proposals, and grant amendments.
- Ensure compliance with federal and state reporting, audit, and procurement requirements.
- Maintain records, documents, audits, inventory tracking, and performance matrices for all active grants.

State ATO & Program Manager

Washington Military Department – Tacoma, WA

2002-2022

- Administered federal and state grant programs supporting military readiness and infrastructure.
- Oversaw budgeting, procurement, and compliance for multi-year capital projects.
- Coordinated with federal agencies, state departments, and local jurisdictions.

Public Information Officer

Washington State Department of Health – Olympia, WA

2002

- Managed public health communications and grant-funded outreach initiatives.
- Collaborated with federal and state partners on emergency response messaging and reporting.
- Supported grant deliverables through data collection, public engagement, and documentation.

Deputy Director of Emergency Management

Grays Harbor County – Montesano, WA

1997–2002

- Oversaw emergency preparedness, response coordination, and grant-funded resilience projects.
- Managed FEMA and Homeland Security grants, including budgeting, procurement, and reporting.
- Led multi-agency planning efforts and coordinated emergency operations center activities.

Education & Certifications

B.A. in political science & Speech Communication (Double Major)
University of Washington, Seattle WA

TN HCH Retrofit Grant Final version for electronic submission

28 October 2025

[DRAFT METRO GRANT PROCESS WAIVER DRAFT LETTER TEXT]

This will be placed on Director Smith's letterhead once the language is approved.

Dear Members of the Metro Council,

The Department of General Services respectfully requests an exception to the Metro Grant coordination and approval process to submit an application for the Tennessee Historic Development Grant Program (HDGP), administered by the Tennessee Department of Economic and Community Development.

The FY25/26 HDGP Notice of Funding Opportunity was released on **October 1, 2025**, with a firm application deadline of **close of business on November 7, 2025**. Due to the compressed timeline and the timing of the grant's release, it is not feasible to complete the full Metro Council approval process prior to the application deadline.

To ensure that the Metropolitan Government remains eligible for this competitive and time-sensitive funding opportunity, General Services respectfully requests provisional mayoral approval to submit the grant application, with the understanding that formal Metro Council approval will be sought immediately following submission. This approach will allow the department to meet the state's deadline while maintaining transparency and compliance with Metro's grant oversight expectations.

The proposed project—restoration of the historic bronze doors at the Davidson County Courthouse—aligns with Metro's preservation goals and has been identified as a priority capital need. We appreciate your consideration of this request and your continued support of our efforts to secure external funding for critical infrastructure and historic preservation projects.

Sincerely,

Gerald C Smith

Director, Department of General Services

Metropolitan Government of Nashville and Davidson County



METROPOLITAN HISTORICAL COMMISSION

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

October 24, 2025

Mr. E. Patrick McIntyre, Jr.
Tennessee Historical Commission
2941 Lebanon Pike
Nashville, TN 37214

RE: Metropolitan Government of Nashville and Davidson County, Department of General Services -
Grant Application, Historic Development Grant Program, Historic Courthouses Repair and Restoration

Dear Mr. McIntyre,

I am writing to voice our support for a Historic Development Grant application made by Metropolitan Nashville and Davidson County's Department of General Services for repairs and restoration of the Historic Courthouse Bronze Doors.

Since its opening in 1937, the Davidson County Courthouse and Public Building has served as the seat of local government. Twenty-five years before Davidson County and the City of Nashville combined in 1963 to form the Metropolitan Government of Nashville and Davidson County, the two governments shared the building. Designed by the team of Emmons Woolwine and Frederick Hiron, with construction supported by funding from the Public Works Administration, the building is an example of the PWA Modern style characteristic of many public buildings of the New Deal period. The building also features Art Deco details on the exterior and throughout the interior, including murals by artist Dean Cornwall. It was listed in the National Register of Historic Places in 1987 for its architectural significance. Additionally, the courthouse was designated as a local Historic Landmark, a historic zoning overlay district, in 1999.

The monumental bronze doors are character-defining features of the historic courthouse. On the south-facing facade, large bronze exterior doors were furnished by the Michaels Art Bronze Company of Covington, KY and included bronze statuary of *Courage*, *Loyalty*, *Law*, *Justice*, *Security*, and *Wisdom* that were sculpted and executed by Rene Paul Chambellan. Chambellan is widely regarded as an American master of Art Deco sculpture with a prolific body of work. Premiere architectural firms of the early 20th century commissioned Chambellan's work as they designed some of the most prominent and architecturally significant buildings in America. Examples of his work can be found on the Chicago Tribune Building, the Chanin Building, Buffalo City Hall, the Sterling Memorial Library at Yale University, Radio City Music Hall, and Rockefeller Center.

Rehabilitation of the bronze entryway doors will restore the doors and statuary, addressing issues of maintenance and damage from use, time, and elements. Additionally, rehabilitation is critical for ensuring the historic courthouse remains a safe, functional site for continued public use. This grant will

provide essential funding to undertake this important work, and we hope the grant committee will support this impactful project.

Sincerely,

A handwritten signature in blue ink, appearing to read "W. Tim Walker".

W. Tim Walker
Executive Director
Metropolitan Historical Commission

Grant Payment Setup Form

Complete this form along with a corresponding [W-9](#) form. Provide an answer for all questions, including N/A for Not Applicable. This form is essential for TNECD to initiate grantee payments and finalize the grant contract. It must be completed prior to a project being awarded.

If you have questions regarding completion of this form, please reach out to a TNECD staff member.

TNECD Program Name:

Historic Development Grant Program

Grantee's Legal Name:

(as listed on line one of W-9)

Metropolitan Government of Nashville and Davidson County

Business Name/Disregarded Entity:

(as listed on line two of W-9, if applicable)

Metro of Nashville and Davidson County

FEIN (or SSN):

620694743

Grantee Fiscal Year End (mm/dd):

06/30

Grantee Remittance Address Name:

Metro of Nashville and Davidson County - General Services

Grantee Remittance Address:

Include unit designators (STE, BLDG, etc.). This should be a street address OR a PO BOX, not both.

Ex. Line 1: 123 Example Street, Suite 201 | Line 2: Example, TN 12345

730 President Ronald Regan Way PO Box196300

Nashville, TN 37219-6300

Last 4 Digits of the Bank Account Number to be Used for this Grant:

If the account has not previously been used by the State, or you are changing bank account information, you will need to set up an account to receive funds by completing the [SDDA Access form](#). Once submitted, Supplier Maintenance will review and approve. Upon approval, you will receive access to the electronic SDDA form via Adobe Acrobat Sign. If adding new banking information to the State system, select "New" in Section 1 of the form; to remove and change existing account select "Change Existing Account". Supplier Maintenance offers direct assistance in completing the form.

Completion Checklist (check all that apply):

- ☐ The Legal Entity/Business Names on this form match what is listed on the W-9 (and SDDA, if applicable).
- ☒ The FEIN (Or SSN for Sole Proprietors) match what is listed on the W-9 (and the SDDA, if applicable).
- ☐ This form (handwritten or Adobe digitally verified) and the W-9 (handwritten) have been signed.
- ☐ All forms have been dated within the last 365 days.
- ☐ This form and the W9 will be returned to TNECD.
- ☐ If applicable, the SDDA access form has been completed and submitted.

Sign and date below:

Name: Sharon Sepik

Phone: 615-862-7187

Email: sharon.sepik@nashville.gov

Date: 10/23/2025

Signature:

For internal TNECD use ONLY:

Supplier ID:

Address
Number:

Bank
Location:

Reviewer
Name:

Completion
Date:

Before you begin. For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type.
See Specific Instructions on page 3.

1 Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.)

Metropolitan Government of Nashville and Davidson County

2 Business name/disregarded entity name, if different from above.

3a Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only **one** of the following seven boxes.

☐ Individual/sole proprietor ☐ C corporation ☐ S corporation ☐ Partnership ☐ Trust/estate
☐ LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) _____
Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner.
☒ Other (see instructions) _____

3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions _____ ☐

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) 3

Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____

(Applies to accounts maintained outside the United States.)

5 Address (number, street, and apt. or suite no.). See instructions.

700 President Ronald Reagan Way, Ste 310; PO BOX 196300

6 City, state, and ZIP code

Nashville, TN 37219-6300

7 List account number(s) here (optional)

Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number

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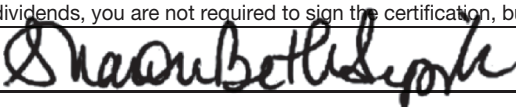
or
Employer identification number

6	2	-	0	6	9	4	7	4	3
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Part II Certification

Under penalties of perjury, I certify that:
1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here
Signature of U.S. person


Date
09/30/2025

General Instructions

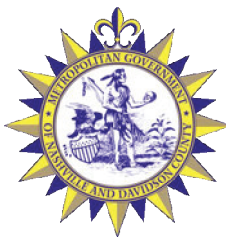
Section references are to the Internal Revenue Code unless otherwise noted.
Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.
What's New
Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

Purpose of Form

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).
An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they

Metropolitan Government
of Nashville and Davidson County

Freddie O'Connell, Mayor
Gerald C. Smith, Director



Department of General Services

Richard H. Fulton Campus
730 President Ronald Reagan Way
P.O. Box 196300
Nashville, TN 37219-6300
615-862-5050, 615-862-5035 (fax)

October 24, 2025

Dear Members of the Grant Review Committee,

RE Certification of In-house Grant Management

Karin M. Frinell serves as the in-house Grant Manager for the Metropolitan Government of Nashville and Davidson County's Department of General Services. With over 25 years of experience managing state and federal grants, Ms. Frinell brings deep expertise in grant writing, compliance, financial oversight, and program administration. Her role includes identifying funding opportunities, preparing and submitting proposals, managing active grants, coordinating with internal divisions and external agencies, and ensuring full compliance with all reporting and audit requirements.

Ms. Frinell's responsibilities also include budget development, indirect cost rate proposals, single audit coordination, and expenditure tracking. She has successfully managed grants from multiple federal and state agencies and is well-versed in procurement, performance monitoring, and financial reporting. Employed by an established government entity and meeting the experience threshold outlined in the grant guidance, Ms. Frinell is fully qualified to serve as the grant administrator for this project and will lead all aspects of grant compliance and coordination with Tennessee ECD staff.

Sincerely,

A handwritten signature in black ink, appearing to read "B Williams", is written over a horizontal line.

Beth Williams

Special Projects Manager, Department of General Services
Metropolitan Government of Nashville and Davidson County



HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
87000670

1. **Historic Property Name** Davidson County Courthouse (Metropolitan Courthouse)

Street 1 Public Square

City Nashville County Davidson State TN Zip 37201

Name of Historic District or National Register property Davidson County Courthouse

☒ Listed individually in the National Register of Historic Places; date of listing March 23 1987

☐ Located in a Registered Historic District; name of district Historic Core

☒ Part 1 – Evaluation of Significance submitted? Date submitted February 9 1987 Date of certification March 23 1987

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)

Date of building 1937 Estimated total rehabilitation costs (QRE) \$975,029

Number of buildings in project 1 Floor area before / after rehabilitation _____ / _____ sq ft

Start date (estimated) 02/01/2026 Use(s) before / after rehabilitation _____ / _____

Completion date (estimated) 12/31/2027 Number of housing units before / after rehabilitation 0 / 0

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

☐ Intend to apply the IRS 60-month measuring period for the purposes of substantial rehabilitation

3. **Project Contact** (if different from applicant)

Name Gerald C Smith Company Metro of Nashville & Davidson CO-DGS

Street 730 President Ronald Regan Way City Nashville State TN

Zip 37210 Telephone (615) 862-5050 Email Address Gerald.Smith@Nashville.gov

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Freddie O'Connell Signature _____ Date _____

Applicant Entity Metro of Nashville & Davidson County SSN _____ or TIN 62-0694743

Street 1 Public Square City Nashville State TN

Zip 37201 Telephone (615) 862-6000 Email Address Mayor@Nashville.gov

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

☐ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

☐ NPS conditions or comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Davidson County Courthouse (Metropolitan Courthouse) NPS Project Number 87000670
Property Address 1 Public Square, Nashville, TN

5. Detailed Description of Rehabilitation Work. Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number <u>1</u>	Feature <u>South Facade</u>	Date of Feature <u>1937</u>
-----------------	-----------------------------	-----------------------------

Describe existing feature and its condition

The south façade features three monumental sets of original bronze double doors, each approximately 240 inches tall and weighing over 3,000 pounds with statuary. These doors were fabricated by the Michaels Art Bronze Company and adorned with sculptural figures by renowned Art Deco artist Rene Paul Chambellan. Each door includes cast bronze statuary, rosettes, and decorative rivets, all mounted on a mild steel subframe clad in bronze.

The doors are structurally intact but exhibit significant wear. The lower pivot bearings are seized and corroded, causing misalignment and excessive stress on the upper bearings. Cladding is deformed in several areas due to repeated impact with the stone jambs, and many fasteners are missing or loose. Accessories such as door catches and escutcheon plates are worn or misaligned, and the upper header bolts are nonfunctional. The condition of the doors poses operational challenges and risks further deterioration if not addressed.

Photo Numbers _____ Drawing Numbers _____

Describe work to feature

The proposed work includes full removal and off-site restoration of all three sets of doors. This will allow for:

- Replacement of lower bearing assemblies with custom stainless steel housings and accessible grease ports.
- Restoration of upper bearings and hinge pins.
- Repair and re-patination of bronze cladding and statuary.
- Restoration or replication of accessories including door catches, deadbolts, and escutcheon plates.
- Structural repairs to the steel subframes and application of high-performance coatings.

All components will be cataloged, crated, and reinstalled with improved fasteners and alignment to ensure long-term preservation and functionality.

Number <u>2</u>	Feature <u>West Facade</u>	Date of Feature <u>1937</u>
-----------------	----------------------------	-----------------------------

Describe existing feature and its condition

The west façade contains a single set of original bronze/brass double doors with full glass panes and a transom above. The doors are framed by a cast iron surround and appear to be original to the 1937 construction. The right door is nonfunctional due to interference from a displaced threshold and deformed hinge cover. Mechanical joints are failing, and previous brazing repairs are evident. Cladding is peeling, and holes from removed hardware are present. The cast iron surround is heavily corroded at the base, with open joints and signs of water infiltration.

Photo Numbers _____ Drawing Numbers _____

Describe work to feature

The recommended treatment includes either full restoration or replacement of the doors. Restoration would involve:

- Brazing all mechanical joints and filling hardware holes.
- Replacing glazing stops and resealing glass panels.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Davidson County Courthouse (Metropolitan Courthouse) NPS Project Number 87000670

Property Address 1 Public Square, Nashville, TN

- Retrofitting modern weather stripping and repairing or replacing the threshold.
- Removing and restoring the transom and cast iron surround, including lead paint abatement, corrosion repair, and installation of new flashing and coatings.
- Structural steel behind the surround will be assessed and repaired as needed. This work will restore both the function and historic integrity of the west entry.

