

ORDINANCE NO. _____

An ordinance authorizing Vision Nashville West End, LLC to construct, install, and maintain aerial and underground encroachments at 110 20th Avenue North (Proposal No. 2024M-021EN-001).

WHEREAS, Vision Nashville West End, LLC plans to construct, install and maintain a subgrade NES vault, encroaching into the public right-of-way on Hayes Street, and overhead canopy and blade signage, encroaching into the public right-of-way at 110 20th Avenue North and Alley 382; and,

WHEREAS, as set forth in the License Agreement for Private Encroachments Into the Public Right of Way, attached hereto as “Exhibit A”, and incorporated by reference herein, Vision Nashville West End, LLC, has agreed to indemnify and hold the Metropolitan Government of Nashville and Davidson County harmless of any and all claims for damages of every nature and kind resulting from or arising from the installation of said aerial and underground encroachments; and,

WHEREAS, Metropolitan Code of Laws § 13.08.030 allows the Council of the Metropolitan Government of Nashville and Davidson County to, by ordinance, grant encroachments, permits or privileges to construct, install, operate and/or maintain an encroachment in, on, over, or under any street, road, alley, sidewalk, or other public way.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That subject to the requirements, limitations and conditions contained herein, Vision Nashville West End, LLC is hereby granted the privilege to construct and maintain aerial and underground encroachments, as described in Proposal No. 2024M-021EN-001, in accordance with the plans on file in the office of the Director of the Nashville Department of Transportation and Multimodal Infrastructure (“NDOT”), and attached hereto as Exhibit B.

Section 2. That the authority granted hereby for the construction, installation, operation, and maintenance of said aerial and underground encroachments under Proposal No. 2024M-021EN-001, shall not be construed as a surrender by the Metropolitan Government of its rights or power to pass resolutions or ordinances regulating the use of its streets, or the right of the Metropolitan Government through its legislative body, in the interest of public necessity and convenience to order the relocation of said facilities at the expense of Vision Nashville West End, LLC

Section 3. That construction and maintenance of said aerial and underground encroachments under Proposal No. 2024M-021EN-001 shall be under the direction, supervision, and control of the Director of NDOT, and its installation, when completed, must be approved by said Director.

Section 4. That this Ordinance confers upon Vision Nashville West End, LLC a privilege and not a franchise, and the Mayor and the Metropolitan Council herein expressly reserve the right to repeal this Ordinance, whenever, in their judgment, a repeal may be demanded by public welfare, and such repeal shall confer no liability on the Metropolitan Government of

{N0702327.1}

Nashville and Davidson County, its successors and assigns, by reason of said repeal. In the event of such repeal by said Metropolitan Government, Vision Nashville West End, LLC, its successors and assigns, shall remove said aerial and underground encroachments at their own expense.

Section 5. Vision Nashville West End, LLC shall pay all costs incident to the construction, installation, operation and maintenance of said aerial and underground encroachment under Proposal No. 2024M-021EN-001, and shall save and hold the Metropolitan Government of Nashville and Davidson County harmless from all suits, costs, claims, damages or judgments in any way connected with said construction, installation, operation and maintenance of said aerial and underground encroachment and shall not claim, set up or plead, as a defense, in the event of joint liability, with or without suit, that it and the Metropolitan Government were joint wrongdoers. Vision Nashville West End, LLC shall be responsible for the expense, if any, of repairing and returning the right-of-way to the condition which it was in prior to the installation of said aerial and underground encroachment, and for any street closure.

Section 6. That the authority granted to Vision Nashville West End, LLC, as herein described, shall not in any way interfere with the rights of the Metropolitan Government, its agents, servants, and/or contractors and utility companies, operating under franchise from the Metropolitan Government to enter, construct, operate, maintain, repair, rebuild, enlarge, and patrol its now existing or future utilities, including drainage facilities, together with their appurtenances, and to do any and all things necessary and incidental thereto.

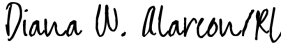
Section 7. Vision Nashville West End, LLC shall and is hereby required to furnish the Metropolitan Government of Nashville and Davidson County a certificate of public liability insurance, naming the Metropolitan Government as an insured party, of at least \$4,000,000 dollars aggregate, for the payment of any judgment had on any claim, of whatever nature, made for actions or causes of action arising out of, or connected with, the construction or installation of said aerial and underground encroachment. Said certificate of insurance shall be filed with the Metropolitan Clerk and NDOT prior to the granting of a permit, and the insurance required herein shall not be canceled without the insurance company or companies first giving thirty (30) days written notice to the Metropolitan Government of Nashville and Davidson County.

Section 8. That said construction shall be carefully guarded and protected, and shall be completed promptly, so as to cause the least inconvenience to the public. The acceptance by Vision Nashville West End, LLC of all provisions of this Ordinance shall be determined by the beginning of work.

Section 9. The authority granted pursuant to this Ordinance shall not become effective until the certificate of insurance, as required in Section 7, has been posted with the Metropolitan Clerk and NDOT.

Section 10. This Ordinance shall take effect from and after its adoption, the welfare of the Metropolitan Government of Nashville and Davidson County requiring it.

RECOMMENDED BY:

Signed by:

AG74F1CC700F4DA...
Diana W. Alarcon, Director
Nashville Department of Transportation
And Multimodal Infrastructure

INTRODUCED BY:

APPROVED AS TO INSURANCE:

DocuSigned by:

68804BF12FD741C...
Insurance and Claims Manager

Member(s) of Council

APPROVED AS TO FORM
AND LEGALITY:

DocuSigned by:

D4F54A5815BD454...
Assistant Metropolitan Attorney

Proposal No. 2024M-021EN-001

ACORD™	CERTIFICATE OF LIABILITY INSURANCE	DATE (MM/DD/YYYY) 7/03/2025
---------------	---	---------------------------------------

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.																
IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).																
PRODUCER EPIC Insurance Midwest 2550 Meridian Blvd Suite 200, Office 240 Franklin, TN 37067	CONTACT NAME: Charlene Nilsson PHONE (A/C No, Ext): 502-780-5531 FAX (A/C, No): E-MAIL ADDRESS: charlene.nilsson@epicbrokers.com															
INSURED Vision Hospitality Group, Inc. 411 Broad Street, Suite 400 Chattanooga, TN 37402	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: left;">NAIC #</th> </tr> <tr> <td>INSURER A : National Fire Insurance Co of Hartford</td> <td>20478</td> </tr> <tr> <td>INSURER B : Market American Insurance Company</td> <td>28932</td> </tr> <tr> <td>INSURER C : American Casualty Co of Reading, PA</td> <td>20427</td> </tr> <tr> <td>INSURER D : Navigators Insurance Company</td> <td>42307</td> </tr> <tr> <td>INSURER E : The Continental Insurance Company</td> <td>35289</td> </tr> <tr> <td>INSURER F : Continental Casualty Company</td> <td>20443</td> </tr> </table>		INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : National Fire Insurance Co of Hartford	20478	INSURER B : Market American Insurance Company	28932	INSURER C : American Casualty Co of Reading, PA	20427	INSURER D : Navigators Insurance Company	42307	INSURER E : The Continental Insurance Company	35289	INSURER F : Continental Casualty Company	20443
INSURER(S) AFFORDING COVERAGE	NAIC #															
INSURER A : National Fire Insurance Co of Hartford	20478															
INSURER B : Market American Insurance Company	28932															
INSURER C : American Casualty Co of Reading, PA	20427															
INSURER D : Navigators Insurance Company	42307															
INSURER E : The Continental Insurance Company	35289															
INSURER F : Continental Casualty Company	20443															

COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:																																																																
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.																																																																		
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">INSTR LTR</th> <th style="width: 35%;">TYPE OF INSURANCE</th> <th style="width: 10%;">ADDL INSR</th> <th style="width: 10%;">BUBR WVD</th> <th style="width: 15%;">POLICY NUMBER</th> <th style="width: 10%;">POLICY EFF (MM/DD/YYYY)</th> <th style="width: 10%;">POLICY EXP (MM/DD/YYYY)</th> <th style="width: 15%;">LIMITS</th> </tr> <tr> <td style="text-align: center;">A</td> <td> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Stop Gap - OH GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER: </td> <td style="text-align: center;">X</td> <td style="text-align: center;">X</td> <td>7094472344</td> <td>10/01/2024</td> <td>10/01/2025</td> <td> EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$15,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 EBL \$1M/\$2M </td> </tr> <tr> <td style="text-align: center;">F</td> <td> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY </td> <td style="text-align: center;">X</td> <td style="text-align: center;">X</td> <td>7094595769</td> <td>10/01/2024</td> <td>10/01/2025</td> <td> COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$ </td> </tr> <tr> <td style="text-align: center;">B</td> <td> <input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$10,000 </td> <td></td> <td></td> <td>MLKM6MM70000781</td> <td>10/01/2024</td> <td>10/01/2025</td> <td> EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$ </td> </tr> <tr> <td style="text-align: center;">C</td> <td> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below </td> <td style="text-align: center;">Y/N N</td> <td style="text-align: center;">N/A</td> <td>7094472358</td> <td>10/01/2024</td> <td>10/01/2025</td> <td> <input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000 </td> </tr> <tr> <td style="text-align: center;">D</td> <td>Excess-2nd Layer</td> <td></td> <td></td> <td>GA23EXRZ017SEVIV</td> <td>10/01/2024</td> <td>10/01/2025</td> <td>\$10,000,000</td> </tr> <tr> <td style="text-align: center;">E</td> <td>Excess-3rd Layer</td> <td></td> <td></td> <td>7094472053</td> <td>10/01/2024</td> <td>10/01/2025</td> <td>\$15,000,000</td> </tr> <tr> <td></td> <td>Excess- 4th Layer</td> <td></td> <td></td> <td>EXA157283124NF</td> <td>10/01/2024</td> <td>10/01/2025</td> <td>\$20,000,000</td> </tr> </table>	INSTR LTR	TYPE OF INSURANCE	ADDL INSR	BUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Stop Gap - OH GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER:	X	X	7094472344	10/01/2024	10/01/2025	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$15,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 EBL \$1M/\$2M	F	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	X	X	7094595769	10/01/2024	10/01/2025	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$	B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$10,000			MLKM6MM70000781	10/01/2024	10/01/2025	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$	C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	7094472358	10/01/2024	10/01/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000	D	Excess-2nd Layer			GA23EXRZ017SEVIV	10/01/2024	10/01/2025	\$10,000,000	E	Excess-3rd Layer			7094472053	10/01/2024	10/01/2025	\$15,000,000		Excess- 4th Layer			EXA157283124NF	10/01/2024	10/01/2025	\$20,000,000	DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required) Entity Name: Vision Nashville West End, LLC Encroachment Only - Applicable to Area of 110 20th Avenue North, Nashville, TN 37203 Notice of Cancellation: 30 days except 10 days for non-payment of premium.	
INSTR LTR	TYPE OF INSURANCE	ADDL INSR	BUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS																																																											
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Stop Gap - OH GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER:	X	X	7094472344	10/01/2024	10/01/2025	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$15,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 EBL \$1M/\$2M																																																											
F	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	X	X	7094595769	10/01/2024	10/01/2025	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$																																																											
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$10,000			MLKM6MM70000781	10/01/2024	10/01/2025	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$																																																											
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	7094472358	10/01/2024	10/01/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000																																																											
D	Excess-2nd Layer			GA23EXRZ017SEVIV	10/01/2024	10/01/2025	\$10,000,000																																																											
E	Excess-3rd Layer			7094472053	10/01/2024	10/01/2025	\$15,000,000																																																											
	Excess- 4th Layer			EXA157283124NF	10/01/2024	10/01/2025	\$20,000,000																																																											

CERTIFICATE HOLDER	CANCELLATION
The Metropolitan Government of Nashville & Davidson County Metro Legal & Claims c/o Insurance & Safety Division 222 3rd Avenue North, Ste 501 Nashville, TN 37201	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.

 ACORD 25 (2016/03) 1 of 1 The ACORD name and logo are registered marks of ACORD
 #S7760418/M7498382

CLEWI

{N0702327.1}

LICENSE AGREEMENT FOR PRIVATE ENCROACHMENTS
INTO THE PUBLIC RIGHT OF WAY

I/We, Vision Nashville West End, LLC, in consideration of the Resolution No. _____, to construct, maintain, install and/or operate an encroachment into, onto, over, or under the public right of way located at in Nashville, Davidson County, Tennessee, do hereby, for myself, my agents, customers, and assigns, waive and release and hold harmless The Metropolitan Government of Nashville and Davidson County, its agents, employees, and assigns from any and all claims, rights, or demands for damages that may arise from my/our use, construction and/or maintenance of the encroachment, to wit: (SEE ATTACHED DESCRIPTION OF ENCROACHMENT). I/We hereby certify to the Metropolitan Government of Nashville and Davidson County that I/We have executed a bond or liability insurance policy in such amount as agreed upon by the Director of NDOT and the Metropolitan Attorney, and in the form approved by the Metropolitan Attorney (per Metropolitan Code Section 38-1-1), which operates to indemnify and save The Metropolitan Government of Nashville and Davidson County harmless from all claims or demands that may result to persons or property by reason of the construction, operations or maintenance of the encroachment. I/We further agree that my/our obligations hereunder may not be assigned except upon approval of the Director of NDOT and the Metropolitan Attorney. I/We further acknowledge that any action that results in a failure to maintain said bond or liability insurance for the protection of The Metropolitan Government of Nashville and Davidson County shall operate to the granting of a lien to The Metropolitan Government of Nashville and Davidson County in the amount of the last effective bond/insurance policy. Said insurance or bond may not be cancelable or expirable except on 30 days' notice to the Director of NDOT.

I/We further recognize that the license granted hereby is revocable by The Metropolitan Government upon recommendation of the Director of NDOT and approval by resolution of the Metropolitan County Council if it is determined to be necessary to the public welfare and convenience. In the event the Metropolitan Government revokes this license as contemplated by this paragraph, licensee will not be entitled to any compensation of any kind. This license shall also be strictly subject to the right of way easement owned by The Metropolitan Government. I/We agree to maintain, construct and use the encroachment in such a way as will not interfere with the rights and duties of the Metropolitan Government

as owner of the right of way. Said interference shall be additional grounds for revocation of the license for encroachment. I/We agree to pay the cost of construction, maintenance, use, as well as relocations cost of said encroachment. Licensee's failure to complete construction of the contemplated encroachment within 36 months of the date of approval by the Metropolitan Council will cause this license to terminate automatically. In the event the encroachment contemplated by this license is substantially destroyed, this license shall terminate unless fully restored by licensee within 36 months from the date of such destruction. In the event this license is revoked or terminated for any reason, licensee shall restore all public property to the condition obtaining at the time the license became effective at licensee's sole cost and expense.

