

ORDINANCE NO. BL2020-452

An ordinance approving a participation agreement between the Metropolitan Government and Nashville and Davidson County, through the Metropolitan Department of Water and Sewerage Services, and High View Flats, LLC, and authorizing the Director of Public Property, or her designee, to transfer to High View Flats, LLC, via quitclaim deed, a small portion of a certain parcel of property located at 700 E. Trinity Lane. (Proposal No. 2020M-021AG-001)

WHEREAS, High View Flats, LLC (“HVF”) is constructing 75 single family cottages and two multi-family buildings, with 88 total units located at 0 East Trinity Lane and 841 Cherokee Avenue; Tax Map 72-5 Parcel 58 and Tax Map 72-5 Parcel 97, the (“Project”); and,

WHEREAS, the Metropolitan Department of Water and Sewerage Services (“Metro”) owns property directly adjacent to the Project used for storing and maintenance of three water reservoirs (“East Trinity Lane Reservoirs”) which is surrounded by fencing; and,

WHEREAS, HVF needs to cross Metro’s property in order to access the Project; and,

WHEREAS, pursuant to the participation agreement attached hereto as Exhibit A, Metro has agreed to transfer via quitclaim, attached hereto as Exhibit B and incorporated herein, approximately 1772 sq. feet of Metro’s parcel to HVF, and in exchange, HVF, at its own expense, shall provide to Metro approximately 80 feet of new fencing for Metro’s property and install four new security cameras to monitor Metro’s infrastructure; and,

WHEREAS, the approximate value of Metro’s property to be conveyed to HVF is \$19,386 and Metro will be receiving approximately \$39,388 of improvements in exchange for the transfer of property; and,

WHEREAS, it is in the best of Metro that this participation agreement be approved, and the small portion of Metro property be conveyed.

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That the participation agreement between the Metropolitan Government of Nashville and Davidson County, through the Metropolitan Department of Water and Sewerage Services, and High View Flats, LLC, attached hereto as Exhibit A, and incorporated herein, is hereby approved, and the Metropolitan Mayor is authorized to execute the same.

Section 2. That the Director of Public Property, or her designee, is authorized to transfer, via the quitclaim deed attached hereto and incorporated herein as Exhibit B, approximately 1772 square feet as identified in Exhibit B, of a certain parcel of property located at 700 East Trinity Lane, Parcel ID#07205005700, excluding the present right-of-way, for East Trinity Lane as show on the Metro Property Maps.

Section 3. Amendments to this legislation may be approved by Resolution of the Metropolitan Council.

Section 4. This ordinance shall take effect from and after its final passage, the welfare of the Metropolitan Government of Nashville and Davidson County, Tennessee, requiring it.

RECOMMENDED BY:

INTRODUCED BY:

DocuSigned by:

Scott Potter

Scott Potter, Director
Department of Water Services

DocuSigned by:

Talia Lomax-O'dneal

Talia Lomax-O'dneal, Interim Director
Public Property Administration

Kyonte Jooss

Kathleen D Murphy

Council Member(s)

Robert Nash

APPROVED AS TO THE
AVAILABILITY OF FUNDS:

DocuSigned by:

Kevin Crumbo

Kevin Crumbo, Director
Department of Finance

APPROVED AS TO FORM
AND LEGALITY:

DocuSigned by:

Sara Ladd

Assistant Metropolitan Attorney

High View Flats, LLC Participation Agreement

THIS AGREEMENT is entered into by and between High View Flats, LLC (hereinafter known as “HVF”), and The Metropolitan Government of Nashville and Davidson County acting through the Metropolitan Department of Metro Water Services (hereinafter known as “MWS”) for the transfer of a small portion of Metro property in exchange for improvements made by HVF, at the expense of HVF.

WHEREAS, HVF is constructing 75 single family cottages and two multi-family buildings, with 88 total units located at 0 East Trinity Lane and 841 Cherokee Avenue; Tax Map 72-5 Parcel 58 and Tax Map 72-5 Parcel 97, the (“Project”); and,

WHEREAS, Metro owns property directly adjacent to the Project used for storing and maintenance of three water reservoirs (hereafter known as “East Trinity Lane Reservoirs”) which is surrounded by fencing; and,

WHEREAS, HVF needs to cross Metro’s property in order to access the Project; and,

WHEREAS, Metro has agreed to transfer via quitclaim, approximately 1772 sq. feet of Metro’s parcel to HVF, and in exchange, HVF, at its own expense, shall provide to Metro approximately 80 feet of new fencing for Metro’s property and install four new security cameras to monitor Metro’s infrastructure.