Number	3	Feature	North Facade	Date of Feature	1937
--------	---	---------	--------------	-----------------	------

Describe existing feature and its condition

The north façade includes three sets of bronze double doors with full glass panes, flanked by sidelights and topped with transoms (some etched). These doors appear to be later retrofits but are historically compatible. The doors are mechanically functional with minor corrosion and wear. However, the cast iron surrounds are severely corroded, with rust jacking, open joints, and water infiltration. Interior marble panels are displaced due to underlying corrosion. Some sidelights have broken or hazy glass, and one transom pane is cracked.

Photo Numbers _____ Drawing Numbers _____

Describe work to feature

The proposed work includes:

- Removal of doors for cast iron surround restoration.
- Cleaning, assessment, and reconditioning of hinges and hardware.
- Replacement of weather stripping with modern gaskets.
- Removal, repair, and reglazing of sidelights and transoms, including fabrication of a new etched pane.
- Full removal and restoration of cast iron surrounds and interior marble panels, including structural steel assessment and installation of new flashing and coatings. This work will preserve the architectural character of the north entry while addressing critical structural and material concerns.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

NOTICES

Privacy Act Statement

Authority: 26 U.S. Code § 47 - Rehabilitation credit; 26 U.S. Code § 170 - Charitable, etc., contributions and gifts.

Purpose: To enable the Secretary of the Interior to evaluate the historic significance of structures and whether the rehabilitation of such structures preserves their historic character. The primary use of this information by the Secretary of the Interior will be to certify to the Secretary of the Treasury that the applicant is eligible for Federal tax incentives for historic preservation. This application is used by the Internal Revenue Service to confirm that applicants for the tax incentives have obtained the certification concerning historic structures and historic rehabilitations that are required by law.

Routine uses: The information will be used by the National Park Service and the State Historic Preservation Offices and disclosed to the Internal Revenue Service to determine if the applicant is eligible for Federal tax incentives.

Disclosure: Voluntary, however, failure to provide the requested information may prevent or impede you from receiving consideration for the requested benefit.

Information Regarding Disclosure of Your Social Security Number Under Public Law 93-579 Section 7(b):

Your Social Security Number (SSN) is needed to identify records unique to you. Applicants are required to provide their social security or taxpayer identification number for activities subject to collection of fees and charges by the National Park Service. Failure to disclose your SSN may prevent or delay the processing of your application. The authority for soliciting your SSN is 31 U.S.C. 7701. The information gathered through the use of the SSN will be used only as necessary for processing this application and collecting and reporting any delinquent financial obligations. Use of the SSN will be carried out in accordance with established regulations and published notices of system of records.

Paperwork Reduction Act Statement

We are collecting this information subject to the Paperwork Reduction Act (44 U.S.C. 3501) through the State Historic Preservation Officer in order to enable the Secretary of the Interior to gain the benefit of the State review of applications for Federal tax incentives for historic preservation by owners of historic properties. Information collected on this form, including names and all written comments, is subject to disclosure. All applicable parts of the form must be completed in order to receive consideration for the requested benefit. A Federal agency may not conduct or sponsor, and a person is not required to respond a collection of information unless it displays a currently valid OMB control number. OMB has approved this collection and assigned it control number 1024-0009.

Estimated Burden Statement

Public reporting burden for this form is estimated to average 51 hours per response including the time it takes to read, gather and maintain data, review instructions and complete the form. Direct comments regarding these burden estimates, or any aspects of this form, to the Information Collection Clearance Officer, National Park Service, 12201 Sunrise Valley Drive, Mail Stop 242, Reston, VA 20192. Please do not send your form to this address.

Records Retention Statement

Permanent. Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1))

FOR APPLICANT RECORDS ONLY – THIS PAGE DOES NOT NEED TO BE PRINTED FOR APPLICATION

Rehabilitation Credit - Qualified Rehabilitation Expenditures (QREs)

In general, only an amount that is properly capitalized in connection with the rehabilitation of a qualified rehabilitated building (QRB) that is certified by the National Park Service as consistent with the historic character of the building or the district in which the property is located will be a qualified rehabilitation expenditure (QRE). See 26 USC 47(c)(1) (defining QRB) and 47(c)(2)(A) (defining QREs). However, not every amount associated with a rehabilitation will be a QRE that is included in the calculation of the rehabilitation credit. See 26 USC 47(c)(2)(B) (describing certain expenditures not included).

The following are important aspects to remember:

1. Rehabilitation includes **renovation, restoration, or reconstruction** of a building, but does not include an enlargement or new construction. IRC § 47(c)(2) and Treas. Reg. § 1.48-12(b)(2)(iv).
2. A QRE must be (i) an amount properly chargeable to capital account (generally meaning used in computing the basis) of depreciable property that is nonresidential real property, residential rental property, real property with a class life of more than 12.5 years, or an addition or improvement to the preceding three types of property, and (ii) incurred in connection with the rehabilitation of a QRB (including its structural components). IRC § 47(c)(2) and Treas. Reg. § 1.48-12(c).
3. Amounts must be for a building and its structural components. Generally, structural components of a building are those components relating to the operation or maintenance of a building. See Treas. Reg. § 1.48-1(e)(1) and (2) for a definition of a building and structural components of a building, respectively.

Expenditures associated with these items are generally eligible if properly includible in computing the basis of the building

- A. Section 47(c)(1)(A) defines a QRB to include the building and its structural components if – (i) the building has been substantially rehabilitated, (ii) the building was placed in service before the beginning of the rehabilitation, (iii) the building is a certified historic structure, and (iv) depreciation (or amortization in lieu of depreciation) is allowable with respect to the building.

Treasury Regulation § 1.48-1(e)(1) generally defines a building to mean any structure or edifice enclosing a space within its walls, and usually covered by a roof, the purposes of which is, for example, to provide shelter or housing, or to provide working, office, parking, display or sales space.

The costs of these structural components may be QREs if the amounts are properly included in the basis of depreciable property that is nonresidential real property, residential rental property, real property which has a class life of more than 12.5 years, or an addition or improvement to the preceding three types of property. Treas. Reg. § 1.48-1(e)(2) defines structural components and includes the following list of examples of structural components:

- Walls
- Partitions
- Floors
- Ceilings
- Permanent coverings of walls, partitions, floors and ceilings, such as paneling or tiles
- Windows and doors
- Components of central air conditioning or heating systems
- Plumbing and plumbing fixtures
- Electrical wiring and lighting fixtures
- Chimneys
- Stairs
- Escalators
- Elevators
- Sprinkler systems
- Fire escapes
- Other components (that is, other parts of the building) relating to the operation or maintenance of the building

B. Treas. Reg. § 1.48-12(c)(2) describes costs that may be QREs if the amounts are properly included in the basis of depreciable property that is nonresidential real property, residential rental property, real property which has a class life of more than 12.5 years, or an addition or improvement to the preceding three types of property, including the following:

- Construction period interest and taxes
- Architect fees
- Engineering fees
- Construction management costs
- Reasonable arm's length developer fees (value added services)
- Other fees paid that would normally be charged to a capital account

C. The following costs are not specifically listed in the Treasury Regulations, but may be QREs if the amounts are properly included in the basis of depreciable property that is nonresidential real property, residential rental property, real property which has a class life of more than 12.5 years, or an addition or improvement to the preceding three types of property:

- Permanently installed operable floodgates
- Permanently attached fastening devices to hold floodgates or to attach flood wrapping systems
- A retaining wall that is part of or connected to the structure of the building
- A seawall that is part of or connected to the structure of the building
- The portion of landscaping designed only to protect the building (i.e., drains and regrading for drainage)
- Elevated structure built to protect utilities (such as a freestanding air conditioning unit on a raised platform adjacent the building)
- Structural reinforcing and improvements to foundation (to withstand hydrostatic and hydrodynamic pressure)
- Applying waterproof coating to the exterior of the foundation walls, whether above or below grade
- Costs associated with excavation and/or sitework necessary to access an exterior foundation or basement walls in order to undertake structural improvements or to apply waterproof coatings
- Permanently installed vents or drains (inside or outside)
- Sump pumps (only if permanently installed and/or if connected to drainage system)
- Materials to fill in the basement (sand, gravel, etc.) and the installation/compacting of the material
- Basement drains
- Moving utilities inside the building
- In a documented floodplain, lifting/elevating at the same site (lifting the building onto a new, taller foundation) with no additional square footage underneath the building (open space (such as a building on posts/pilings) or crawl space below)
- Lifting/elevating a building on an enclosed foundation with occupiable space below the first floor that is used for parking, storage, or other limited uses allowed by a flood ordinance
- New foundation construction including break-away walls, louvers, lattice, or other architectural screenings
- Where a current site is threatened or destroyed moving the Historic Building including
 - Lifting the building on the original site and transporting it to the new site
 - New site preparation
 - New foundation
 - Permits for and relating to (e.g., utility fees for moving traffic light out of the way, etc.) the move
 - Utility connections at the new location.

Expenditures that do not qualify for the rehabilitation tax credit

Not every amount associated with a rehabilitation project will qualify as a QRE to be included in the calculation of the rehabilitation credit. See 26 USC 47(c)(2)(B) (describing certain expenditures not included). In general, only those amounts that are capitalized in connection with the rehabilitation of structural and architectural features of a building that is a certified historic structure will qualify as QREs. See 26 USC 47(c)(2)(A) (defining QREs).

However, the following costs associated with these items are not generally eligible:

- Acquisition costs
- Appliances not either real or residential rental property
- Office Equipment
- Cabinets (unless inherently permanent structure and part of the building)
- Carpeting (if tacked in place and not glued) - Rev. Rul. 67-349; Hospital Corp of America v. Commissioner, 109 T.C. 21 (1997).
- Decks, Porches and Porticos (that were not part of original building)
- Demolition and removal costs (of an existing building on property site)
- Fencing
- Feasibility studies
- Financing fees (such as mortgage related financing not during the construction period)
- Furniture
- Landscaping
- Leasing Expenses
- New construction costs or enlargement costs (increase in total volume from original building)
- Outdoor lighting (remote from building)
- Parking lot
- Paving
- Planters/Pots
- Retaining walls that are not part of a building and its structural components
- Sidewalks
- Signage
- Storm sewer construction costs
- Window treatments
- Display racks and shelves
- Production machinery
- Grocery counters
- Temporary protective measures like sandbags, inflatable dams, etc.
- Levy
- Retaining wall that is not part of or connected to the structure of the building
- Temporary floodgates/flood shields
- Lifting/elevating a building on an enclosed foundation with occupiable space below the first floor that is used as additional living areas (expansion of the building)
- Attachments for pulley or other system to relocate furnishings above flood level

Are solar panels, wind turbines or geothermal systems eligible expenses?

Solar panels, wind turbines, and geothermal systems generally are 5-year property under section 168. See section 168(e)(3)(B)(vi)(I). The costs of solar panels, wind turbines, and geothermal systems described in section 168(e)(3)(B)(vi)(I) are not included in the basis of the building and, therefore, should not qualify for the rehabilitation credit. Additionally, the same property that is used to claim a rehabilitation credit cannot also be used to claim an energy credit under section 48(a)(2)(B).

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Part 1

Part 2

Part 3

For Parts 1-3

Clear photo of every elevation
(side) of the building



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

For Parts 1-3

Focus on any architectural details of exterior



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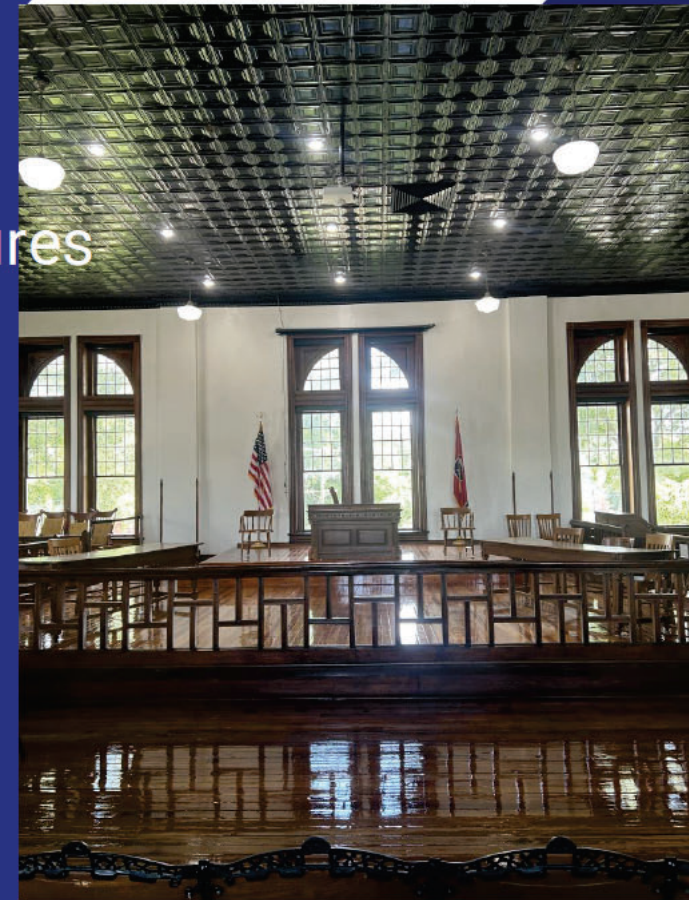
Part 1

Part 2

Part 3

For Parts 1-3

Clear views of interior spaces and features



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

For Parts 1-3

Exterior views of setting and any part of the
landscape, monuments



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

*Through the application process we will let you know
if your building is certified—
ok to proceed with Part 2.*