DATE: July 28, 2025


 (Owner of Property) **Kevin D. Warwick,**
Agent for Owner
110 20th Avenue North
 (Address of Property)
Nashville, TN 7203
 (City and State)

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Sworn to and subscribed before

Me this 28 day of JULY, 2025

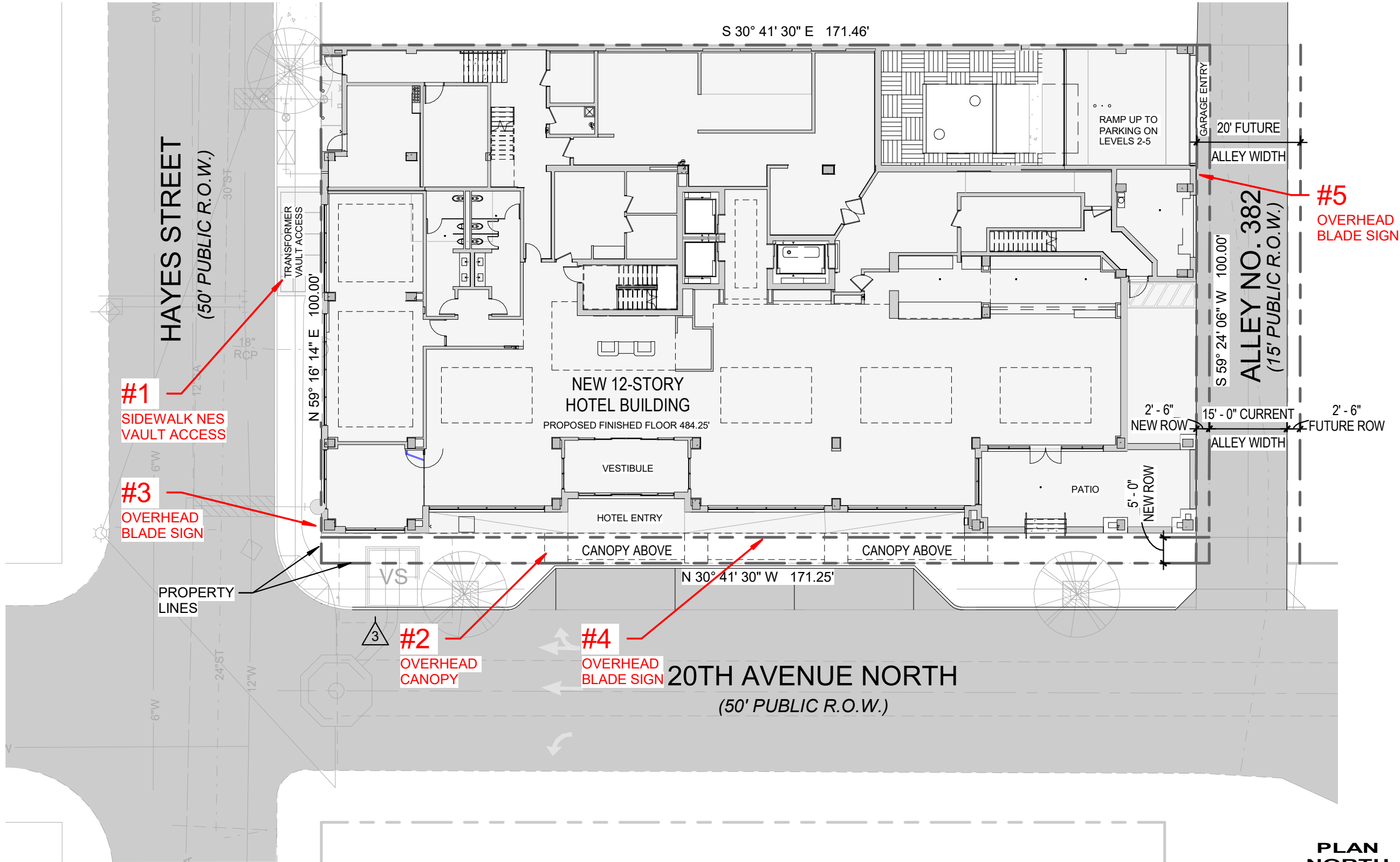

 (NOTARY PUBLIC)

My Commission Expires: 3-13-2028



MANDATORY REFERRAL EXHIBIT ITEMS:

- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



1
MRE-1

ARCHITECTURAL SITE PLAN - MANDATORY REFERRAL EXHIBIT

1" = 20'-0"

BCA-STUDIOS
ARCHITECTS
Gainesville - Atlanta

410 BRADFORD STREET NW
GAINESVILLE, GEORGIA 30501
1 WEST COURT SQUARE
SUITE 540
DECATUR, GA 30030
470-480-5560

PROJECT: TEMPO BY HILTON

TITLE: SITE PLAN

110 20TH AVENUE NORTH
NASHVILLE, TN 37203

PRINTING & REVISIONS

NO. DATE DESCRIPTION

JOB No:

DATE:

SHEET #:

20210030

05/01/24

MRE-1

MANDATORY REFERRAL EXHIBIT ITEMS:

- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



1
MRE-2

SOUTH ELEVATION - 20TH AVE NORTH - MANDATORY REFERRAL EXHIBIT

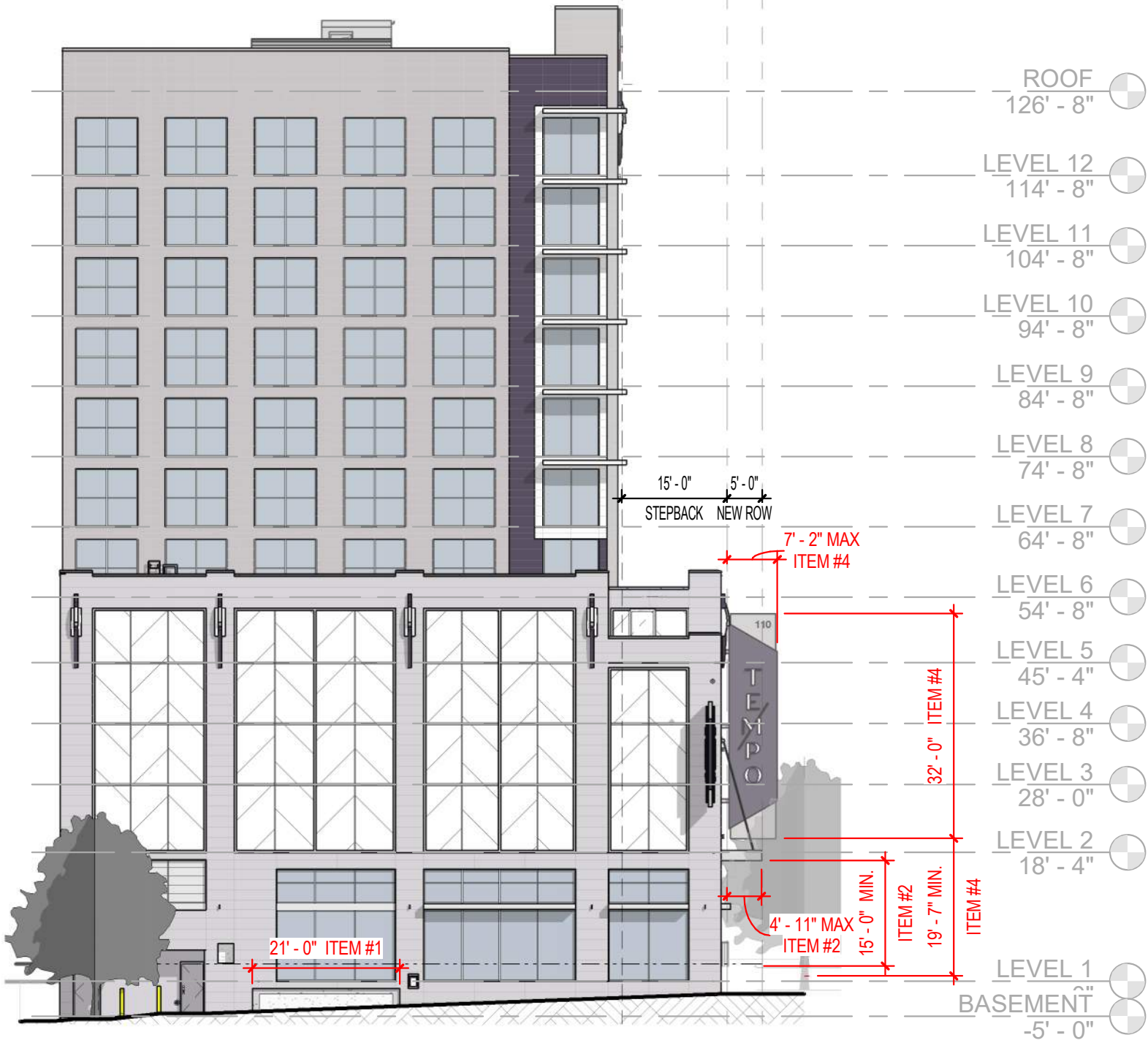
1" = 20'-0"