WHEREAS, the approximate value of Metro’s property to be conveyed to HVF is \$19,386 and Metro will be receiving approximately \$39,388 of improvements for security cameras in exchange for the transfer of property.

NOW, THEREFORE, ALTA AND METRO AGREE AS FOLLOWS:

I. SCOPE OF WORK:

The project consists of the following:

- A. **Fencing.** HVF shall replace any MWS fence removed or damaged by the development of their property to accommodate the new property line. The fence shall be replaced with pre-existing materials. Fence and components are to be installed per manufacturer recommendations. Any disturbed land shall also be returned to its pre-construction condition through grading and over-seeding.
- B. **Chain Link.** The replacement chain link fence shall match those detailed in Approved Specifications in Attachment A.
- C. **Security Camera.** HVF shall purchase and install four (4) security cameras and necessary equipment to monitor the tank site. Specifications are included in Approved Specifications in Attachment B.
- D. HVF must complete the above Metro property improvements prior to the issuance by Metro of use and occupancy permits related to the Project.

II. TERMS AND CONDITIONS:

- A. **HVF** will contract for and oversee construction of the fence and security cameras pursuant to the Approved Specifications in Attachments A and B.
- B. **METRO** will inspect the construction of the fence and security cameras upon completion thereof and, after the inspector confirms completion in accordance with the Approved, METRO will be responsible for all ongoing operation and maintenance of the newly installed fence and security cameras.
- C. **METRO’s** level of participation towards all hard and soft costs incurred by HVF to purchase and construct the fence and security cameras will be the land contribution through quitclaim deed.
- D. **HVF** understands that this agreement is not binding upon Metro unless and until the Metropolitan Council has legislatively authorized the conveyance of Metro property in exchange of HVF’s improvements to Metro property.
- E. **HVF** understands that until the improvements as outlined in Section I above are installed to Metro’s specifications, Metro will not issue building and occupancy permits to HVF for the Project.
- F. **HVF** shall save and hold The Metropolitan Government of Nashville and Davidson County harmless from all suits, costs, claims, damages or judgments in any way connected with said construction or installation of said improvements and shall not claim, set up or plead, as a defense, in the event of joint liability, with or without suit, that it and the Metropolitan Government were joint wrongdoers.
- G. **HVF** shall, upon completion of construction of the improvements, restore the hereinabove described property to its original condition, or as near thereto as is reasonably possible.
- H. **METRO’s** agreement to make the METRO Contribution is subject to the approval through Ordinance (three readings) of The Metropolitan Council of Nashville and Davidson.

III. FUTURE AMENDMENTS:

Any future amendments to this agreement shall be approved by resolution of the Metropolitan Council and executed by the parties hereto.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed.

RECOMMENDED BY:

ACCEPTED BY:

DocuSigned by:

Scott Potter

Director Metropolitan Department of Water and Sewerage Services

High View Flats, LLC, a Tennessee limited liability company

DocuSigned by:

Talia Lomax-O'Dneal

Director of Public Policy Administration

By: *Kent T. Campbell*
Name: Kent T. Campbell
Title: Vice President

APPROVED AS TO AVAILABILITY OF FUNDS:

DocuSigned by:

Kevin Crumb

Director of Finance

Sworn to and subscribed to before me, a Notary Public, this 1 day of September, 2020 by Kent T. Campbell, as Vice President of High View Flats, LLC, duly authorized to execute this instrument on behalf of High View Flats, LLC.