Part 2

Description of Rehabilitation

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 2

Describe the Rehab

P2 also requires Plans and Overall Site Plan

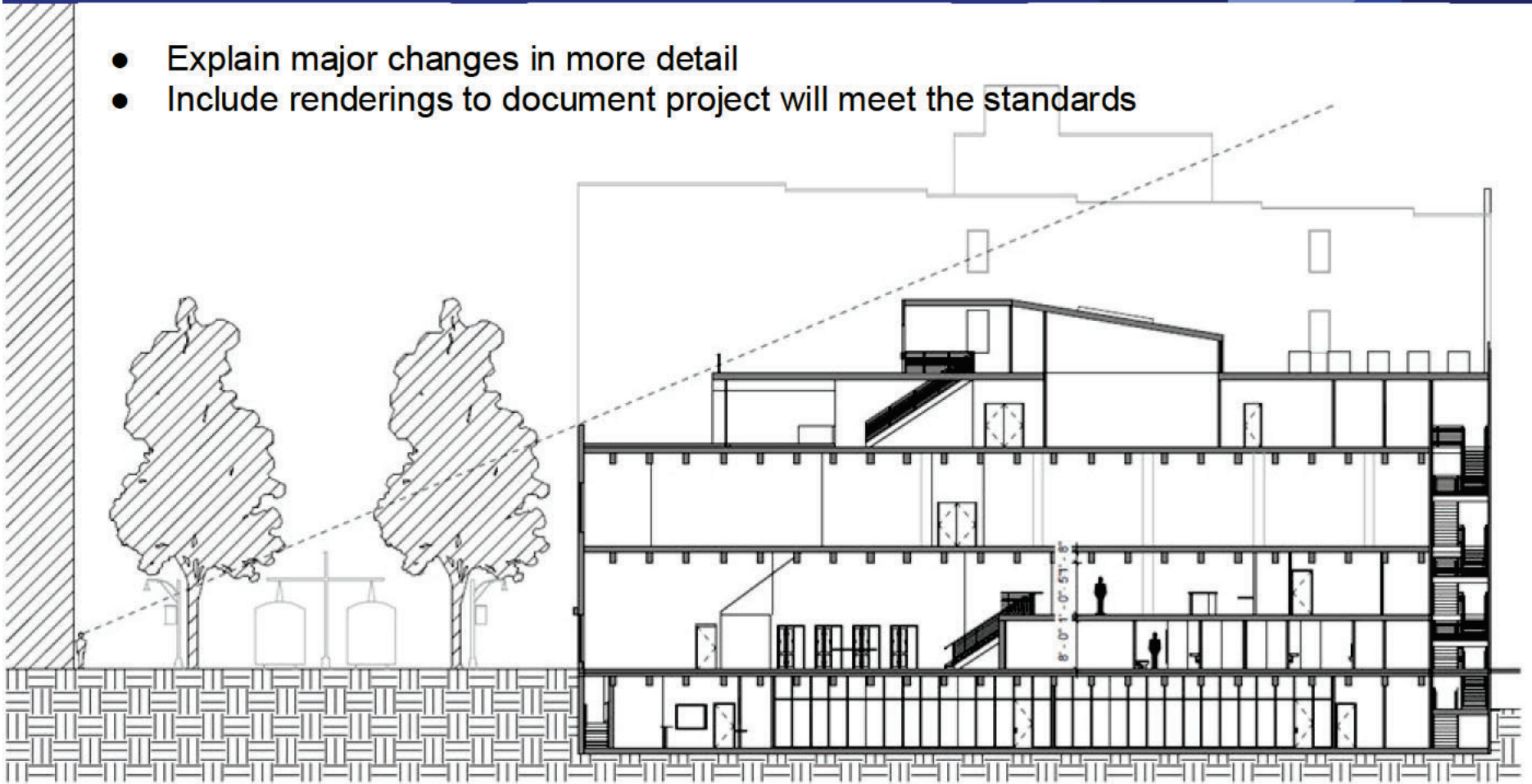


Form must include a clear and concise project description of the rehab

- Form breaks down by type of work
- Work must meet all of the *Secretary of the Interior's Standards for Rehabilitation*
- Be clear about where work will not be happening (if a single large building or complex)
- Document what will happen to the entire property (landscaping features, parking lots, etc)

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

- Explain major changes in more detail
- Include renderings to document project will meet the standards



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

**P2 Can Need More
Photos Than P1**
Make sure the labels are clear
and descriptive

Photo #1

Sterick North, 22 N. BB King Blvd, Memphis, TN 38103

View: Exterior from NW

Description: Exterior showing North and West façades

11/14/19

Photo #2

Sterick North, 22 N. BB King Blvd, Memphis, TN 38103

View: Exterior from SW

Description: Exterior showing West façade

11/14/19

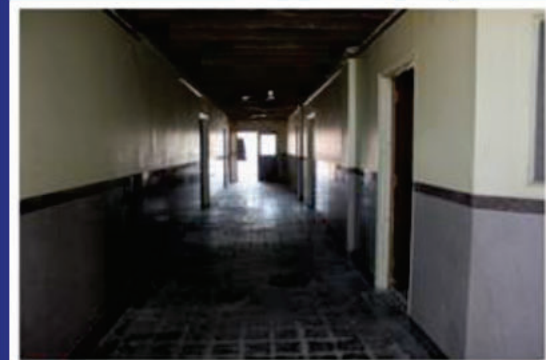


Photo 21 Universal Life Insurance Company 7/31/15
View from the rear entrance door looking along the central axial corridor to the front door.



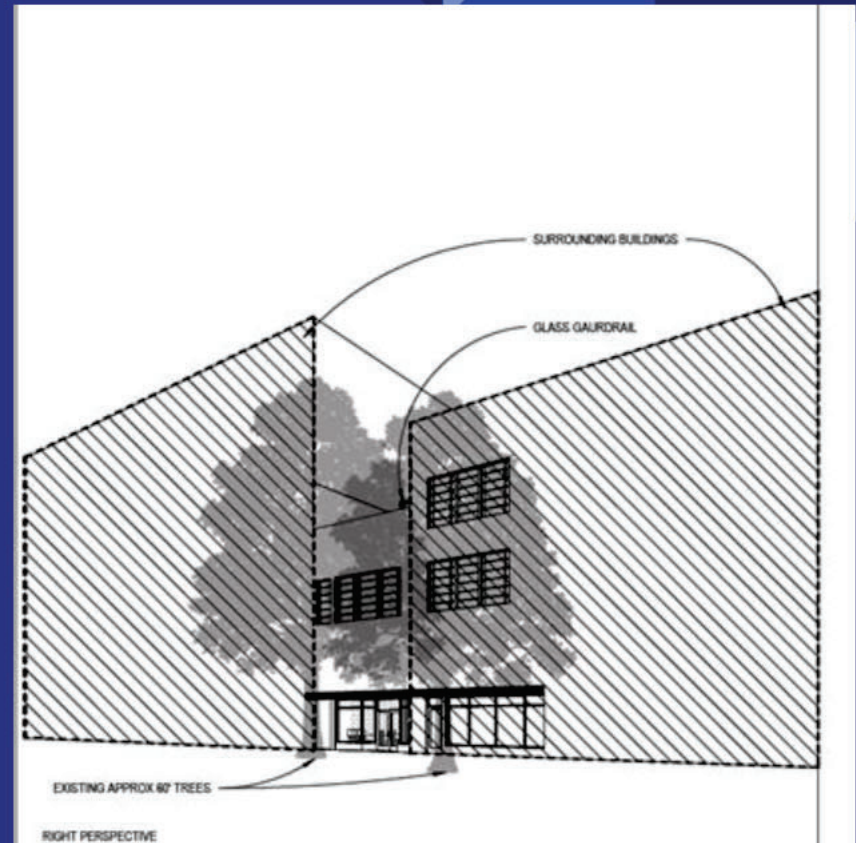
Photo 24 Universal Life Insurance Company 7/31/15
View of the second floor public lobby, looking towards the stair to the first floor.

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 2

Needs Clear Plans

Make sure you have documented the building with photos, site plans, and floor plans every where work is proposed....and again photos are keyed to site plan/floor plans.



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

Submit Part 2 according to the application process.

If there are any comments or conditions we will let you know but eventually, in most cases,

If your application is approved you are ready to

**Begin the
Rehabilitation**

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

Things come up.

- Amendment form can document project changes
- Easy form
- Also needs plans, renderings, etc. to document proposed changes from Part 2

But when construction is complete, the building it has been “placed into service,” and is listed in the National Register...you are ready for the Part 3!

Part 3 is the Request for Certification of Completed Work

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

P3 is relatively simple. The After.

Part 3 is the Request for Certification of Completed Work

Our office will evaluate the completed project and compares it with the work proposed in the Part 2 application form.

If it meets the Standards, your reimbursement request is processed and the grant is closed out.

Photo #1
Sterick North, 22 N. 88 King Blvd, Memphis, TN 38103
View: Exterior from NW
Description: Exterior showing North and West facades
11/14/19

Photo #2
Sterick North, 22 N. 88 King Blvd, Memphis, TN 38103
View: Exterior from SW
Description: Exterior showing West facade
11/14/19

Photo #3
Sterick North, 22 N. 88 King Blvd, Memphis, TN 38103
View: Exterior from NE
Description: Exterior showing North facade
11/14/19

Photo #4
Sterick North, 22 N. 88 King Blvd, Memphis, TN 38103
View: Exterior from NE
Description: Exterior showing lower levels of North and East facades
11/14/19

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Part 1

Part 2

Part 3

P3 is essentially photos.

Helpful to take same photos as P2.

- Can reuse the photo keys and labels!
- Easy to see rehab as before and after.

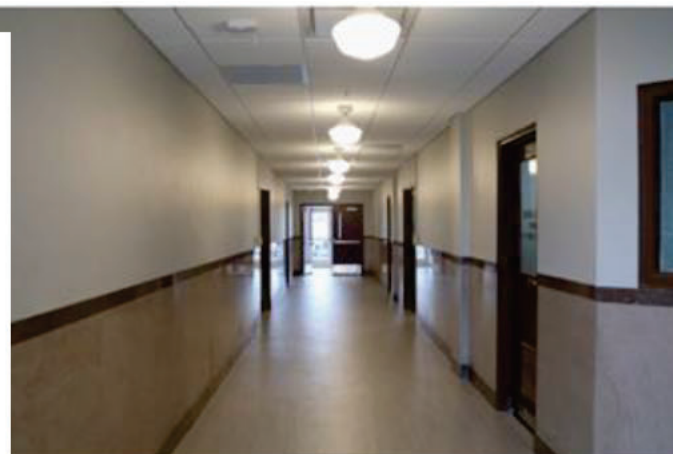
Photo #1
Sterick North, 22 N. BB King Blvd, Memphis, TN 38103
View: Exterior from NW
Description: Exterior showing North and West façades
11/14/19

Photo #3
Sterick North, 22 N. BB King Blvd, Memphis, TN 38103
View: Exterior from NE
Description: Exterior showing North façade
11/14/19

Photo #2
Sterick North, 22 N. BB King Blvd, Memphis, TN 38103
View: Exterior from SW
Description: Exterior showing West façade
11/14/19

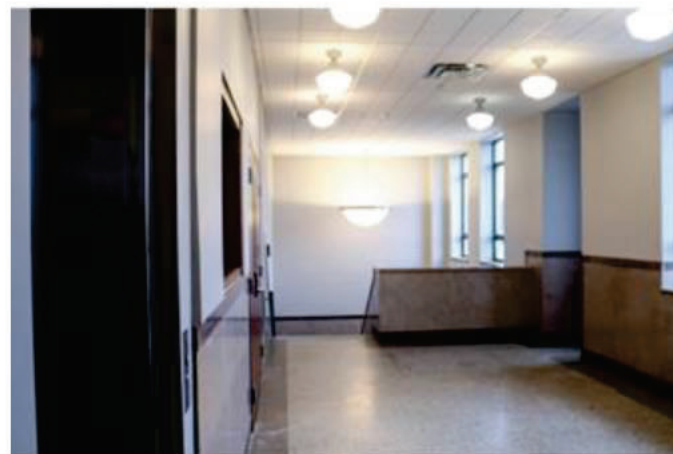
Photo #4
Sterick North, 22 N. BB King Blvd, Memphis, TN 38103
View: Exterior from NE
Description: Exterior showing lower Levels of North and East
façades
11/14/19

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109



21 Universal Life Insurance Company 1/31/19
from the rear entrance door looking along the central axial corridor to the front door.

Photo 21 Universal Life Insurance Company 7/31/15
View from the rear entrance door looking along the central axial corridor to the front door.



24 Universal Life Insurance Company 1/31/19
of the second floor public lobby, looking towards the stair to the first floor.

Part 3 Photos

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Part 1

Part 2

Part 3

Once the Part 3 is Certified...

The owner can claim the credit...The End*

***Unless, the owner does anything rehab or ownership related in the next five years, plans will need to be submitted to our office to send to NPS for review on an Amendment form.**



Process Overview

Part 1

Before

If not NR listed or listed within a NR HD, needs an overview of what makes the building significant, architectural description of the building or buildings if a complex

Documents historic character

Part 2

Describe the *During*

Basically a project description of the rehab

- Form breaks down by type of work
- Amendment forms can document project changes

Documents HC will be retained

Part 3

After

Nothing written. Signed form requesting certification of rehab completed as done in the Part 2 and any Amendments, if needed

Lots of clear photos of the building post-rehab

Documents HC still there!

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Rehabilitation must follow the Standards

Available here:
<https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>



THE SECRETARY
OF THE INTERIOR'S
STANDARDS FOR
THE TREATMENT
OF HISTORIC
PROPERTIES

WITH
GUIDELINES FOR
PRESERVING,
REHABILITATING,
RESTORING &
RECONSTRUCTING
HISTORIC
BUILDINGS



U.S. Department of the Interior
National Park Service
Technical Preservation Services

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Essentially ten rules to ensure “historic character” retained while providing a new use for the building

Historic buildings are physical records of past inhabitants. People make changes to buildings over time to fit new uses and needs. The **historic character** results from the **combination of the character-defining features that have established the appearance of the building as it has evolved over time.**

Character-defining aspects of the building that need to be identified and evaluated may include **form and detailing of exterior materials, exterior features such as roofs, porches, and windows; materials, such as plaster and wood; finished and unfinished interior spaces; and interior features, such as moldings and stairways, room configuration, and spatial relationships, as well as structural systems.**

From

Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109



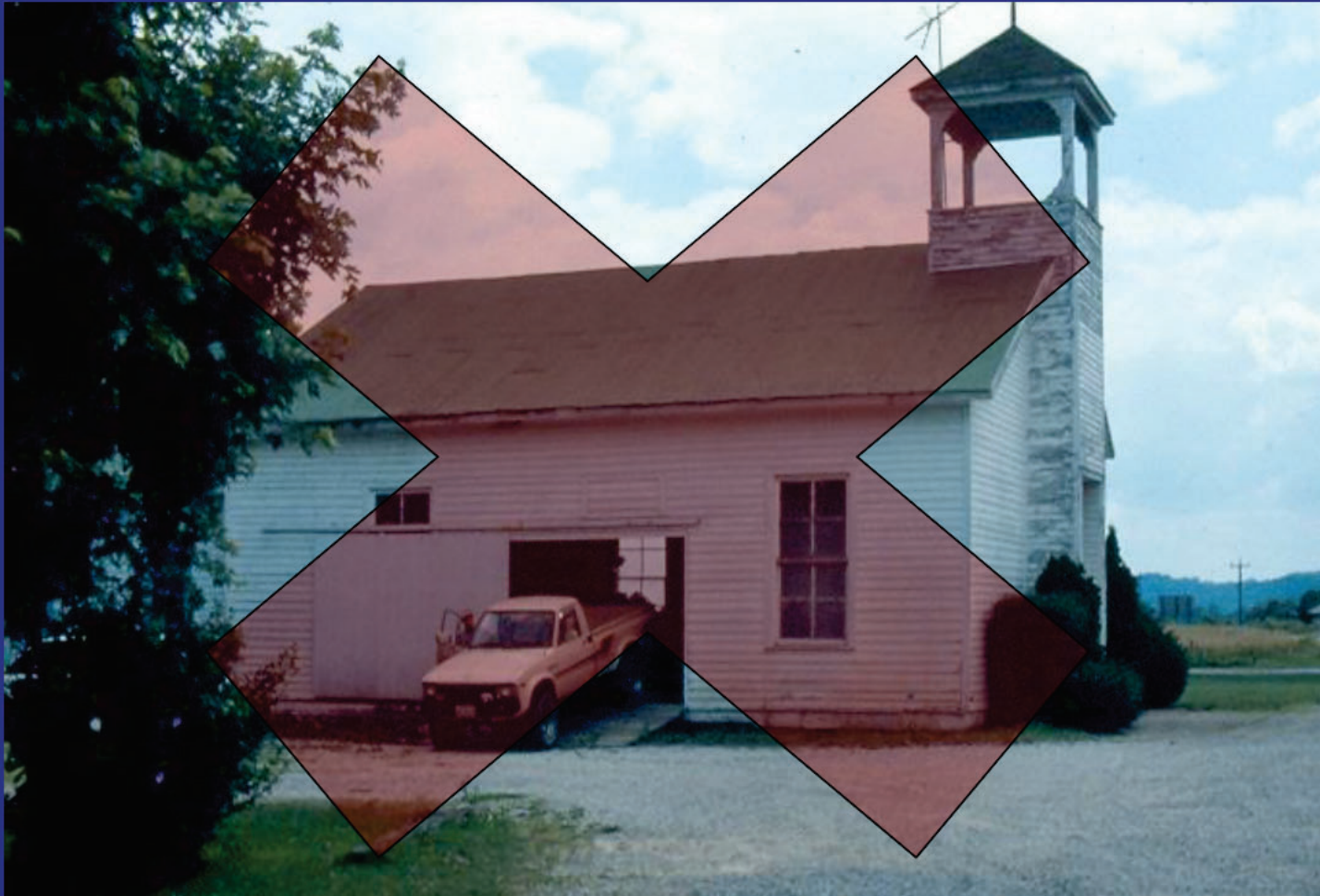
#1

A building should be used as it was historically
or in a compatible new use

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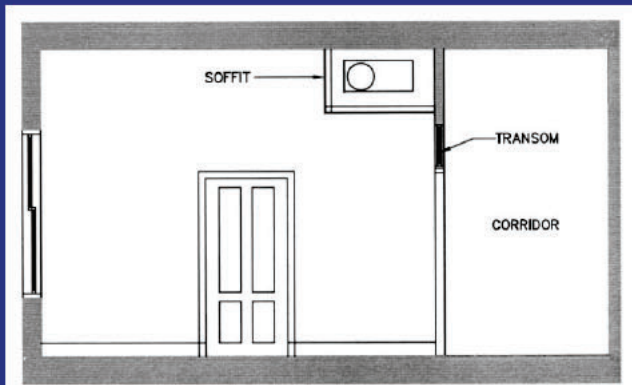