PRINTING & REVISIONS	JOB No: 20210030		SHEET #: MRE-2	
	DATE: 05/01/24			
	DESCRIPTION			
PROJECT: TEMPO BY HILTON	TITLE: SOUTH ELEVATION		110 20TH AVENUE NORTH NASHVILLE, TN 37203	
	ARCHITECTS Gainesville - Atlanta		1 WEST COURT SQUARE SUITE 540 DECATUR, GA 30030	
BCA-STUDIOS		410 BRADFORD STREET NW GAINESVILLE, GEORGIA 30501		470 - 480 - 5560

MANDATORY REFERRAL EXHIBIT ITEMS:

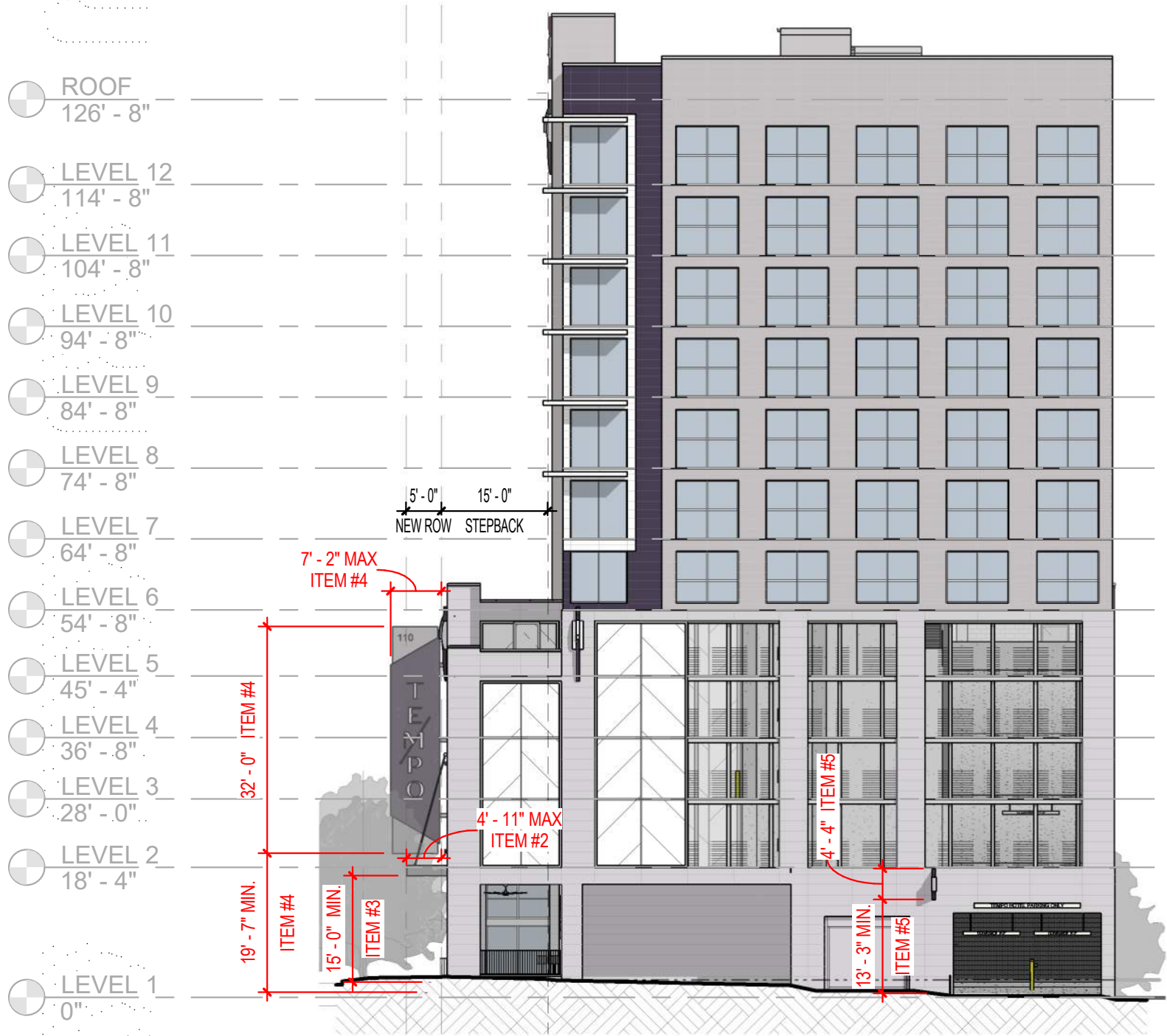
- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



1 WEST ELEVATION - HAYES ST. - MANDATORY REFERRAL EXHIBIT
MRE-3 1" = 20'-0"

PRINTING & REVISIONS	PROJECT: TEMPO BY HILTON		JOB No:	20210030
	TITLE: WEST ELEVATION		DATE:	05/01/24
	110 20TH AVENUE NORTH NASHVILLE, TN 37203		SHEET #:	MRE-3
BCA-STUDIOS		ARCHITECTS		
Gainesville - Atlanta		1 WEST COURT SQUARE SUITE 540 DECATUR, GA 30030		
410 BRADFORD STREET NW GAINESVILLE, GEORGIA 30501		47 0 - 48 0 - 5 5 6 0		