APPROVED AS TO FORM AND LEGALITY:

DocuSigned by:

Sara Ladd

Metropolitan Attorney

Jennifer L. Garrett
Notary Public
My Commission Expires: 3-7-2023

ATTEST:

Metropolitan Clerk

Date: _____

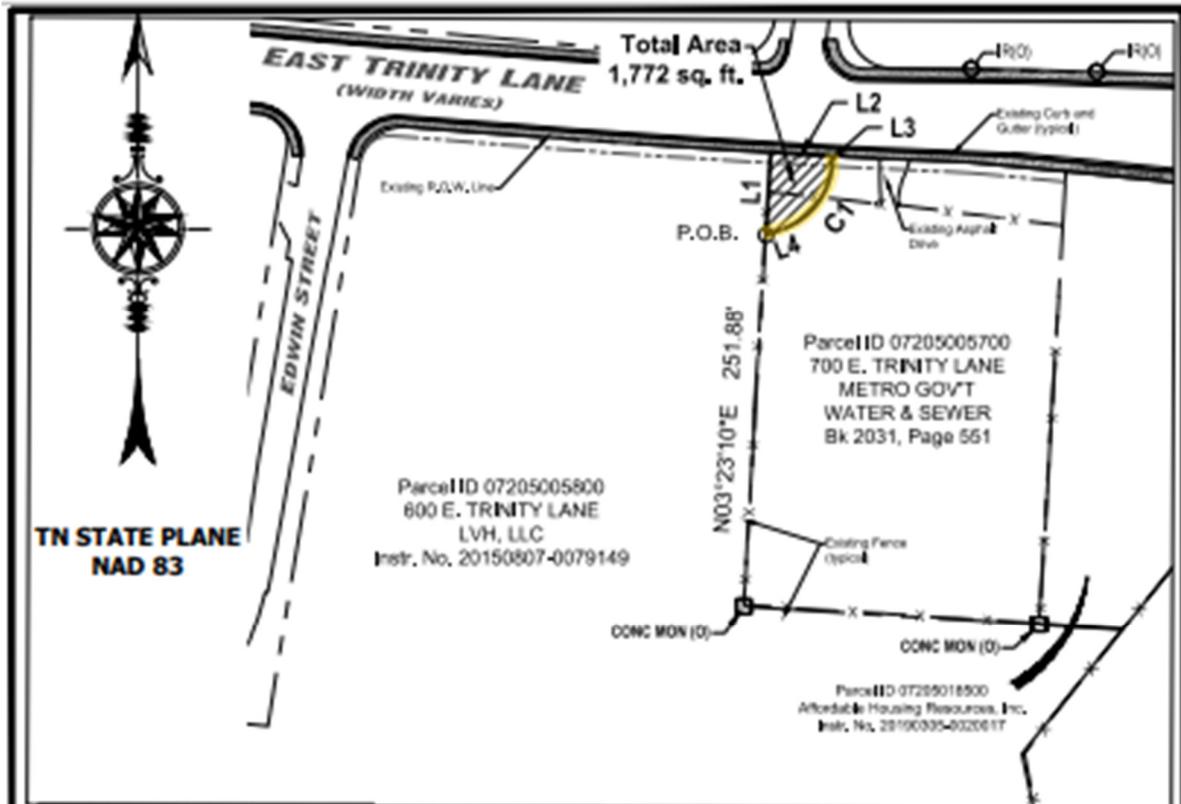
THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Metropolitan Mayor



Attachment A

Site Plan with Fencing Illustration and Specifications



Line Table

Line #	Direction	Length
L1	N03° 23' 10"E	56.14'
L2	S86° 34' 42"E	41.72'
L3	S03° 01' 28"W	4.52'
L4	S69° 50' 20"W	12.46'

1711 Hayes Street
Nashville, TN 37203

clintelliottsurvey.com
(615) 490-3236

THIS EXHIBIT WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126 AND IS NOT A "GENERAL PROPERTY SURVEY" AS DEFINED UNDER RULE 6820-3-07. THE INFORMATION SHOWN ON THIS EXHIBIT WAS DERIVED FROM RECORDED DEEDS, PLATS AND FIELD MEASUREMENTS.



Curve Table

Curve #	Radius	Length	Chord Direction	Chord Length
C1	50.50'	58.89'	S36°25'54"W	55.61'

GRAPHIC SCALE (IN FEET)



PROPERTY EXHIBIT
700 E. TRINITY LANE
METRO PARCEL ID
07205005700

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SECTION 02830
CHAIN LINK FENCES AND GATES

PART 1 GENERAL

1.1 SCOPE OF WORK

- A. Furnish all labor, materials, equipment and incidentals required and install the chain link fence and gates as shown on the Drawings and as specified herein.
- B. This section does not cover the mini-mesh enclosure around the ladders of the tanks. For the mini-mesh enclosure, see Section 02620.