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Plans & Corridors



- ✓ Avoid lowering ceilings
- ✓ Place new mechanicals in utilitarian areas
- ✓ Never cover the heads of windows
- ✓ Avoid destruction of historic materials; use existing wall penetrations if possible

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Interiors – Large spaces



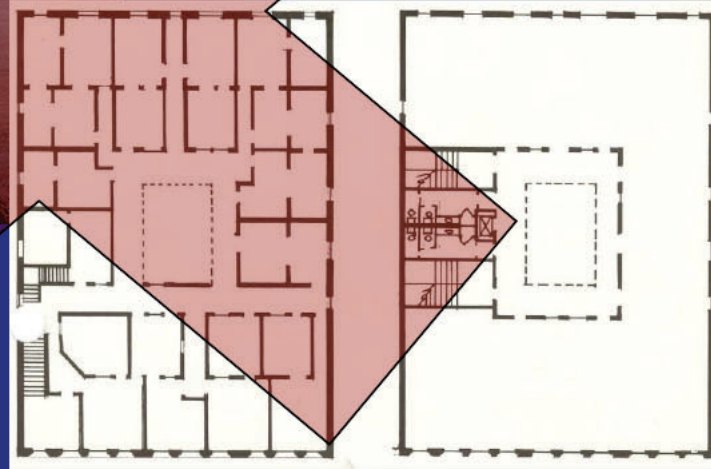
Changes must be carefully designed to retain the historic character of the space.

Subdividing the space horizontally with a new floor level that bisects the windows does not meet the Standards.



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Interiors – Plans & corridors





Interiors – Plans & corridors

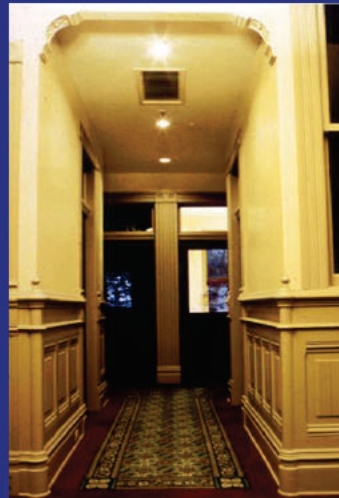
after

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Plans & corridors



Corridors have been retained, along with their features and finishes – wainscoting and door surrounds and transoms



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Plans & corridors



Areas finished historically
should remain finished
Mechanicals should not
be exposed



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#2 The historic character of a property shall be retained



 alamy stock photo

KHFF12
www.alamy.com

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Common Rehab Concerns



Exterior

- ✓ Windows
- ✓ Changes to primary elevations

Interior

- ✓ Plans & corridors
- ✓ Features & finishes
- ✓ Large spaces

New construction

- ✓ New additions
- ✓ Rooftop additions

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Changes to primary elevations should be minimized



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#3 Each property shall be
recognized as a record of its time
and place and use

**NO False Sense of History and
changes over time can acquire
significance**

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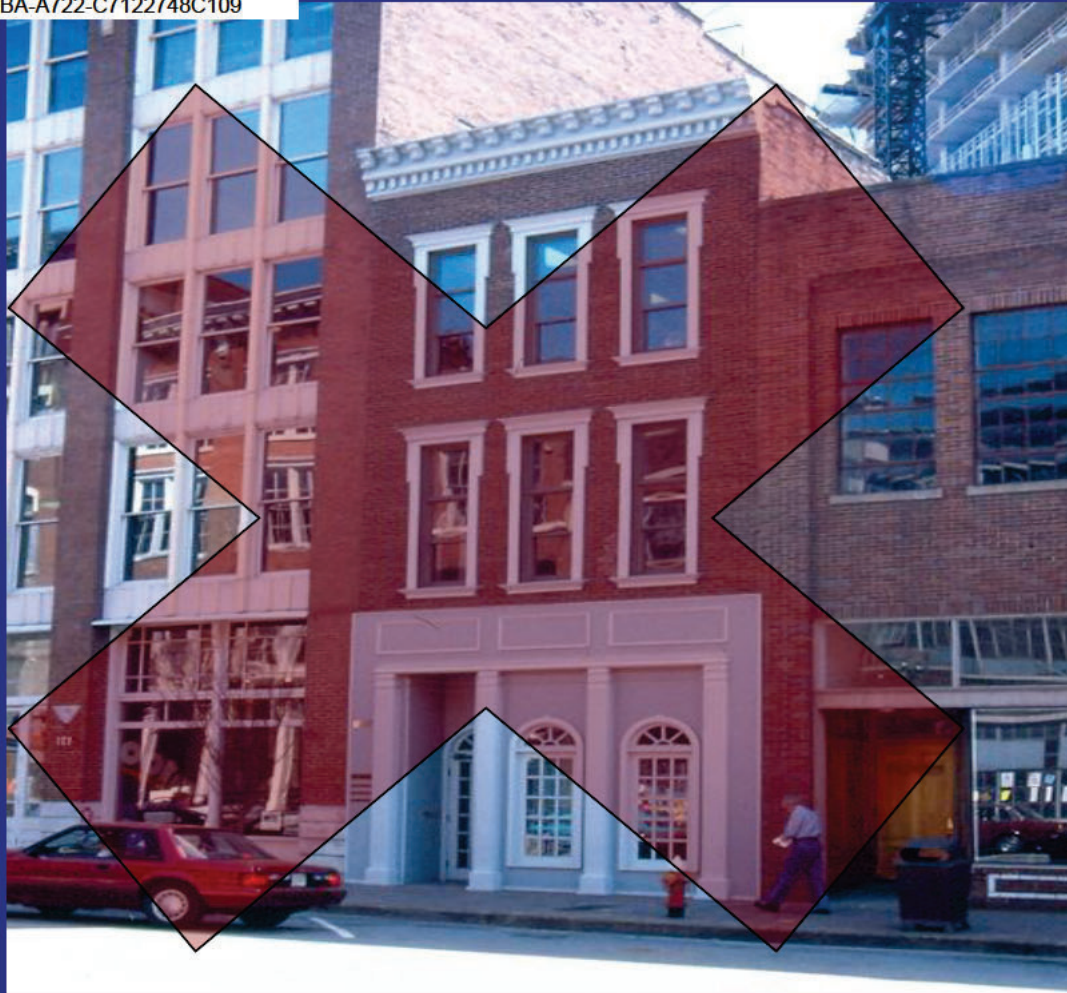
Old Country Barn Restaurant

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Columbia, Tennessee



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#4 Most properties change. Those changes may become historic over time.

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#5 Distinctive features, finishes that characterize a property shall be retained

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Repair rather than replace; replace to match



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Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Features & finishes

Historic wall surfaces should be preserved in a rehabilitation.



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Interiors – Features & finishes

Creative ideas



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Features & finishes



Find thoughtful
solutions to
code challenges



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Features & finishes



A common code challenge is open stairs.

A glazed wall retains the visual connection and satisfies fire code requirements.



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Features & finishes



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

#6 Deteriorated features shall be repaired, if replaced the replacement shall match in design, size, and material.



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Windows – Retain & repair



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Windows - Replace only when deteriorated



Replacement windows must:

- ✓ Match the appearance, size, design, proportions, and profiles of the existing windows
- ✓ Fit the openings properly
- ✓ Be in the same plane as the historic windows
- ✓ Be compatible with the historic building

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#7 No sandblasting



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Use test patches



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TDOT excavations at the Riley site along State Route 13 in Perry County. The area being excavated is the right-of-way for the new bridge.



#8 Archeological resources shall be protected and preserved

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#9 and #10 New Additions and New Construction- NOT COVERED BY GRANT

new work shall be different yet compatible with
the massing size and features. Also reversible



**Meets the
Standards**



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Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Compatible, Differentiated, and Reversible



Docusign Envelope ID: 587E1A63-0FFB-4DBA-A722-C7122748C109

Compatible, Differentiated, and Reversible



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Additions-NOT COVERED BY GRANT



The addition shown here, duplicates the historic house



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New construction – Additions-NOT COVERED BY GRANT

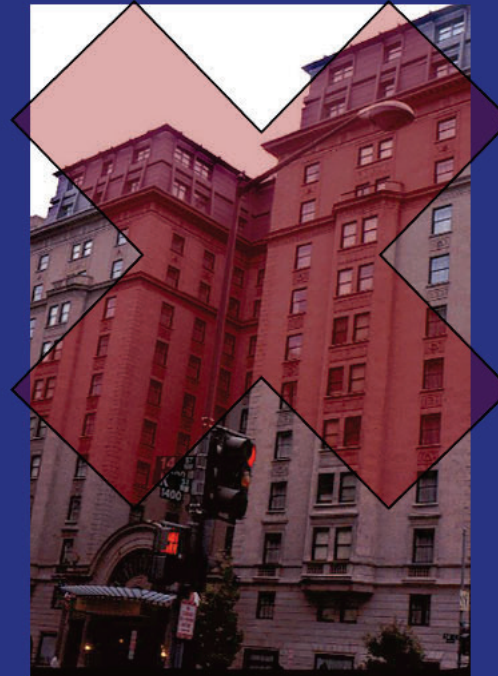
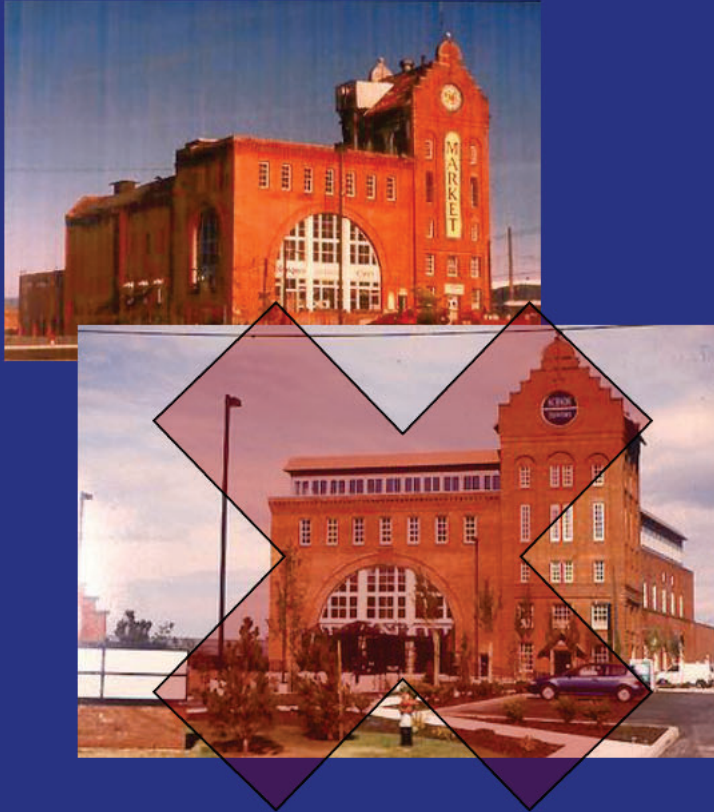


Must be compatible with the historic building's massing, size, scale, and architectural features and must be differentiated from the historic building to preserve its character.



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New construction – Rooftop Additions- NOT COVERED BY GRANT



The additions change the distinctive profiles of the buildings

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Rooftop Additions- NOT COVERED BY GRANT



Generally speaking, buildings must be at least 4 stories tall in order to be able to accommodate a rooftop addition.

Due to the setback, these new additions are only minimally visible and not detract from the historic character.



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Part 3

P3 is relatively simple. The After.

“Certified rehabilitation”

Part 3 is the Request for Certification of Completed Work. The project is reviewed as being consistent with the **historic character** of the property and, where applicable, the district in which it is located.

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Part 1

More Information

[THC-Federal Historic
Tax Credit Program](#)

[NPS-Tax Incentives—
Technical Preservation
Services](#)

[Novogradac About the
Historic Tax Credit](#)

Part 2

Part 3

Justin Heskeu
justin.heskeu@tn.gov
615.770.1098

Historic Tax Credit Program
State Historic Preservation
Office
Clover Bottom Mansion
2941 Lebanon Pike
Nashville, TN 37214

Public Information Officer

Washington State Department of Health – Olympia, WA

2002

- Managed public health communications and grant-funded outreach initiatives.
- Collaborated with federal and state partners on emergency response messaging and reporting.
- Supported grant deliverables through data collection, public engagement, and documentation.

Deputy Director of Emergency Management

Grays Harbor County – Montesano, WA

1997–2002

- Oversaw emergency preparedness, response coordination, and grant-funded resilience projects.
- Managed FEMA and Homeland Security grants, including budgeting, procurement, and reporting.
- Led multi-agency planning efforts and coordinated emergency operations center activities.