1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382

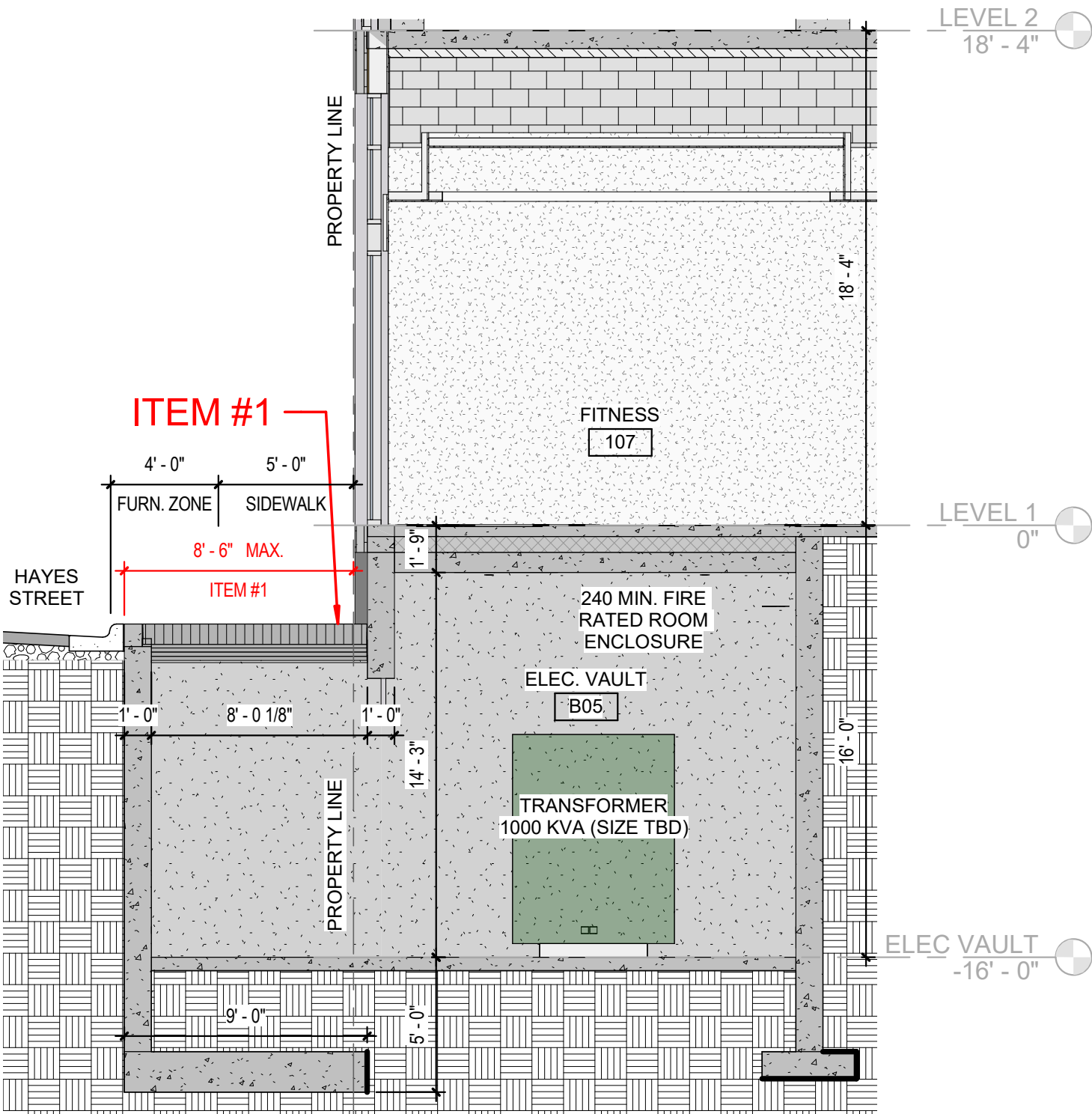


1 EAST ELEVATION - ALLEY 382 - MANDATORY REFERRAL EXHIBIT
MRE-4 1" = 20'-0"

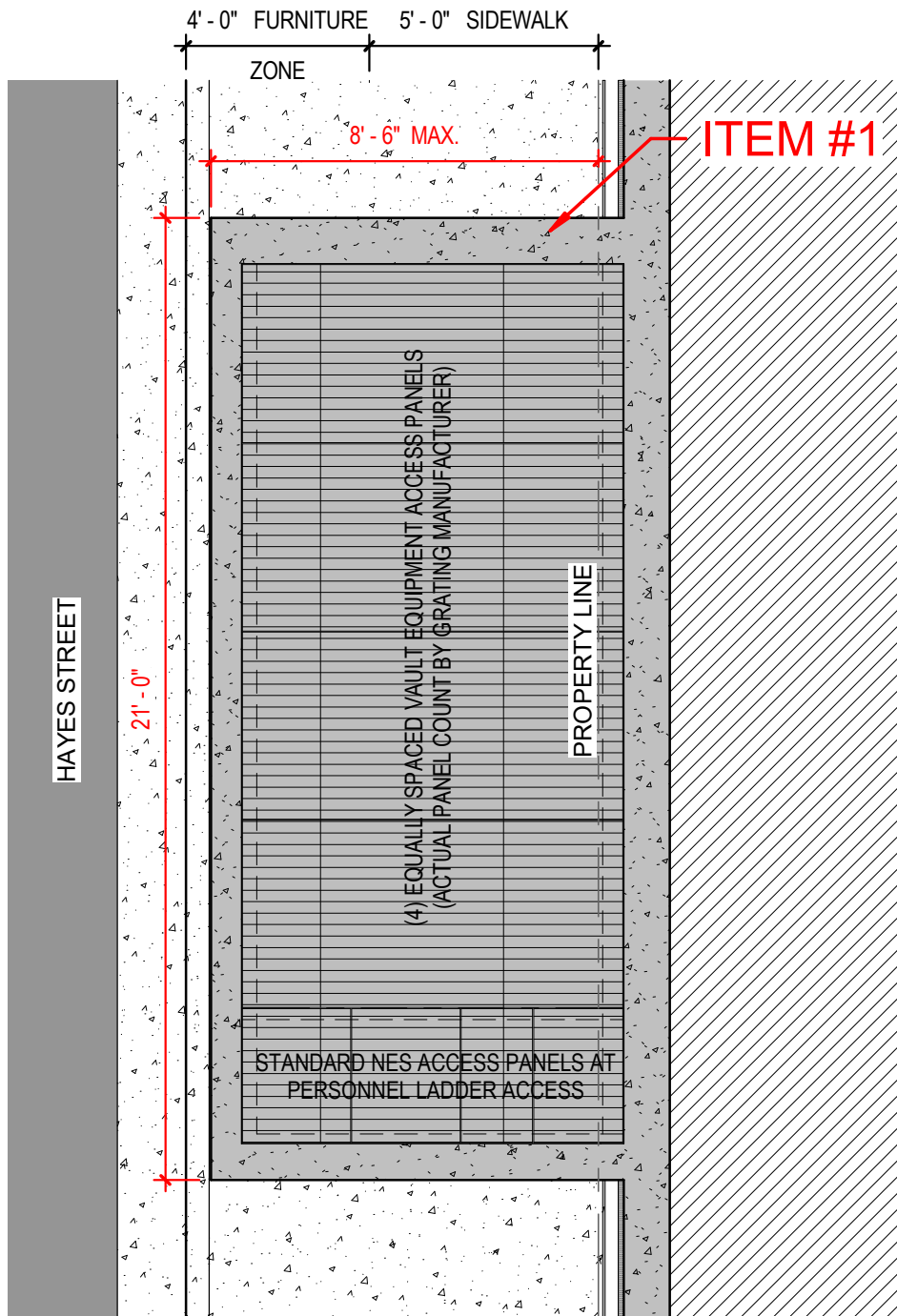
[illegible]

MANDATORY REFERRAL EXHIBIT ITEMS:

- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



REMOVEABLE GALVANIZED STEEL SIDEWALK GRATES:
+ OHIO GRATINGS INC. (OGI) WHEELS N' HEELS - INVENT
+ MODEL 64-7-WH-63 3/16" GRADE 50 CARBON STEEL
+ H-20 LOAD RATED
+ HIGH-HEEL RATING COMPLIANT
+ SLIP RESISTANT ONGRIP SPRAY APPLIED SAFETY TRACTION COATING
+ ADA COMPLIANT
+ SLOTS IN GRATING RUN PERPENDICULAR TO PATH OF SIDEWALK TRAVEL



2 SIDEWALK SECTION DETAIL

MRE-5 3/16" = 1'-0"

MANDATORY REFERRAL EXHIBIT

1 SIDEWALK GRATING PLAN DETAIL

MRE-5 1/4" = 1'-0"

MANDATORY REFERRAL EXHIBIT

BCA-STUDIOS

ARCHITECTS

Gainesville - Atlanta

1 WEST COURT SQUARE
SUITE 540
DECATUR, GA 30030

410 BRADFORD STREET NW
GAINESVILLE, GEORGIA 30501

PROJECT: TEMPO BY HILTON

TITLE: ITEM #1 DETAILS

110 20TH AVENUE NORTH
NASHVILLE, TN 37203

PRINTING & REVISIONS

NO. DATE DESCRIPTION

JOB No: 20210030

DATE: 05/01/24

SHEET #: MRE-5

MANDATORY REFERRAL EXHIBIT ITEMS:

- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382

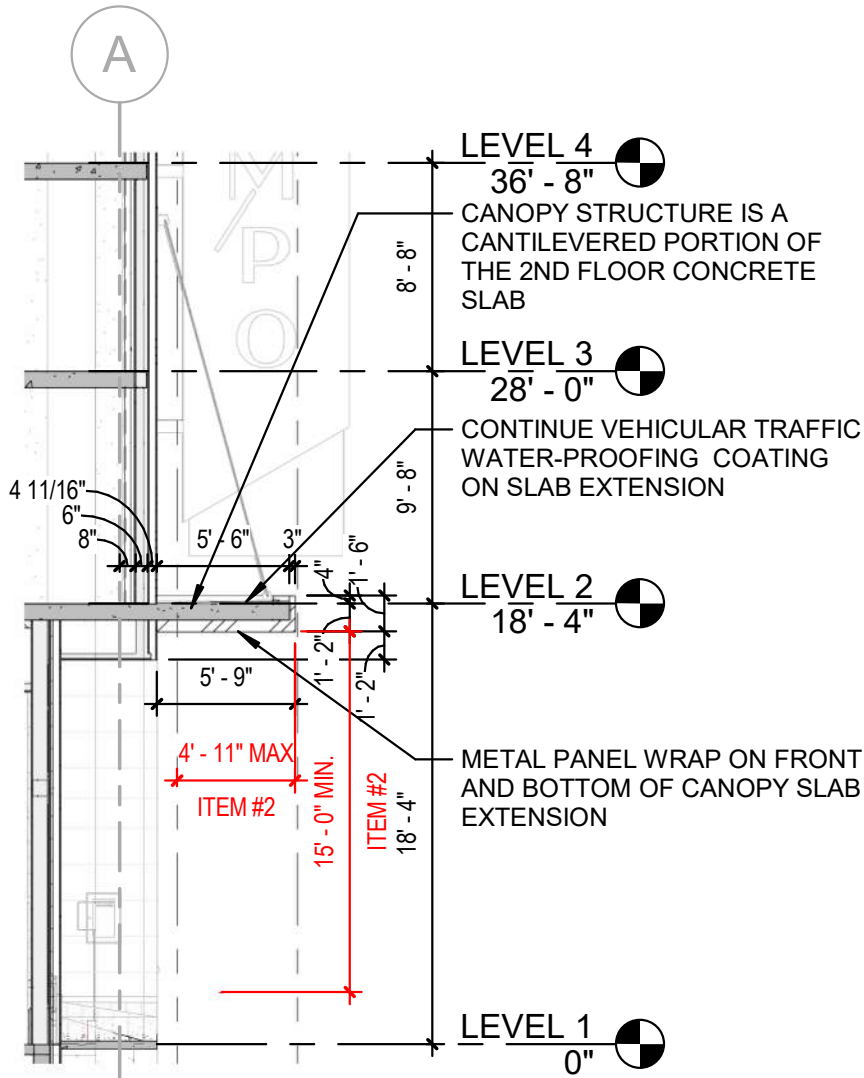
PAINTED GALV. STEEL
SIGN SUPPORT ARM
ASSEMBLIES BOLTED TO
COLUMN, POST OR WALL

PAINTED GALV. STEEL
SUPPORT ARM WELDED
TO ATTACHMENT PLATE
(SIZE VARIES BY SIGN)

ITEM #3 PLAN DETAIL

ITEM #4 PLAN DETAIL

ITEM #5 DETAIL (NOT SHOW - SIMILAR)



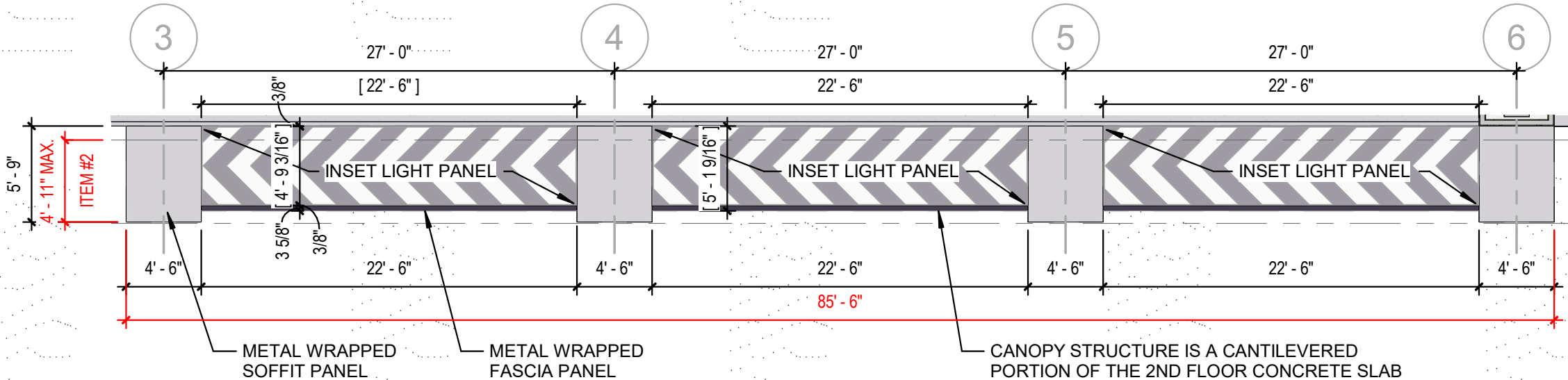
ENTRY CANOPY SECTION

1/8" = 1'-0"

TYPICAL BLADE SIGN SUPPORT DETAILS

1" = 1'-0"

(SEE ALSO SHEETS MRE-7 - MRE-9)




ENTRY CANOPY REFLECTED CEILING PLAN

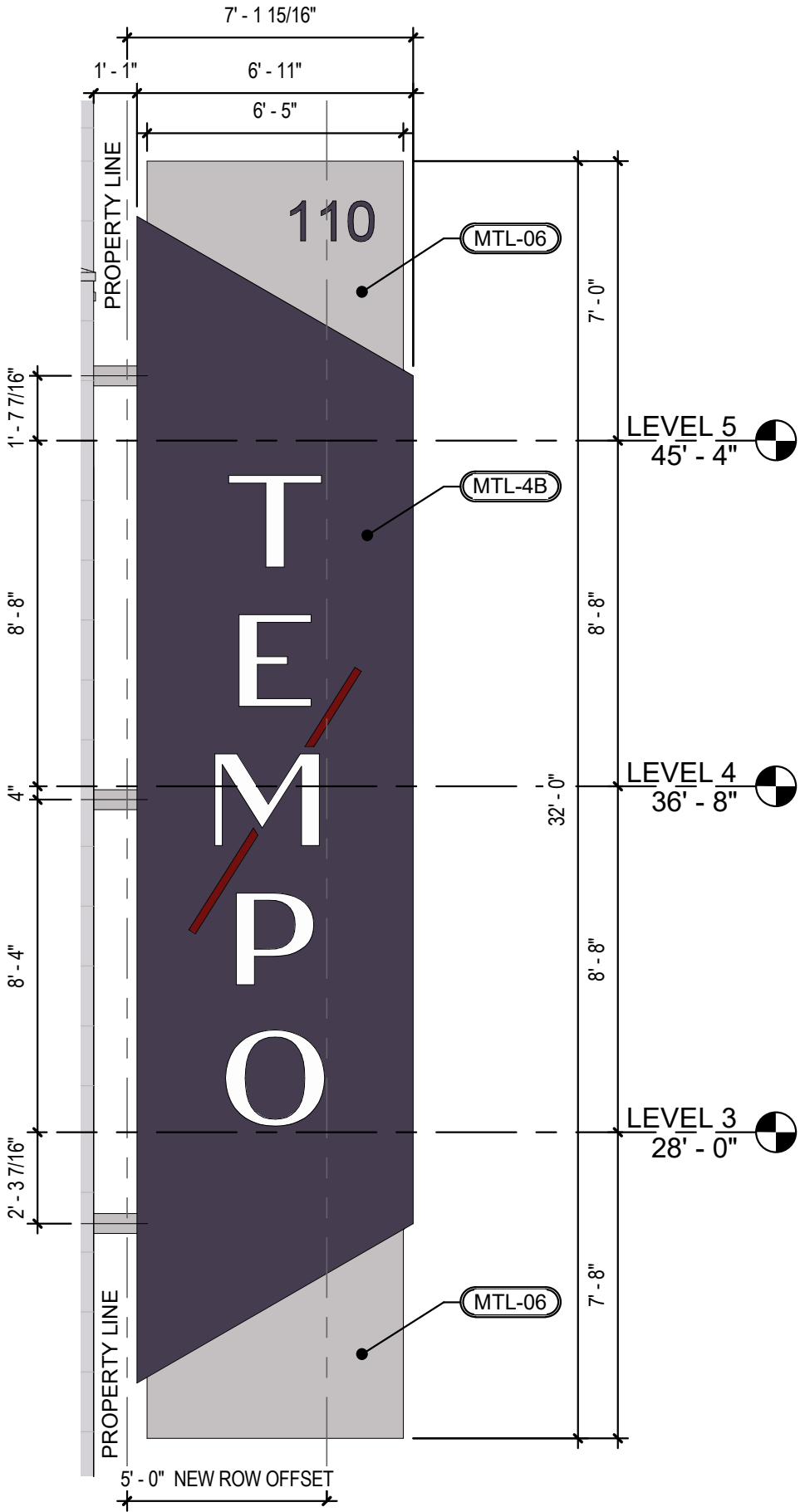
1/8" = 1'-0"