1.2 SUBMITTALS

- A. Submit, in accordance with Section 01300, shop drawings showing dimensions layouts and details of construction and accessories required. Submittals shall include the following:
 - 1. Product data including manufacturer's technical data, specifications and installation instructions.
 - 2. Shop drawings showing finish, pipe and fabric gauge, footings dimensions, locking mechanism on gates, heights, top and bottom fabric wire condition, dimension of fabric to finish grade.

1.3 REFERENCE STANDARDS

- A. American Standards for Testing and Materials (ASTM)
 - 1. ASTM A824 - Standard Specification for Metallic-Coated Steel Marcellled Tension Wire for Use with Chain Link Fence
 - 2. ASTM C387 - Standard Specification for Packaged, Dry Combined Materials for Mortar and Concrete.
 - 3. ASTM F567 - Standard Specification for Installation of Chain Link Fence
 - 4. ASTM F626 - Standard Specification for Fence Fittings
 - 5. ASTM F900 - Standard Specification for Industrial and Commercial Swing Gates
 - 6. ASTM F1043 - Standard Specifications for Strength and Protective Coatings on Metal Industrial Chain Link Fence Framework
 - 7. ASTM F1083 - Standard Specification for Pipe, Steel, Hot-Dipped Zinc Coated (Galvanized) Welded for Fence Structures
- B. Where reference is made to one of the above standards, the revision in effect at the time of the bid opening shall apply.

PART 2 PRODUCTS

2.1 MATERIALS

- A. Posts, gate frames, braces, rails, stretcher bars, truss rods, and tension wire shall be made of steel. Gate hinges, post caps, tops, rail ends, ties, clips, stretcher bar bands, and other parts shall also be of hot dipped galvanized steel.

1. Intermediate posts, terminal posts, braces and rails shall be Type I round, hot dipped galvanized with a minimum average zinc (Grade E) coating of 1.8 oz/sq ft meeting ASTM F1083 for standard weight (Schedule 40) galvanized pipe. Dimensions shall conform to the following:

Use and Section	Nominal Outside Diameter Inches
End, corner and pull posts fabric height 8-ft	2.875
Rails & Post Braces	1.66
Intermediate posts fabric height 8-ft	2.375

2. Post braces shall be provided for each gate, corner, pull, and end post with fabric 8-ft or more in height, and shall consist of a round tubular brace extending to each adjacent line post at approximately mid-height of the fabric, and a truss consisting of a rod not less than 5/16-in nominal diameter from the line post back to the gate, corner, pull, or end post, with a turnbuckle or other equivalent provision for adjustment.
3. Post tops shall consist of a hole suitable for the through passage of the top rail and shall fit over the outside of posts, excluding moisture from inside of posts.
4. All fences shall have continuous top rails. Rails shall consist of lengths not greater than 18-ft and shall be fitted with hot dipped galvanized steel sleeves or couplings for connecting the lengths into a continuous run. Couplings shall not be less than 6-in long with 0.070-in minimum wall thickness and shall allow for expansion and contraction of the rail. Means shall be provided for attaching the top rail to each gate, corner, pull, and end post.
5. Tension bars shall not be less than 3/4-in and not less than 2-in shorter than normal height of fabric to which they are attached. Provide one tension bar for each end and gate post and two bars for each corner and pull post.
6. Tie fasteners shall be 6 gauge galvanized steel wire, attaching the fabric securely to all line posts at intervals not exceeding 15-in. Tie fasteners shall be attached securely to the top rail at intervals not exceeding 18-in.
7. Bands of galvanized steel per ASTM F626 shall be provided for attaching fabric and stretcher bars to all terminal posts at intervals not exceeding 12-in. Bands shall have a minimum thickness after galvanizing of 0.078-in and minimum width of 3/4-in for posts 4-

in OD or less and 0.108-in thick by 7/8-in for posts larger than 4-in. Attachment bolts shall be 5/16-in by 1-1/4-in galvanized carriage bolts with nuts.