Education & Certifications

B.A. in political science & Speech Communication (Double Major)
University of Washington, Seattle WA

Task Order Work Sheet

Contract	Metro Nashville Masonry Restoration IDIQ	Prepared by	Rick Freitag
IDIQ Contract #	6517380	Date	7/24/2024
Contractor	The Tradesmen Group LLC		
PM	Rick Freitag		
Task Order	Historic Courthouse Door Assessment	Prepared for	Metro Dept of General Services 1 Public Square Nashville TN 37201

General Description of Work:

Introduction

In the week of Nov 27, 2023 Metro General Services inquired with TTG regarding TTG's ability to evaluate and assess the condition and problems reported with the large south elevation main entry security doors and the north elevation entry doors. TTG inspected the doors briefly to understand the basic problems and the level of effort required for a full investigative assessment for both operational repairs and architectural conservation of both sets of doors.

Areas to be Attended: South elevation main entry security doors (three sets; six doors; approximately 20' tall each); north elevation main entry doors & cast iron surrounds (three sets; six doors) and west elevation door & cast iron surround (one set; two doors)

Work Scope – Door Investigation & Assessment for Repairs & Conservation

1. Provide scaffold and equipment necessary for vertical access to the doors and door surrounds.
2. Provide barricades, signage and pedestrian controls to limit pedestrian access to work areas during assessment of each door.
3. Dismantle doors and adjacent assemblies as required to investigate operable components, general & specific conditions of distress and structural integrity of the doors, surrounds and components, including but not limited to hinge assemblies and locking mechanisms. Reinstall removed parts to maintain functionality of the doors as best as possible.
4. Engage a conservator for architectural conservation assessment and recommendations for the doors. See resume attached.
5. Thoroughly document observed conditions with photos, video and written description of observations.
6. Provide temporary mitigation/repairs of operational deficiencies to the greatest extent possible based on findings until long term repairs and conservation/restoration of the doors can be conducted.
7. Provide a written report with photos documenting investigative findings along with recommendations for repairs of discovered conditions and conservation of the doors.

*Allow 6-8 weeks for scheduling of assessment once approved by Owner and receipt of PO
**Allow 5-6 days of onsite work for completion of assessment field work
***Allow 4-6 weeks for preparation of the report with recommendations following field work

Price \$42,066



Task Order Work Sheet

Contract	Metro Nashville Masonry Restoration IDIQ	Prepared by	Rick Freitag
IDIQ Contract #	6517380	Date	10/15/2025
Contractor	The Tradesmen Group LLC		
PM	Rick Freitag		
Task Order	Historic Courthouse Exterior Bronze Doors Repairs & Conservation	Prepared for	Metro Dept of General Services 1 Public Square Nashville TN 37201

General Description of Work:

Introduction

In November 2023, Metro General Services inquired with TTG regarding TTG's ability to evaluate and assess the condition and problems reported with the large south elevation main entry security doors and the north elevation entry doors. TTG inspected the doors briefly to understand the basic problems and the level of effort required for a full investigative assessment for both operational repairs and architectural conservation of both sets of doors. In the same month TTG, provide a task order work sheet proposal to Metro to perform a condition assessment. The proposal was updated in July and August 2024. TTG received authorization to proceed with the assessment on Aug 15, 2024 through issuance of a PO.

TTG conducted field work for the assessment in November 2024 and followed up with a 75 page assessment report with treatment recommendations at the conclusion to the report. The report is attached as Exhibit A for reference.

Metro has requested TTG to provide a task order proposal to complete work recommended by assessment report. This task order worksheet responds to that request.

Areas to be Attended: South elevation main entry security doors (three sets; six doors; approximately 20' tall each); north elevation main entry doors & cast-iron surrounds (three sets; six doors) and west elevation door & cast-iron surround (one set; two doors)

Work Scope – Repairs & Conservation

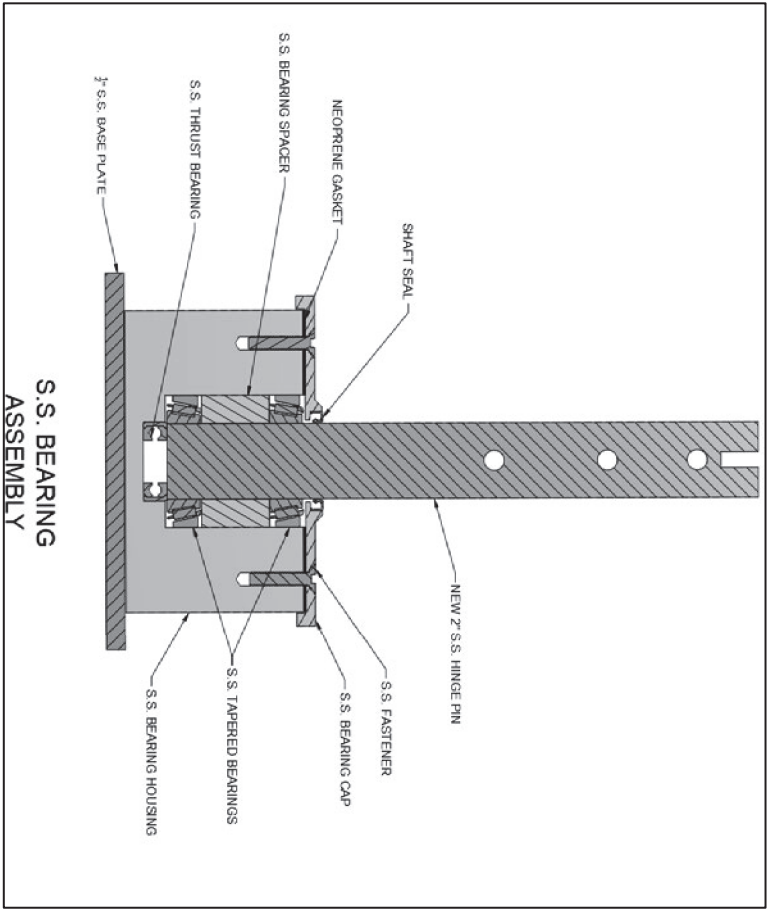
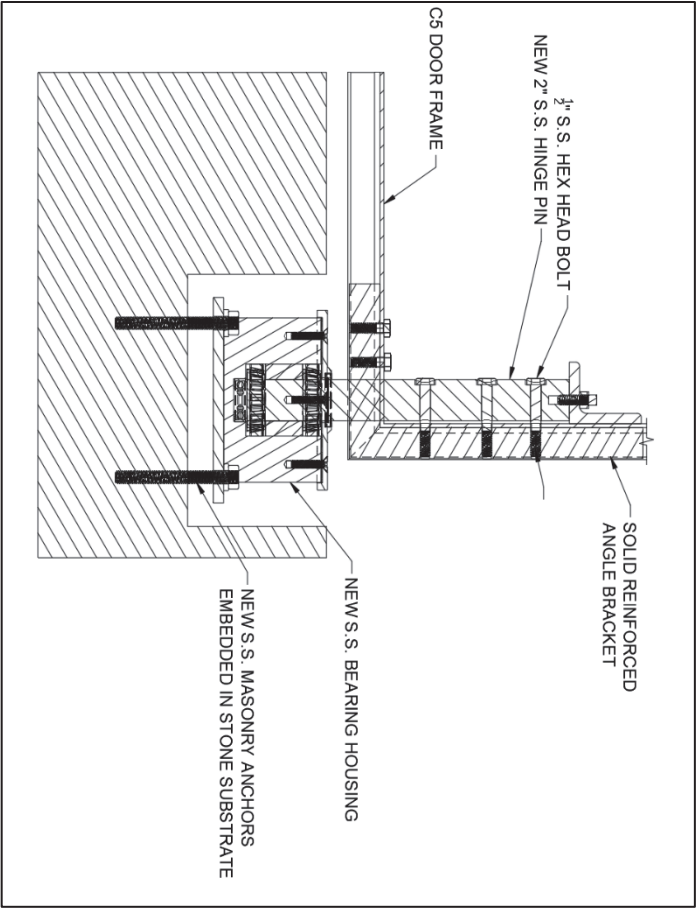
- 1. Provide scaffold and equipment necessary for vertical access to the doors and door surrounds.
- 2. Provide barricades, signage and pedestrian controls to limit pedestrian access to work areas during assessment of each door.
- 3. Dismantle doors and adjacent assemblies as required to remove them and their operable components for offsite repairs, restoration and conservation.
- 4. Crate and package doors for transport to TTG shop.
- 5. Provide temporary enclosure of the openings while doors are removed with temporary walls/doors as approved by Metro to secure the openings against water, wind/air infiltration and to be secure against unauthorized entry.
- 6. At TTG shop, conduct repairs as designated in the Treatment Scope narrative on pages 2-13 herein.
- 7. Upon completion of repairs, crate and transport doors back to site for reinstallation.
- 8. Reinstall doors to like original conditions with all repairs and functionality of the doors restored.
- 9. Engage a conservator for architectural conservation services related to bronze conservation for the doors.
- 10. Thoroughly document observed conditions during the repair process with photos, video and written description of observations.
- 11. Provide a final treatment report with photos documenting treatments and corrected conditions of the doors.



TREATMENT SCOPE

South Façade – Bronze Doors

- 1) Complete removal of the doors to allow for the replacement of the lower bearing housings, upper bearing restoration, lead abatement of frame coatings, new HP frame coatings, cladding repairs, and cladding refinishing.
 - a) Door removal will require complete removal of the light tray ceiling above the doors
 - b) A temporary wall fabricated from steel studs, painted plywood, and lockable security doors can be installed at each door location.
 - c) All components should be cataloged and crated prior to site removal.
 - d) Custom rigging and material handling will need to be considered due to weight limitations on the plaza.
- 2) Complete replacement of the lower bearings on all doors.
- 3) Replace the existing bearings with custom designed lower bearing housing and internals. The design should include
 - a) New stainless steel housing.
 - i) New stainless steel bearings and shims
 - ii) Neoprene or VITON gasket between housing and housing cap.
 - iii) Accessible grease port for maintenance.
 - iv) Rotary shaft seal at hinge pin location
 - v) Top of the bearing housing and bearing cover joint should sit above ground level. This will prevent possible water, dirt, and salt from seeping into the bearing housing. The Escutcheon plate may need to be adjusted to accommodate the new design.
 - b) New stainless steel pivot hinge pin and attachment
 - i) The old hinge pins should be replaced with a new stainless steel hinge pin.
 - ii) The mounting configuration of the pins to the doors should be adjusted as follows.
 - (1) Utilize hex head bolts. Change the threaded holes in the hinge pins to clearance holes.
 - (2) Mill the hinge pin flat at the clearance holes. This will increase the surface area engagement between the hex head and the pin.
 - (3) Change the clearance holes in the solid L reinforcement angle to threaded holes or use lock washers and nuts on the exterior side of the bracket.
 - (4) These changes will allow access to the fasteners by removing the inside lower or upper cladding. The current design only allows access to the fasteners by removing the door.
 - iii) Review of the existing lower bearing housing masonry anchorage.
 - (1) Review any existing as-built or project drawings
 - (2) If required, enlarge the existing housing masonry pocket to allow installation of new stainless steel anchors.
 - (3) Infill gap between housing and stone threshold with non-shrink grout
 - iv) Concept drawings included on the following page.



Concept drawings of custom designed lower bearing housing and internals. Drawings by TTG.

- 4) Restore the upper bearing housing
 - a) Catalog and remove.
 - b) Disassemble
 - c) Removal of existing coatings
 - d) Assessment of the condition of internal components
 - e) New HP coating
 - f) Replacement of worn components
 - g) Repacking and assembly of bearing.
 - h) Replacement of the hinge pin with new stainless steel pin
 - i) Addition of grease port if one is not present on the housing
- 5) Removal and restoration of cladding, statuary, and accessories
 - a) Catalog all accessories, cladding, and statuary
 - b) Onsite removal and crating of accessories, cladding, and statuary
 - c) Repairs
 - i) Cladding
 - (1) Assess all components
 - (2) Repair any cracks or holes in cladding by brazing
 - (3) Flatten and reshape damaged cladding
 - (4) Re-patinate to an even semi-transparent brown finish.
 - ii) Accessories
 - (1) Door catch plate
 - (a) Mill new catch plate receiver from solid silicone bronze. Fabricate new catch spring from stainless steel sheet.
 - (b) Adjust existing catch spring sheet metal on all catch plates
 - (2) Security barrel
 - (a) Remove all components
 - (b) Assess components
 - (c) Replace missing components with replica/salvaged, or modern components
 - (3) Deadbolt lock
 - (a) Remove locking mechanism
 - (b) Assess components
 - (c) Recondition or repair components.
 - (4) Hinged door pull
 - (a) Assess for repairs
 - (5) Escutcheon plate
 - (a) Flatten warped plates
 - (b) Alter plate to accommodate new bearing housing if needed
 - (c) Re-patinated to an even semi-transparent brown finish.
- 6) Door frame restoration
 - a) Catalog
 - b) Removal from hinges

- c) Removal from Site
- d) Coating removal and abatement
- e) Condition assessment
 - i) Repairs
 - (1) Straighten and square frame if needed
 - (2) Review all welded joints and repair if needed
 - (3) Review all threaded holes
 - (4) Repair any damaged holes with stainless steel helicoils to maintain hole location for cladding
 - (5) Remove hinge pin support angle. This is required for reinstallation of the door frame
 - ii) Apply new HP coating
 - (1) SW or Tnemec system based on manufacturer's rep recommendation.
- f) Reinstallation of all components onsite.
 - i) Hinge
 - (1) Install lower bearing housing
 - (a) Use new S.S. fasteners
 - (2) Install upper bearing housing
 - (a) Use new stainless steel fasteners
 - (3) Install escutcheon plate
 - (a) Use new bronze fasteners and s.s. anchors
 - (4) Install frame
 - (a) Align frame with bearing housings
 - (b) Insert new stainless steel hinge pin into bearing housings.
 - (c) Bolt hinge pin to frame and L reinforcement bracket using 316 s.s. fasteners and Loctite 271
 - (d) Weld hinge pin support angle to frame
 - (i) Recoat welded zone with HP paint system
 - (e) Through bolt the hinge pin to the angle
 - (f) Adjust upper bearing to plumb the door
 - (g) Test door operation.
- ii) Install cladding and accessories
 - (1) Exterior cladding
 - (a) Use silicone bronze, ¼"-20 flat head screws to resecure the cladding to the frame
 - (i) Use Loctite 271 on all fasteners
 - (b) Grind, file, and sand flush screw heads to the surface of the cladding
 - (2) Interior cladding
 - (a) Use silicone bronze, ¼"-20 flat head screws to resecure the cladding to the frame
 - (i) Use Loctite 271
 - (3) Install accessories using appropriate hardware
 - iii) Re-patinate cladding and hardware to an even semi-transparent brown finish.