PRINTING & REVISIONS	JOB No:	20210030
	DATE:	05/01/24
	SHEET #:	MRE-6
DESCRIPTION	NO.	
	DATE	
PROJECT: TEMPO BY HILTON		
TITLE: ITEM #2 DETAILS		
110 20TH AVENUE NORTH NASHVILLE, TN 37203		
BCA-STUDIOS ARCHITECTS Gainesville - Atlanta		
1 WEST COURT SQUARE SUITE 540 DECATUR, GA 30030		
470 - 480 - 5560		
410 BRADFORD STREET NW GAINESVILLE, GEORGIA 30501		

1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



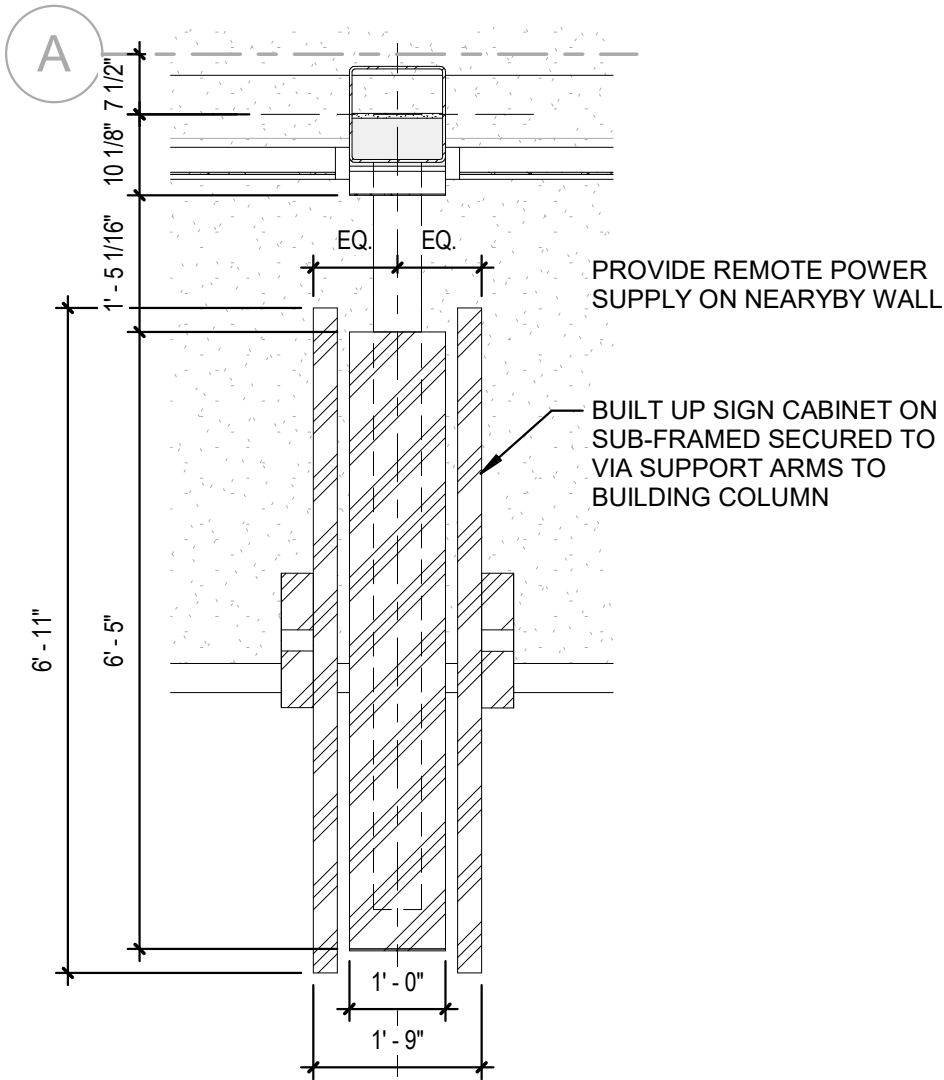
	BCA-STUDIOS ARCHITECTS Gainesville - Atlanta		PROJECT: TEMPO BY HILTON		PRINTING & REVISIONS		JOB No: 20210030
	1 WEST COURT SQUARE SUITE 540 GAINESVILLE, GEORGIA 30601 470-480-5560		TITLE: ITEM #3 DETAILS		NO. DATE DESCRIPTION		DATE: 05/01/24
110 20TH AVENUE NORTH NASHVILLE, TN 37203							SHEET #: MRE-7



2 20TH AVE BLADE SIGN ELEVATION
MRE-8 1/4" = 1'-0"

MANDATORY REFERRAL EXHIBIT ITEMS:

1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382

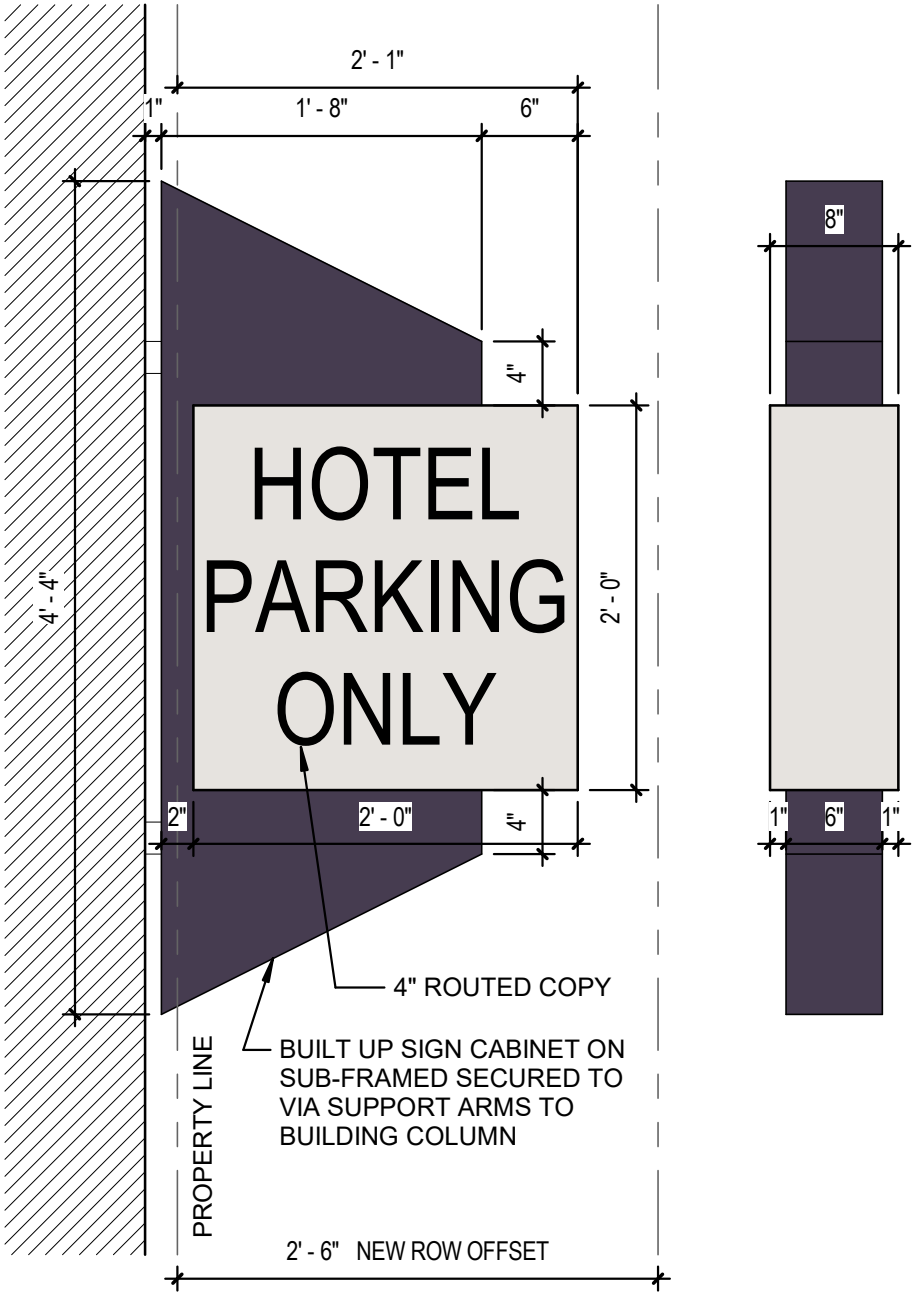


1 20TH AVE BLADE SIGN PLAN
MRE-8 1/2" = 1'-0"


BCA-STUDIOS ARCHITECTS Gainesville - Atlanta 1 WEST COURT SQUARE SUITE 540 DECATUR, GA 30030 470-480-5560	PROJECT: TEMPO BY HILTON		JOB No:	20210030
	TITLE: ITEM #4 DETAILS		DATE:	05/01/24
	110 20TH AVENUE NORTH NASHVILLE, TN 37203		SHEET #:	MRE-8
			PRINTING & REVISIONS	
			NO. DATE DESCRIPTION	

MANDATORY REFERRAL EXHIBIT ITEMS:

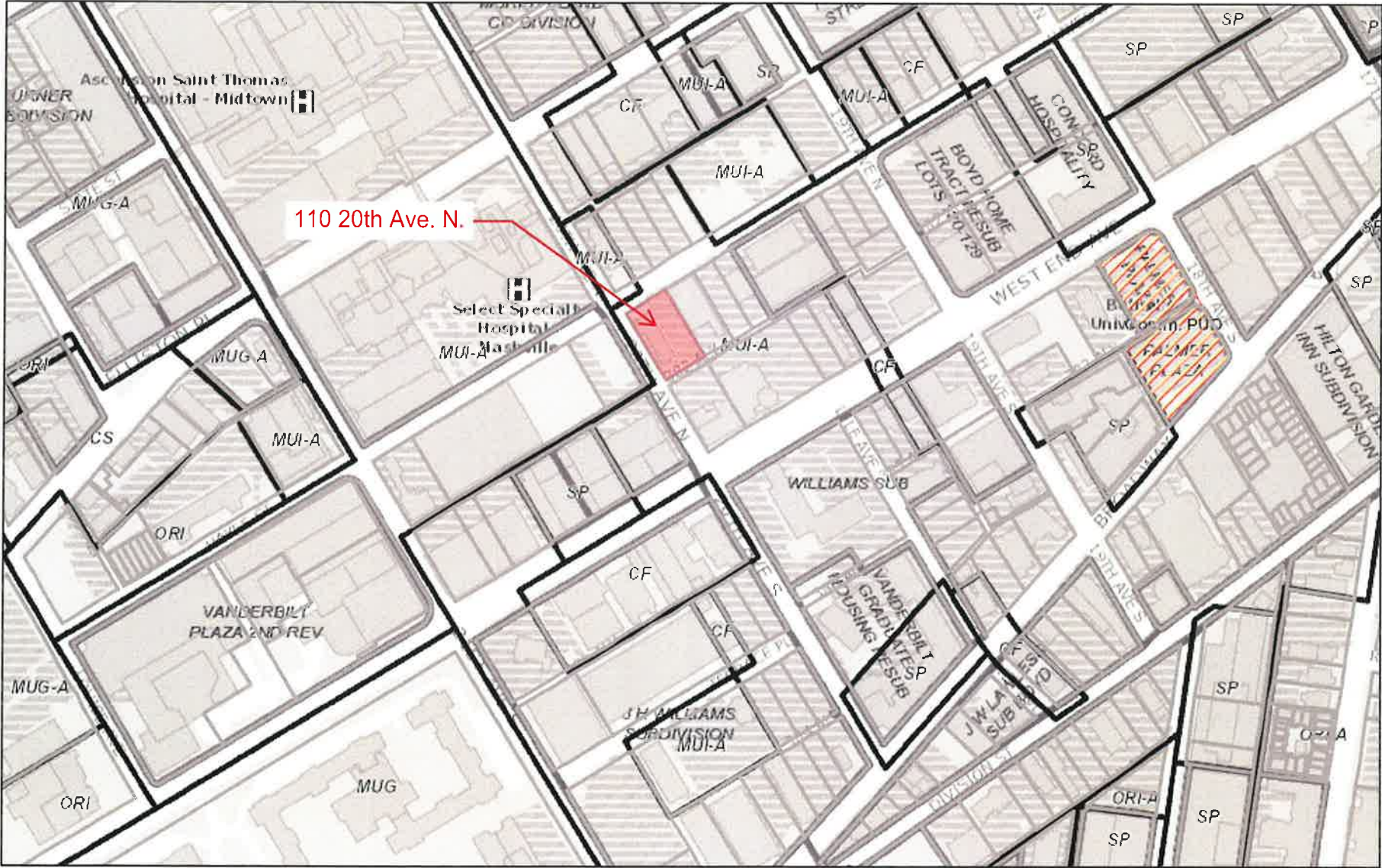
- 1. ENCROACHMENT OF NES VAULT/ACCESS WITHIN SIDEWALK ON HAYES ST.
- 2. ENCROACHMENT OF OVERHEAD CANOPY ON 20TH AVE.
- 3. ENCROACHMENT OF 15" DEEP BLADE SIGN ON HAYES ST.
- 4. ENCROACHMENT OF 21" DEEP BLADE SIGN ON 20TH AVE.
- 5. ENCROACHMENT OF 8" DEEP BLADE SIZE ON ALLEY 382



1 MRA PARKING BLADE SIGN DETAIL
MRE-9 1" = 1'-0"

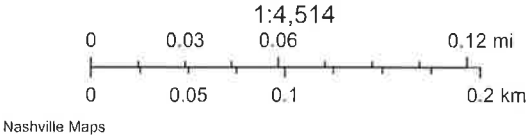
	BCA-STUDIOS ARCHITECTS Gainesville - Atlanta 1 WEST COURT SQUARE SUITE 540 DECATUR, GA 30030 470-480-5560	PROJECT: TEMPO BY HILTON		PRINTING & REVISIONS		JOB No:	20210030
		TITLE: ITEM #5 DETAILS		DESCRIPTION		DATE:	05/01/24
				NO.		SHEET #:	
				DATE		MRE-9	
410 BRADFORD STREET NW GAINESVILLE, GEORGIA 30501		110 20TH AVENUE NORTH NASHVILLE, TN 37203					

Nashville / Davidson County Parcel Viewer



April 29, 2024

- Override 1
- Urban Design Overlay
- graphicsLayer2
- Planned Unit Development
- Zoning





THOMAS
&
HUTTON

TH

500 11th Avenue, N. • Suite 800
Nashville, TN 37203 • 615.349.4990

www.thomasandhutton.com