8. Tension wire shall be No. 7 gauge conforming to ASTM A824 with zinc-coating Class 2, 1.20 oz/sf.
- B. Swing gates shall conform to ASTM F900. Base materials of the gate frame shall be round tubular members, welded at all corners or assembled with corner fittings. Corner fittings shall have adjustable truss rods 5/16-in minimum diameter on panels 5-ft wide or wider. And constructed of the same base metal and finish as the frame. Interior bracing, when needed, shall be the same metal and shape tubular material and finish as the frame, but need not be the same size. Leaves shall have vertical interior bracing at maximum intervals of 8-ft and shall have a horizontal interior member if the fabric height is 8-ft or more.
1. Frame shall be zinc-coated steel in accordance with ASTM F1043 and F1083 and shall match adjoining fence framework.
 2. Gate fabric shall be the same type as used in fence construction and attached securely to the frame with ties at intervals not exceeding 15-in.
 3. Size of the gate opening shall be measured from the inside face to inside face of gate posts.
 4. Outer members shall not sag in excess of the lesser of 1 percent of the gate leaf width or 2-in.
 5. Accessories shall be of the same materials as specified for the fence.
 6. Hinges shall be structurally capable of supporting the gate leaf and allow the gate to open and close without binding and designed to permit the gate to swing a full 180 degrees.
 7. Gate latch shall be a drop rod or plunger bar arranged to engage the gate stop. Locking devices shall be constructed so that the center drop rod or plunger bar cannot be raised when the gate is locked. Latching devices shall have a provision for a padlock.
 8. Gate stops shall be provided for all double gates. Keeper shall be provided for each gate leaf over 5-ft wide.
- C. Concrete: Portland cement, 1-in maximum size aggregate and potable water producing concrete with a 3-in slump and a 28-day compressive strength of at least 3000 psi. Packaged Concrete Mix: Mix dry-packaged normal-weight concrete conforming to ASTM C387 with clean water to obtain a 2-in to 3-in slump.
- D. Fabric shall be standard Heavy Industrial Grade of 6 gauge (nominal diameter 0.192-in) coated wire with a 2-in mesh with zinc-coating (Class 2) weight of not less than 2.00 oz/sf of uncoated wire surface hot-dip galvanized after fabrication.
1. Height shall match existing fence, with overall dimension measured from ends of twists with tolerances of plus or minus 1-in.

2. Fabric on fences 72-in high and over shall be knuckled at the bottom selvage and twisted on the top selvage. On fences less than 72-in in height, top and bottom selvages shall be knuckled.

PART 3 EXECUTION

3.1 INSTALLATION

- A. Install fence to comply with ASTM F567. Do not begin installation and erection before final grading is completed, unless otherwise permitted.
 1. Place fabric on the outside of the framework of the area to be enclosed. Install fencing on boundary lines inside of property line established by survey as required by Division 1.
 2. Place fabric by securing one end, applying sufficient tension to remove all slack before making attachments elsewhere. Tighten the fabric to provide a smooth uniform appearance free from sag. The fabric can be cut by untwisting a picket and attaching each span independently at all terminal posts. Use stretcher bars with tension bands at 15-in maximum intervals. Fabric shall be installed min. 2-in above finished grade. Fasten fabric with ties to line posts at intervals not exceeding 15-in. Fasten fabric to rails with ties at intervals not exceeding 18-in. Rolls of wire fabric can be joined by weaving a single picket into the ends of the rolls to form a continuous mesh.
- B. New fence construction shall be modified from the existing fence as indicated on the drawings. New fence installation shall match existing fence, or the nearest match possible as approved by the Engineer. Existing fencing not needed for site security shall be removed off of the site.

3.2 EXCAVATION

- A. Dig or drill each post hole to accommodate post and footing to the diameter and spacings indicated on the Drawings.
 1. Each post foundation shall have hole diameter dug or drilled a minimum of 4 times the largest cross section of the post and a minimum depth below finished grade of 36-in. Depth of concrete footing shall be increased an additional 3-in for every 1-ft increase in the fence height over 6-ft.