West Façade – Bronze Doors

- 1) Repairs to be conducted
 - a) General Repair Notes
 - i) The doors need a full and complete disassembly and restoration or to be completely replaced with custom manufactured bronze doors.
 - ii) The cast iron surround will require complete disassembly to address the corrosion and water infiltration at the threshold.
 - b) Doors
 - i) Due to the brazing repairs on the left door it will be very difficult and not cost effective to return the doors to their original state. The best option for restoration would require brazing all the joints on both doors to match the repairs that have already been performed.
 - ii) All the holes from missing hardware require brazing repairs and finish work to create a seamless repair.
 - iii) The miss cut glazing stops would be replaced with new materials cut with clean and tight miters.
 - iv) All the glass panels would be set in new glazing and sealant.
 - v) Based on the repairs listed above, new doors may be a cost effective option
 - c) Accessories
 - i) Weather stripping
 - (1) There are several retrofit products on the market that can be added to help seal the perimeter and edges of the doors
 - (2) Legacy Manufacturing manufactures stainless steel, adjustable perimeter gaskets that are installed on the jambs. The bodies of these gaskets could be painted to match the jamb. They also manufacture several meeting stile gaskets. Several of these gaskets can be installed in the existing pile gasket channel on the edge of the door. Pemko is another manufacturer.
 - (a) <https://www.legacyllc.com/product/5071ss-gasketing/>
 - (b) <https://www.legacyllc.com/product/735ms-meeting-stile/>
 - (c) https://www.pemko.com/en/products/astagals-meeting-stiles/split-astagals/product-details-nm.aehpdp-372-series-ag_pemko_301736
 - ii) Threshold
 - (1) The thresholds should be removed, assessed for reuse, cleaned and or repaired, and reinstalled. If the threshold is in poor condition or if the original configuration is not functional for the new installation it should be replaced. The following should be considered for reinstallation
 - (a) The substrate below the threshold should be reviewed to ensure it is sound and repairs should be made if there are signs of cracks or spalled stone.
 - (b) A permanent small masonry or stainless steel curb should be installed below the threshold location. This will act as a water stop. The curb and the surrounding masonry should be coated in a liquid applied PMMA system. The PMMA should tie into the new flashing system for the cast iron and masonry structure.
 - (c) The threshold should be installed in a bed of sealant and secured with bronze or brass fasteners set in lead or stainless steel anchors
 - d) Transom
 - i) The transom glass and stops should be cataloged and removed from their frame.
 - ii) An assessment and documentation of their conditions should be made after their removal
 - iii) The transom should be reinstalled after all other repairs to the adjacent materials have been made.

e) Cast Iron and Interior Marble Removal

- i) Image of extend of cast iron assembly removal shown below:



- ii) Identify and catalog all cast iron components and their locations
- iii) Identify and catalog all marble panel components and their locations
- iv) All interior and exterior cast iron should be removed from the entrance.
- v) All interior marble panels in contact with the cast iron or covering the structural steel should be removed.
- f) Structural Support Steel and Substrate
 - i) Review with a structural engineer the condition of any structural steel during and after removal of cast iron, interior marble panels and masonry substrate.
 - ii) Remove and dispose of all coatings on existing steel. Perform in situ when required. ALL paint is assumed to be lead based.
 - iii) Replace or repair any components that are too corroded to reuse.
 - iv) Apply HP coating to existing, repaired, or replaced steel components.

g) Internal flashing

i) Image of extent of liquid applied PMMA flashing shown below:



- ii) Install a liquid applied PMMA flashing behind the cast iron and under the threshold. This flashing will prevent water from entering the building below the threshold and cast-iron surround.
- iii) The flashing should extend the entire length of the stone entrance opening and turn outward along the stone jambs. The flashing should extend to the end plane of the cast iron brick molding.
- iv) The flashing should extend vertically a minimum of 6"
- v) A reglet should be cut into the threshold for the PMMA to terminate into.
- h) Cast Iron Repairs and Installation
 - i) Remove and dispose of all coatings
 - (1) Paint is assumed to be lead based
 - ii) Review components for cracks, deterioration, and for missing or damaged components that cannot be repaired.
 - iii) Replace any missing components or components with 60% or more section loss with new cast iron components

- iv) Repair schedule
 - (1) Cracks or split pieces
 - (a) On ¼" and thicker materials use the stitch and lock repair method
 - (b) On smaller, non-structural pieces, or broken corners use a stainless steel backing plate, mechanical fasteners, and Devcon metal putty to reattach the broken component.
 - (2) Deterioration and section loss
 - (a) Rebuild and shape to match using devcon metal putty.
 - v) Recoat all sides using a high-performance coating from Sherwin Williams or Tnemec
 - vi) Reinstall components using countersunk, stainless steel fasteners, stainless steel bolts, nuts, washers, stainless steel brackets and shims.
 - vii) Seal all joints and apply the final coat of paint after installation
 - viii) All cast iron components shall maintain a minimum of 1/4" clearance from all masonry surfaces. Surfaces include but are not limited to the foundation, walls, masonry substrate, and interior marble.
 - i) Miscellaneous
 - i) Reinstall all door components after cast iron and marble panels have been reinstalled.
 - ii) Temporary walls and doors will need to be installed during the removal and repair of the cast iron surrounds

North Façade – Bronze Doors

- 1) Repairs to be conducted
 - a) General Repair Notes
 - i) The doors are functional and require little service. However, the surrounding cast iron door frames show significant damage from internal corrosion. The damage is so extensive that performing in situ repairs cannot address the rust jacking occurring on the interior substrate. In place repairs would also not address the failed coatings and sealant that are inaccessible without removal of the cast iron.
 - b) Doors
 - i) The doors are in good mechanical shape and need little to keep them serviceable. The doors will need to be removed in coordination with repairs to the cast iron door frames and any displaced adjacent materials.
 - ii) The retrofitted horsehair weather stripping is functionally and aesthetically incorrect. All locations could be replaced with an adjustable gasket that is installed on the door frame and also on the door. If a new gasket seal is installed, the holes from the existing weather stripping will need to be filled and finished to blend into the door cladding.
 - iii) All hinges, hinge mounts, hinge pins, etc should be assessed, cleaned and reconditioned during disassembly
 - c) Accessories
 - i) Weather stripping
 - (1) There are several retrofit products on the market that function better and possibly improve the aesthetics of the horse-hair weather stripping
 - (2) Legacy Manufacturing manufactures stainless steel, adjustable perimeter gaskets that are installed on the jambs. The bodies of these gaskets could be painted to match the jamb. They also manufacture several meeting stile gaskets. Several of these gaskets can be installed in the existing pile gasket channel on the edge of the door. Pemko is another manufacturer.
 - (a) <https://www.legacyllc.com/product/5071ss-gasketing/>
 - (b) <https://www.legacyllc.com/product/735ms-meeting-stile/>
 - (c) https://www.pemko.com/en/products/astragals-meeting-stiles/split-astragals/product-details-nm.aehpdp-372-series-ag_pemko_301736
 - ii) Threshold
 - (1) The thresholds should be removed, assessed for reuse, cleaned and or repaired, and reinstalled. If the threshold is in poor condition or if the original configuration is not functional for the new installation it should be replaced. The following should be considered for reinstallation

- (a) The substrate below the threshold should be reviewed to ensure it is sound and repairs should be made if there are signs of cracks or spalled stone.
- (b) A permanent small masonry or stainless steel curb should be installed below the threshold location. This will act as a water stop. The curb and the surrounding masonry should be coated in a liquid applied PMMA system. The PMMA should tie into the new flashing system for the internal steel and masonry structure.
- (c) The threshold should be installed in a bed of sealant and secured with bronze or brass fasteners set in lead or stainless steel anchors
- d) Sidelights
 - i) The side light sashes should be cataloged and removed from their frames.
 - ii) An assessment and documentation of their conditions should be made after their removal.
 - iii) The glazing stops should be removed along with the glazing, glazing blocks, and the glass panes.
 - iv) Any repairs or refinishing of the sashes should be performed prior to reinstalling the glass
 - v) Missing hardware should be identified and replaced
 - vi) The existing glass should be cleaned and any broken or chipped panes should be replaced with matching glass.
 - vii) The glass panes should be installed and sealed using Sarco Dual Glaze glazing compound.
 - viii) The sidelights should be reinstalled after all other repairs to the adjacent materials have been made.
- e) Transom
 - i) The transom sashes should be cataloged and removed from their frames.
 - ii) An assessment and documentation of their conditions should be made after their removal
 - iii) The glazing stops should be removed along with the glazing, glazing blocks, and the glass panes
 - iv) Any repairs or refinishing of the sashes should be performed prior to reinstalling the glass
 - v) The existing glass should be cleaned
 - vi) A new etched glass pane for the northwest transom should be fabricated to match the existing pane.
 - vii) The glass panes should be installed and sealed using Sarco Dual Glaze glazing compound.
 - viii) The sidelights should be reinstalled after all other repairs to the adjacent materials have been made.
- f) Cast Iron and Interior Marble Removal
 - i) Images of extent of material needed to be removed for repair shown below:





- ii) Identify and catalog all cast iron components and their locations
 - iii) Identify and catalog all marble panel components and their locations
 - iv) All interior and exterior cast iron should be removed from the northeast and northwest entrances. At the central north entrance the exterior cast iron should be removed from the second floor lower mull cover down to the threshold. All the interior 1st floor cast iron at the central north entrance should be removed.
 - (1) The location of existing joints is unknown. Removal of the identified pieces may require removing additional or fewer components.
 - v) All interior marble panels in contact with the cast iron or covering the structural steel should be removed.
- g) Structural Support Steel
- i) Review with a structural engineer the condition of structural steel during and after removal of interior marble panels and masonry substrate.
 - ii) Remove and dispose of all coatings on existing steel. Perform in situ when required.
 - iii) Replace or repair any components that are too corroded to reuse.
 - iv) Apply HP coating to existing, repaired, or replaced steel components.

h) Internal flashing

i) Image of boundary for liquid applied flashing shown below:



- ii) Install a liquid applied PMMA flashing behind the cast iron and under the threshold. This flashing will prevent water from entering the building below the threshold and cast-iron surround.
- iii) Install stainless or zinc clad copper flashing on the exterior wall behind the finish plane of the cast iron. The flashing only serves as a substrate to apply a new liquid applied PMMA flashing.
- iv) The flashing should extend the entire length of the stone entrance opening and turn outward along the stone jambs. The flashing should extend to the end plane of the cast iron brick molding.
- v) The flashing should extend vertically up to the sidelight windowsill
- vi) A reglet should be cut into the threshold for the flashing to terminate into.
- i) Cast Iron Repairs and Installation
 - i) Remove and dispose of all coatings
 - ii) Review components for cracks, deterioration, and for missing or damaged components that cannot be repaired.
 - iii) Replace any missing components or components with 60% or more section loss with new cast iron components
 - iv) Repair schedule
 - (1) Cracks or split pieces
 - (a) On ¼" and thicker materials use the stitch and lock repair method
 - (b) On smaller, non-structural pieces, or broken corners use a stainless steel backing plate, mechanical fasteners, and Devcon metal putty to reattach the broken component.
 - (2) Deterioration and section loss
 - (a) Rebuild and shape to match using devcon metal putty.
 - v) Recoat all sides using a high-performance coating from Sherwin Williams or Tnemec
 - vi) Reinstall components using countersunk, stainless steel fasteners, nuts, washers, stainless steel brackets and shims.
 - vii) Seal all joints and apply the final coat of paint after installation
 - viii) All cast iron components shall maintain a minimum of 1/4" clearance from all masonry surfaces. Surfaces Include but are not limited to the foundation, walls, masonry substrate, and interior marble.
 - j) Misc.
 - i) Reinstall all door components after cast iron and marble panels have been reinstalled.
 - ii) Temporary walls and doors will need to be installed during the removal and repair of the cast iron surrounds

PROJECT ESTIMATE						
COMPANY NAME: THE TRADESMEN GROUP LLC					10/15/2025	
Metro Nashville Historic Courthouse - Exterior Bronze Door Repairs & Conservation						
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT	LIST ALL SUBCONTRACTORS AND AMOUNT PERFORMING EACH BID ITEM NUMBER (IF APPLICABLE)	UNIT PRICE	TOTAL ESTIMATED COST
HSM-147H	Masonry/Bronze Conservator	132	HR	Past Matters	\$ 345.00	\$ 45,540.00
HSM-147H	Masonry/Bronze Conservator	2,285	HR	Self-Perform	\$ 345.00	\$ 788,325.00
HSM-126H	Remove Paint/Repair Windows & Doors	6	EA	Self-Perform	\$ 2,620.00	\$ 15,720.00
HSM-148H	Bronze Substrate Clean & Restore	1,356	SF	Self-Perform	\$ 49.00	\$ 66,444.00
HSM-149H	Elevated Access Equipment Rental	60	Day	Self-Perform	\$ 510.00	\$ 30,600.00
						\$ -
Contractor MUST enter a percentage amount from 0.00% to 5.00% for the percentage per project that will be associated with mobilization					3.0%	\$ 28,398.87
TOTAL AMOUNT						\$ 975,027.87

Period of Performance - To Be Negotiated Upon Award

APPLICATION FOR the Tennessee Historic Development Grant Program
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

<i>Gerald C Smith Sr.</i>	10/29/2025 10:01 AM CDT
Gerald C. Smith Sr, Director	Date
Department of General Services	

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In Person Signer Events	Signature	Timestamp
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particular transaction involves a “consumer”? (B) furnish or obtain any such consents or determine if any such consents have been withdrawn; (C) provide any information or disclosures in connection with any attempt to obtain any such consents; (D) provide legal review of, or update or correct any information or disclosures currently or previously given; (E) provide any such copies or access, except as expressly provided in the Specifications for all transactions, consumer or otherwise; or (F) otherwise to comply with any such special requirements; and (g) Subscriber undertakes to determine whether any “consumer” is involved in any eContract presented by Subscriber or its Authorized Users for processing, and, if so, to comply with all requirements imposed by law on such eContracts or their formation. (h) If the domain of the primary email address associated with the Account is owned by an organization and was assigned to Subscriber as an employee, contractor or member of such organization, and that organization wishes to establish a commercial relationship with DocuSign and add the Account to such relationship, then, if Subscriber does not change the email address associated with the Account, the Account may become subject to the commercial relationship between DocuSign and such organization and controlled by such organization. 5. RESPONSIBILITY FOR CONTENT OF COMMUNICATIONS As between Subscriber and DocuSign, Subscriber is solely responsible for the nature and content of all materials, works, data, statements, and other visual, graphical, video, and written or audible communications submitted by any Authorized User or otherwise processed through its Account, the Subscription Service, or under any Service Plan. Accordingly: (a) Subscriber will not use or permit the use of the Subscription Service to send unsolicited mass mailings outside its organization. The term “unsolicited mass mailings” includes all statutory or common definitions or understanding of those terms in the applicable jurisdiction, such as those set forth for “Commercial Electronic Mail Messages” under the U.S. CAN-SPAM Act, as an example only; and (b) Subscriber will not use or permit the use of the Subscription Service: (i) to communicate any message or material that is defamatory, harassing, libelous, threatening, or obscene; (ii) in a way that violates or infringes upon the intellectual property rights or the privacy or publicity rights of any person or entity or that may otherwise be unlawful or give rise to civil or criminal liability (other than contractual liability of the parties under eContracts processed through the Subscription Service); (iii) in any manner that is likely to damage, disable, overburden, or impair the System or the Subscription Service or interfere with the use or enjoyment of the Subscription Service by others; or (iv) in any way that constitutes or encourages conduct that could constitute a criminal offense. DocuSign does not monitor the content processed through the Subscription Service, but in accordance with DMCA (Digital Millennium Copyright Act) safe harbors, it may suspend any use of the Subscription Service, or remove or disable any content that DocuSign reasonably and in good faith believes violates this Agreement or applicable laws or regulations. DocuSign will use commercially reasonable efforts to notify Subscriber prior to any such suspension or disablement, unless DocuSign reasonably believes that: (A) it is prohibited from doing so under applicable law or under legal process, such as court or government administrative agency processes, orders, mandates, and the like; or (B) it is necessary to delay notice in order to prevent imminent harm to the System, Subscription Service, or a third party. Under circumstances where notice is delayed, DocuSign will provide the notice if and when the related restrictions in the previous sentence no longer apply. 6. PRICING AND PER USE PURCHASES The prices, features, and options of the Subscription Service available for an Account depend on the Service Plan selected by Subscriber. Subscriber may also purchase optional services on a periodic or per-use basis. DocuSign may add or change the prices, features or options available with a

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business purpose to do so. 9. BUSINESS AGREEMENT BENEFITS You may receive or be eligible for certain pricing structures, discounts, features, promotions, and other benefits (collectively, "Benefits") through a business or government Subscriber's agreement with us (a "Business Agreement"). Any and all such Benefits are provided to you solely as a result of the corresponding Business Agreement and such Benefits may be modified or terminated without notice. If you use the Subscription Service where a business or government entity pays your charges or is otherwise liable for the charges, you authorize us to share your account information with that entity and/or its authorized agents. If you are enrolled in a Service Plan or receive certain Benefits tied to a Business Agreement with us, but you are liable for your own charges, then you authorize us to share enough account information with that entity and its authorized agents to verify your continuing eligibility for those Benefits and the Service Plan. 10. FEES AND PAYMENT TERMS The Service Plan rates, charges, and other conditions for use are set forth in the Site. Subscriber will pay DocuSign the applicable charges for the Services Plan as set forth on the Site. If you add more Authorized Users than the number of Seats you purchased, we will add those Authorized Users to your Account and impose additional charges for such additional Seats on an ongoing basis. Charges for pre-paid Service Plans will be billed to Subscriber in advance. Charges for per use purchases and standard Service Plan charges will be billed in arrears. When you register for an Account, you will be required to provide DocuSign with accurate, complete, and current credit card information for a valid credit card that you are authorized to use. You must promptly notify us of any change in your invoicing address or changes related to the credit card used for payment. By completing your registration for the Services Plan, you authorize DocuSign or its agent to bill your credit card the applicable Service Plan charges, any and all applicable taxes, and any other charges you may incur in connection with your use of the Subscription Service, all of which will be charged to your credit card. Each time you use the Subscription Service, or allow or cause the Subscription Service to be used, you reaffirm that we are authorized to charge your credit card. You may terminate your Account and revoke your credit card authorization as set forth in the Term and Termination section of these Terms and Conditions. We will provide you with one invoice in a format we choose, which may change from time to time, for all Subscription Service associated with each Account and any charges of a third party on whose behalf we bill. Payment of all charges is due and will be charged to your credit card upon your receipt of an invoice. Billing cycle end dates may change from time to time. When a billing cycle covers less than or more than a full month, we may make reasonable adjustments and/or prorations. If your Account is a qualified business account and is approved by us in writing for corporate billing, charges will be accumulated, identified by Account identification number, and invoiced on a monthly basis. You agree that we may (at our option) accumulate charges incurred during your monthly billing cycle and submit them as one or more aggregate charges during or at the end of each cycle, and that we may delay obtaining authorization from your credit card issuer until submission of the accumulated charge(s). This means that accumulated charges may appear on the statement you receive from your credit card issuer. If DocuSign does not receive payment from your credit card provider, you agree to pay all amounts due upon demand. DocuSign reserves the right to correct any errors or mistakes that it makes even if it has already requested or received payment. Your credit card issuer's agreement governs your use of your credit card in connection with the Subscription Service, and you must refer to such agreement (not these Terms and Conditions) with respect to your rights and liabilities as a cardholder. You are solely responsible for any and all fees charged to your credit card by the issuer, bank, or financial institution including, but not limited to, membership,

overdraft, insufficient funds, and over the credit limit fees. You agree to notify us about any billing problems or discrepancies within 20 days after they first appear on your invoice. If you do not bring them to our attention within 20 days, you agree that you waive your right to dispute such problems or discrepancies. We may modify the price, content, or nature of the Subscription Service and/or your Service Plan at any time. If we modify any of the foregoing terms, you may cancel your use of the Subscription Service. We may provide notice of any such changes by e-mail, notice to you upon log-in, or by publishing them on the Site. Your payment obligations survive any termination of your use of the Subscription Service before the end of the billing cycle. Any amount not paid when due will be subject to finance charges equal to 1.5% of the unpaid balance per month or the highest rate permitted by applicable usury law, whichever is less, determined and compounded daily from the date due until the date paid. Subscriber will reimburse any costs or expenses (including, but not limited to, reasonable attorneys' fees) incurred by DocuSign to collect any amount that is not paid when due. DocuSign may accept any check or payment in any amount without prejudice to DocuSign's right to recover the balance of the amount due or to pursue any other right or remedy. Amounts due to DocuSign under these Terms and Conditions may not be withheld or offset by Subscriber for any reason against amounts due or asserted to be due to Subscriber from DocuSign. Unless otherwise noted and Conditions are denominated in United States dollars, and Subscriber will pay all such amounts in United States dollars. Other than federal and state net income taxes imposed on DocuSign by the United States, Subscriber will bear all taxes, duties, VAT and other governmental charges (collectively, "taxes") resulting from these Terms and Conditions or transactions conducted in relation to these Terms and Conditions. Subscriber will pay any additional taxes as are necessary to ensure that the net amounts received and retained by DocuSign after all such taxes are paid are equal to the amounts that DocuSign would have been entitled to in accordance with these Terms and Conditions as if the taxes did not exist. 11.

DEPOSITS, SERVICE LIMITS, CREDIT REPORTS, AND RETURN OF BALANCES You authorize us to ask consumer reporting agencies or trade references to furnish us with employment and credit information, and you consent to our rechecking and reporting personal and/or business payment and credit history if, in our sole discretion, we so choose. If you believe that we have reported inaccurate information about your account to a consumer reporting agency, you may send a written notice describing the specific inaccuracy to the address provided in the Notices section below. For you to use the Subscription Service, we may require a deposit or set a service limit. The deposit will be held as a partial guarantee of payment. It cannot be used by you to pay your invoice or delayed payment. Unless otherwise required by law, deposits may be mixed with other funds and will not earn interest. We reserve the right to increase your deposit if we deem appropriate. You may request that we reevaluate your deposit on an annual basis, which may result in a partial or total refund of the deposit to you or credit to your account. If you default or these Terms and Conditions are terminated, we may, without notice to you, apply any deposit towards payment of any amounts you owe to us. After approximately 90 days following termination of these Terms and Conditions, any remaining deposit or other credit balance in excess of amounts owed will be returned without interest, unless otherwise required by law, to you at your last known address. You agree that any amounts under \$15 will not be refunded to cover our costs of closing your account. If the deposit balance is undeliverable and returned to us, we will hold it for you for one year from the date of return and, during that period, we may charge a service fee against the deposit balance. You hereby grant us a security interest in any deposit we require to secure the performance of your obligations under these Terms and

Conditions. 12. TERM AND TERMINATION The term of these Terms and Conditions for each Account begins on the date you register for an Account and continues for the term specified by the Service Plan you purchase (the “Term”). You may terminate your Account at any time upon 10 days advance written notice to DocuSign following the Notice procedures set forth in these Terms and Conditions. Unless you terminate your Account or you set your Account to not auto renew, your Service Plan will automatically renew at the end of its Term (each a “Renewal Term”), and you authorize us (without notice) to collect the then-applicable fee and any taxes for the renewed Service Plan, using any credit card we have on record for you. Service Plan fees and features may change over time. Your Service Plan for a Renewal Term will be the one we choose as being closest to your Service Plan from the prior Term. For any termination (including when you switch your Account), you will be responsible for payment of all fees and charges through the end of the billing cycle in which termination occurs. If you terminate your annual Service Plan Account within the first 30 days of the Term, you may submit written request to DocuSign following the Notice procedures set forth in these Terms and Conditions, for a full refund of the prepaid fees paid by you to DocuSign. You will be limited to one refund. You agree that termination of an annual Service Plan after the first 30 days will not entitle you to any refund of prepaid fees. You will be in default of these Terms and Conditions if you: (a) fail to pay any amount owed to us or an affiliate of ours or any amount appearing on your invoice; (b) have amounts still owing to us or an affiliate of ours from a prior account; (c) breach any provision of these Terms and Conditions; (d) violate any policy applicable to the Subscription Service; (e) are subject to any proceeding under the Bankruptcy Code or similar laws; or (f) if, in our sole discretion, we believe that your continued use of the Subscription Service presents a threat to the security of other users of the Subscription Service. If you are in default, we may, without notice to you, suspend your Account and use of the Subscription Service, withhold refunds and terminate your Account, in addition to all other remedies available to us. We may require reactivation charges to reactivate your Account after termination or suspension. The following provisions will survive the termination of these Terms and Conditions and your Account: Sections 3, 9-11, and 15-23. 13. SUBSCRIBER WARRANTIES You hereby represent and warrant to DocuSign that: (a) you have all requisite rights and authority to use the Subscription Service under these Terms and Conditions and to grant all applicable rights herein; (b) the performance of your obligations under these Terms and Conditions will not violate, conflict with, or result in a default under any other agreement, including confidentiality agreements between you and third parties; (c) you will use the Subscription Service for lawful purposes only and subject to these Terms and Conditions; (d) you are responsible for all use of the Subscription Service in your Account; (e) you are solely responsible for maintaining the confidentiality of your Account names and password(s); (f) you agree to immediately notify us of any unauthorized use of your Account of which you become aware; (g) you agree that DocuSign will not be liable for any losses incurred as a result of a third party's use of your Account, regardless of whether such use is with or without your knowledge and consent; (h) you will not use the Subscription Service in any manner that could damage, disable, overburden or impair the System, or interfere with another's use of the Subscription Service by others; (i) any information submitted to DocuSign by you is true, accurate, and correct; and (j) you will not attempt to gain unauthorized access to the System or the Subscription Service, other accounts, computer systems, or networks under the control or responsibility of DocuSign through hacking, cracking, password mining, or any other unauthorized means. 14. DOCUSIGN WARRANTIES DocuSign represents and warrants that: (a) the Subscription Service as delivered to Subscriber

and used in accordance with the Specifications will not infringe on any United States patent, copyright or trade secret; (b) the Subscription Service will be performed in accordance with the Specifications in their then-current form at the time of the provision of such Subscription Service; (c) any DocuSign Products that are software shall be free of harmful or illicit code, trapdoors, viruses, or other harmful features; (d) the proper use of the Subscription Service by Subscriber in accordance with the Specifications and applicable law in the formation of an eContract not involving any consumer will be sufficient under the Electronic Signatures in Global and National Commerce Act, 15 U.S.C. §§ 7001 et seq. (the "ESIGN Act") to ESIGN Act; (e) the proper use of the Subscription Service by Subscriber in accordance with the Specifications and applicable law in the formation of an eContract involving a consumer will be sufficient under the ESIGN Act to support the validity of such formation, to the extent provided in the ESIGN Act, so long as and provided that Subscriber complies with all special requirements for consumer eContracts, including and subject to those referenced in Section 4.(f) and (g) above; and (f) DocuSign has implemented information security policies and safeguards to preserve the security, integrity, and confidentiality of eContracts and to protect against unauthorized access and anticipated threats or hazards thereto, that meet the objectives of the Interagency Guidelines Establishing Standards for Safeguarding Subscriber Information as set forth in Section 501 (b) of the Gramm-Leach-Bliley Act. 15. DISCLAIMER OF WARRANTIES EXCEPT FOR THE REPRESENTATIONS AND WARRANTIES EXPRESSLY PROVIDED IN SECTION 14 OF THESE TERMS AND CONDITIONS, THE SUBSCRIPTION SERVICE AND THE SITE ARE PROVIDED "AS IS," AND DOCUSIGN: (a) MAKES NO ADDITIONAL REPRESENTATION OR WARRANTY OF ANY KIND WHETHER EXPRESS, IMPLIED (EITHER IN FACT OR BY OPERATION OF LAW), OR STATUTORY, AS TO ANY MATTER WHATSOEVER; (b) EXPRESSLY DISCLAIMS ALL IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, QUALITY, ACCURACY, AND TITLE; AND (c) DOES NOT WARRANT THAT THE SUBSCRIPTION SERVICE OR SITE ARE OR WILL BE ERROR-FREE, WILL MEET SUBSCRIBER'S REQUIREMENTS, OR BE TIMELY OR SECURE. SUBSCRIBER WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THE USE OF THE SUBSCRIPTION SERVICE OR SITE. SUBSCRIBER WILL NOT HAVE THE RIGHT TO MAKE OR PASS ON ANY REPRESENTATION OR WARRANTY ON BEHALF OF DOCUSIGN TO ANY THIRD PARTY. USE OF THE SUBSCRIPTION SERVICE AND SITE ARE AT YOUR SOLE RISK. Because some states and jurisdictions do not allow limitations on implied warranties, the above limitation may not apply to you. In that event, such warranties are limited to the minimum warranty period allowed by the applicable law. 16. SUBSCRIBER INDEMNIFICATION OBLIGATIONS You will defend, indemnify, and hold us, our affiliates, officers, directors, employees, suppliers, consultants, and agents harmless from any and all third party claims, liability, damages, and costs (including, but not limited to, attorneys' fees) arising from or related to: (a) your use of the Subscription Service; (b) your violation of these Terms and Conditions; (c) your infringement, or infringement by any other user of your Account, of any intellectual property or other right of any person or entity; or (d) the nature and content of all materials, works, data, statements, and other visual, graphical, written, or audible communications of any nature submitted by any Authorized User of your Account or otherwise processed through your Account. 17. LIMITATIONS OF LIABILITY NOTWITHSTANDING ANYTHING TO THE CONTRARY CONTAINED IN THESE TERMS AND CONDITIONS, DOCUSIGN WILL NOT, UNDER ANY CIRCUMSTANCES, BE LIABLE TO SUBSCRIBER