3.3 SETTING POSTS

- A. Center and align posts in holes 4-in above bottom of excavation. Space posts not more than 10-ft on center. Align posts vertically and align tops. Extend center top of concrete footing 1-in above grade and trowel to a crown to shed water.
- B. If solid rock is encountered where an overburden of soil is not present, set fence posts in solid rock to a depth 3 times the largest cross section of fence posts. Diameter of hole shall be 1/2-in greater than the largest cross section of the fence post. Set post in rock with non-shrink grout.
- C. Gate posts shall be set in concrete footings as follows:

Gate Leaf Width	Post Size Height	Diameter (Steel)	Size of Hole		Depth	
			Earth	Rock	Earth	Rock
4-ft or <	6-ft or <	2.375-in	10-in	post o.d. + 1/2-in	30-in	post o.d. x 3
>4-10-ft	6-ft or <	2.875-in	12-in	post o.d. + 1/2-in	36-in	post o.d. x 3
6-ft or <	>6-ft	2.875-in	10-in	post o.d. + 1/2-in	36-in	post o.d. x 3
>6-12-ft	>6-ft	4.0-in	12-in	post o.d. + 1/2-in	36-in	post o.d. x 3
>12-18-ft	>6-ft	6.625-in	16-in	post o.d. + 1/2-in	42-in	post o.d. x 3
>18-24-ft	>6-ft	8.625-in	18-in	post o.d. + 1/2-in	48-in	post o.d. x 3

D. End, corner and pull post bracing with a center rail shall be required on all fencing over 6-ft in height.

3.4 TOP RAILS

A. Run top rail on all fences continuously through line post caps with expansion couplings placed maximum 18-ft on center.

3.5 BRACE ASSEMBLIES

A. Install braces at end and gate posts and at both sides of corner and pull posts so posts are plumb when diagonal rod is under proper tension.

3.6 BOTTOM TENSION WIRE

A. Install bottom tension wire within 6-in of bottom of fabric and weave through the stretched portion of fence running tension wire from end to end of each stretch of fence. Fasten to fabric with 0.120-in diameter (11-gauge) hog rings spaced not more than 24-in on center. Tension wire shall be taut and free of sag.

3.7 GATES

A. Install gates to meet the requirements of ASTM F567 and according to manufacturer's instructions, plumb, level and secure for full 180 degree opening without interference.