FOR ANY CONSEQUENTIAL, INCIDENTAL, SPECIAL, OR EXEMPLARY DAMAGES ARISING OUT OF OR RELATED TO THE TRANSACTIONS CONTEMPLATED UNDER THESE TERMS AND CONDITIONS, INCLUDING BUT NOT LIMITED TO LOST PROFITS OR LOSS OF BUSINESS, EVEN IF APPRISED OF THE LIKELIHOOD OF SUCH DAMAGES OCCURRING. UNDER NO CIRCUMSTANCES WILL DOCUSIGN'S TOTAL LIABILITY OF ALL KINDS ARISING OUT OF OR RELATED TO THESE TERMS AND CONDITIONS OR SUBSCRIBER'S USE OF THE SUBSCRIPTION SERVICE (INCLUDING BUT NOT LIMITED TO WARRANTY CLAIMS), REGARDLESS OF THE FORUM AND REGARDLESS OF WHETHER ANY ACTION OR CLAIM IS BASED ON CONTRACT, TORT (INCLUDING NEGLIGENCE), OR OTHERWISE, EXCEED THE TOTAL AMOUNT PAID BY SUBSCRIBER TO DOCUSIGN UNDER THESE TERMS AND CONDITIONS DURING THE 3 MONTHS PRECEDING THE DATE OF THE ACTION OR CLAIM. EACH PROVISION OF THESE TERMS AND CONDITIONS THAT PROVIDES FOR A LIMITATION OF LIABILITY, DISCLAIMER OF WARRANTIES, OR EXCLUSION OF DAMAGES REPRESENTS AN AGREED ALLOCATION OF THE RISKS OF THESE TERMS AND CONDITIONS BETWEEN THE PARTIES. THIS ALLOCATION IS REFLECTED IN THE PRICING OFFERED BY DOCUSIGN TO SUBSCRIBER AND IS AN ESSENTIAL ELEMENT OF THE BASIS OF THE BARGAIN BETWEEN THE PARTIES. EACH OF THESE PROVISIONS IS SEVERABLE AND INDEPENDENT OF ALL OTHER PROVISIONS OF THESE TERMS AND CONDITIONS, AND EACH OF THESE PROVISIONS WILL APPLY EVEN IF THE WARRANTIES IN THESE TERMS AND CONDITIONS HAVE FAILED OF THEIR ESSENTIAL PURPOSE. Because some states and jurisdictions do not allow limitation of liability in certain instances, portions of the above limitation may not apply to you. 18. CONFIDENTIALITY "Confidential Information" means any trade secrets or other information of DocuSign, whether of a technical, business, or other nature (including, without limitation, DocuSign software and related information), that is disclosed to or made available to Subscriber. Confidential Information does not include any information that: (a) was known to Subscriber prior to receiving it from DocuSign; (b) is independently developed by Subscriber without use of or reference to any Confidential Information; (c) is acquired by Subscriber from another source without restriction as to use or disclosure; or (d) is or becomes part of the public domain through no fault or action of Subscriber. During and after the Term of these Terms and Conditions, Subscriber will: (i) use the Confidential Information solely for the purpose for which it is provided; (ii) not disclose such Confidential Information to a third party; and (iii) protect such Confidential Information from unauthorized use and disclosure to the same extent (but using no less than a reasonable degree of care) that it protects its own Confidential Information of a similar nature. If Subscriber is required by law to disclose the Confidential Information or the terms of these Terms and Conditions, Subscriber must give prompt written notice of such requirement before such disclosure and assist the DocuSign in obtaining an order protecting the Confidential Information from public disclosure. Subscriber acknowledges that, as between the parties, all Confidential Information it receives from DocuSign, including all copies thereof in Subscriber's possession or control, in any media, is proprietary to and exclusively owned by DocuSign. Nothing in these Terms and Conditions grants Subscriber any right, title, or interest in or to any of the Confidential Information. Subscriber's incorporation of the Confidential Information into any of its own materials shall not render Confidential Information non-confidential. Subscriber acknowledges that any actual or threatened violation of this confidentiality provision may cause

irreparable, non-monetary injury to the disclosing party, the extent of which may be difficult to ascertain, and therefore agrees that DocuSign shall be entitled to seek injunctive relief in addition to all remedies available to DocuSign at law and/or in equity. Absent written consent of DocuSign, the burden of proving that the Confidential Information is not, or is no longer, confidential or a trade secret shall be on Subscriber. 19. PRIVACY Personal information provided or collected through or in connection with this Site shall only be used in accordance with DocuSign's Privacy Policy and these Terms and Conditions are subject to the Privacy Policy on DocuSign's website which sets forth the terms and conditions governing DocuSign's collection and use of personal information from Authorized Users that is gathered through the Site. 20. ACCESS LIMITS Your use of the Site is at all times governed by our website Terms of is the owner of various intellectual property and technology rights associated with the Subscription Service, its document management, digital signature, and notary system, including patent, copyright, trade secret, and trademark and service mark rights. Except for the rights expressly granted in these Terms and Conditions, DocuSign does not transfer to Subscriber of any Authorized User any of DocuSign's technology or other intellectual property or technology rights. All right, title, and interest in and to DocuSign's technology and intellectual property will remain solely with the DocuSign. Subscriber agrees that it will not, directly or indirectly, reverse engineer, decompile, disassemble, or otherwise attempt to derive source code or other trade secrets from the Subscription Service or DocuSign's technology. DocuSign agrees that data and information provided by Subscriber under these Terms and Conditions shall remain, as between Subscriber and DocuSign, owned by Subscriber. DocuSign hereby grants to users and licensees of its products and services a limited, revocable, nonexclusive and nontransferable right to use DocuSign's regular trade names, trademarks, titles and logos solely for purposes of identifying DocuSign's products and services. Details of this trademark license are available at: <http://www.docuSign.com/IP>. 22. FEEDBACK By submitting feedback to DocuSign: (a) Subscriber automatically grants to DocuSign a perpetual, irrevocable, transferable, royalty-free license to use Subscriber's feedback for any and all purposes without any compensation to Subscriber; and (b) Subscriber agrees that it will not publish, submit, or display feedback submitted by Subscriber or its Authorized Users to or on any other web site or in any other publicly accessible forum without DocuSign's prior written consent. 23. GENERAL Subscriber acknowledges that the Subscription Service and any related products, information, documentation, software, technology, technical data, and any derivatives thereof, that DocuSign makes available to its Subscribers (collectively "Excluded Data"), is subject to export control laws and regulations of the United States and other jurisdictions (collectively "Export Laws"). Subscriber represents and warrants that: (i) it is not located in, under the control of, or a national or resident of an embargoed country or prohibited end user under Export Laws; and (ii) it will not access, download, use, export or re-export, directly or indirectly, the Excluded Data to any location, entity, government or person prohibited by export laws, without first complying with all Export Laws that may be imposed by the U.S. Government and any country or organization of nations within whose jurisdiction it operates or does business. Subscriber is solely responsible for complying with Export Laws for all Excluded Data and any of its content transmitted through the Subscription Service. Subscriber shall advise DocuSign in the event the Excluded Data requires DocuSign to obtain additional licenses, permits and/or approvals from any government in the jurisdiction where Subscriber intends to use the Subscription Service. Upon being advised of such a requirement, DocuSign may at its sole discretion: (a) terminate

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1.866.219.4318. Neither party will be liable for, or be considered to be in breach of or default ns on account of, any delay or failure to perform as required by these Terms and Conditions as a result of any cause or condition beyond such party's reasonable control, so long as such party uses all commercially reasonable efforts to avoid or remove such causes of non-performance or delay. These Terms and Conditions are governed in all respects by the laws of the State of Washington as such laws are applied to agreements entered into and to be performed entirely within Washington between Washington residents. Any controversy or claim arising out of or relating to these Terms and Conditions, the Hosted Service, or the Site will be settled by binding arbitration in accordance with the commercial arbitration rules of the American Arbitration Association. Any such controversy or claim shall be arbitrated on an individual basis, and shall not be consolidated in any arbitration with any claim or controversy of any other party. The arbitration will be conducted in King County, Washington, and judgment on the arbitration award may be entered into any court having jurisdiction thereof. The award of the arbitrator shall be final and binding upon the parties without appeal or review except as permitted by Washington law. Notwithstanding the foregoing, either party may seek any interim or preliminary injunctive relief from any court of competent jurisdiction, as necessary to protect the party's rights or property pending the completion of arbitration. By using the Site or the Subscription Service, you consent and submit to the exclusive jurisdiction and venue of the state and federal courts located in King County, Washington. Any legal action by Subscriber arising under these Terms and Conditions must be initiated within two years after the cause of action arises. The waiver by either party of any breach of any provision of these Terms and Conditions does not waive any other breach. The failure of any party to insist on strict performance of any covenant or obligation in accordance with these Terms and Conditions will not be a waiver of such party's right to demand strict compliance in the future, nor will the same be construed as a novation of these Terms and Conditions. If any part of these Terms and Conditions is found to be illegal, unenforceable, or invalid, the remaining portions of these Terms and Conditions will remain in full force and effect. If any material limitation or restriction on the grant of any license to Subscriber under these Terms and Conditions is found to be illegal, unenforceable, or invalid, the license will immediately terminate. Except as set forth in Section 2 of these Terms and Conditions, these Terms and Conditions may not be amended except in writing signed by both you and us. In the event that we make such a change that has a material adverse impact on your rights or use of the Service, you may terminate these Terms and Conditions by giving us notice within 20 days of the date we notify you, and you will not be charged any cancellation fee. These Terms and Conditions are the final and complete expression of the agreement between these parties regarding the Subscription Service. These Terms and Conditions supersede, and the terms of these Terms and Conditions govern, all previous oral and written communications regarding these matters. v140527 How it works eSignature Digital Transaction Management Legality Security Global Take a Demo Free Trial Resource Center By Industry Financial Services Healthcare High Tech Higher Education Insurance Real Estate Life Sciences Government By Department Sales Human Resources Finance IT/Operations Legal Marketing Facilities Support Product Management Procurement Partners & Developers Partner Programs Find a Partner Solution Showcase Partner Portal Dev Center Support & Training DocuSign Support Community DocuSign University Company About DocuSign Leadership Team Financial Investors Board of Directors Security & Trust Blog Events Press Room Careers Contact Subscriptions Follow Us Facebook Twitter LinkedIn Glassdoor Google + YouTube Validate TRUSTe privacy certification Â© DocuSign Inc., 2003 - 2014 221 Main St., Suite 1000, San

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Signature

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Aaron.Pratt@nashville.gov

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ID: 2df02c51-5ec1-4515-b363-4c6984f51d14

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MaryJo.Wiggins@nashville.gov

Security Level: Email, Account Authentication
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Sent: 11/17/2025 7:52:05 AM

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Accepted: 11/17/2025 10:21:59 AM

ID: b5e68288-ee7c-42c8-9c94-2ffa95e41b08

Courtney Mohan

Courtney.Mohan@nashville.gov

Security Level: Email, Account Authentication
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Accepted: 11/17/2025 11:14:19 AM ID: 77b6b252-154b-4850-8fad-6ac0ab8b9be5		
In Person Signer Events	Signature	Timestamp
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Certified Delivery Events	Status	Timestamp
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Karina Valdez karina.valdez@nashville.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Accepted: 11/16/2025 6:49:23 PM ID: c652476a-ea38-42b5-b2ed-c7df7cedf24f	COPIED	Sent: 11/17/2025 11:53:24 AM
Sally Palmer sally.palmer@nashville.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Accepted: 11/17/2025 8:05:39 AM ID: f4d9bf3e-4d7f-412c-beb4-4d9fabadb974	COPIED	Sent: 11/17/2025 11:53:24 AM
Witness Events	Signature	Timestamp
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Envelope Sent	Hashed/Encrypted	11/14/2025 11:38:33 AM
Certified Delivered	Security Checked	11/17/2025 11:14:19 AM
Signing Complete	Security Checked	11/17/2025 11:53:18 AM
Completed	Security Checked	11/17/2025 11:53:24 AM
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2. **MODIFICATION OF TERMS AND CONDITIONS** We reserve the right to modify these Terms and Conditions at any time and in any manner at our sole discretion by: (a) posting a revision on the Site; or (b) sending information regarding the amendment to the email address you provide to us. **YOU ARE RESPONSIBLE FOR REGULARLY REVIEWING THE SITE TO OBTAIN TIMELY NOTICE OF ANY AMENDMENTS. YOU SHALL BE DEEMED TO HAVE ACCEPTED SUCH AMENDMENTS BY CONTINUING TO USE THE SUBSCRIPTION SERVICE FOR MORE THAN 20 DAYS AFTER SUCH AMENDMENTS HAVE BEEN POSTED OR INFORMATION REGARDING SUCH AMENDMENTS HAS BEEN SENT TO YOU.** You agree that we shall not be liable to you or to any third party for any modification of the Terms and Conditions.

3. **DEFINITIONS** "Account" means a unique account established by Subscriber to enable its Authorized Users to access and use the Subscription Service. "Authorized User" means any employee or agent of Subscriber, identified by a unique email address and user name, who is registered under the Account, provided that no two persons may register, access or use the Subscription Service as the same Authorized User. "Contract" refers to a contract, notice, disclosure, or other record or document deposited into the System by Subscriber for processing using the Subscription Service. "Envelope" means an electronic record containing one or more eContracts consisting of a single page or a group of pages of data uploaded to the System. "Seat" means an active Authorized User listed in the membership of an Account at any one time. No two individuals may log onto or use the Subscription Service as the same Authorized User, but Subscriber may unregister or deactivate Authorized Users and replace them with other Authorized Users without penalty, so long as the number of active Authorized Users registered at any one time is equal to or less than the number of Seats purchased. "Service Plan" means the right to access and use the Subscription Service for a specified period in exchange for a periodic fee, subject to the Service Plan restrictions and requirements that are used to describe the selected Service Plan on the Site. Restrictions and requirements may include any or all of the following: (a) number of Seats and/or Envelopes that a Subscriber may use in a month or year for a fee; (b) fee for sent Envelopes in excess of the number of Envelopes allocated to Subscriber under the Service Plan; (c) per-seat or per-user restrictions; (d) the license to use DocuSign software products such as DocuSign Connect Express in connection with the Subscription Service; and (e) per use fees. "Specifications" means the technical specifications set forth in the "Subscription Service Specifications" available at <http://docusign.com/company/specifications>. "Subscription Service" means DocuSign's on-demand electronic signature service, as updated from time

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6. PRICING AND PER USE PURCHASES The prices, features, and options of the Subscription Service available for an Account depend on the Service Plan selected by Subscriber. Subscriber may also purchase optional services on a periodic or per-use basis. DocuSign may add or change the prices, features or options available with a

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7. SUBSCRIBER SUPPORT DocuSign will provide Subscriber support to Subscriber as specified in the Service Plan selected by Subscriber, and that is further detailed on DocuSign's website.

8. STORAGE DocuSign will store eContracts per the terms of the Service Plan selected by Subscriber. For Service Plans that specify the Envelope storage amount is "Unlimited," DocuSign will store an amount of Envelopes that is not abusive and/or unduly burdensome, in DocuSign's sole discretion. Subscriber may retrieve and store copies of eContracts for storage outside of the System at any time during the Term of the Service Plan when Subscriber is in good financial standing under these Terms and Conditions, and may delete or purge eContracts from the System at its own discretion. DocuSign may, at its sole discretion, delete an uncompleted eContract from the System immediately and without notice upon earlier of: (i) expiration of the Envelope (where Subscriber has established an expiration for such Envelope, not to exceed 365 days); or (ii) expiration of the Term. DocuSign assumes no liability or responsibility for a party's failure or inability to electronically sign any eContract within such a period of time. DocuSign may retain Transaction Data for as long as it has a

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