B. Hinges shall be constructed to allow the gate to open and close without binding.

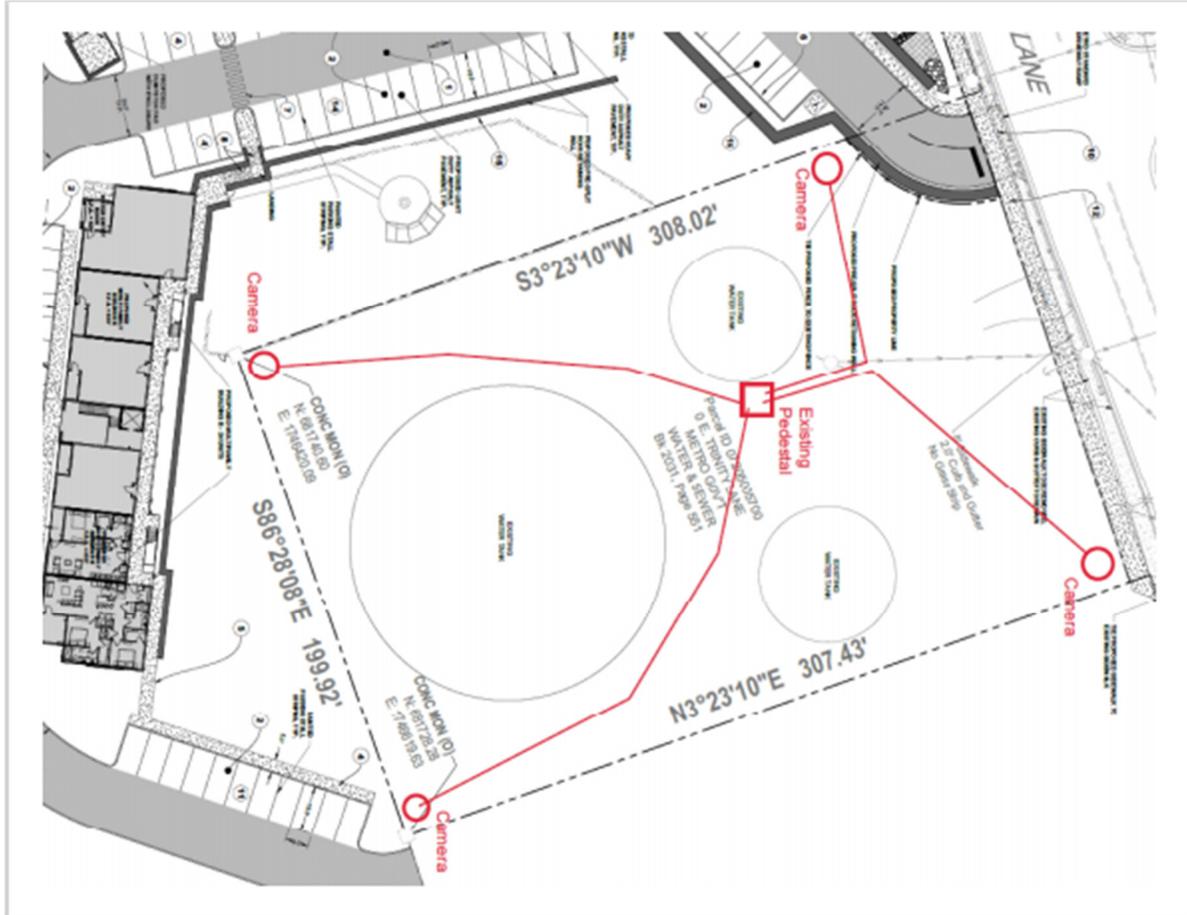
3.8 GATE OPERATORS

A. Install according to the manufacturer's instructions. Adjust for smooth, trouble-free operation. END OF SECTION

Attachment B

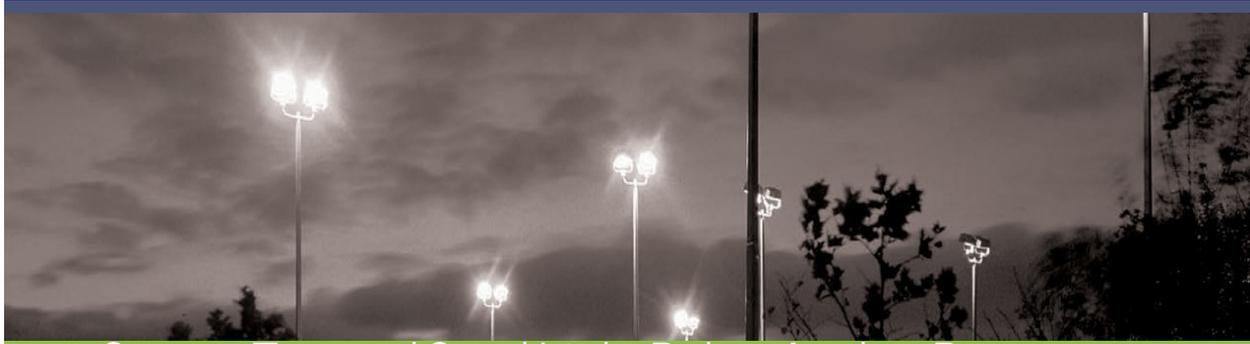
Security Cameras

Location map:



Camera and Installation Specifics:

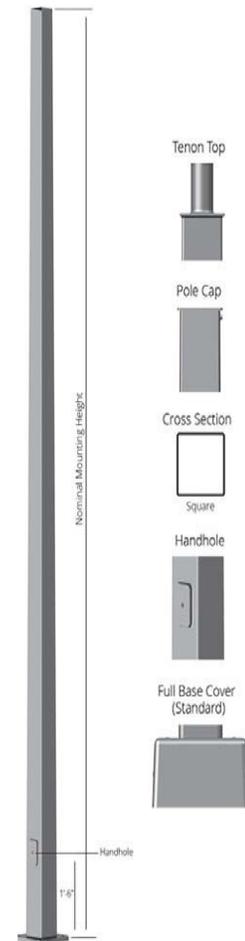
- 1) DOE switch - Antaira (model # LPN-0500-24)
- 2) 1 ½" schedule 40 conduit buried at minimum of 16"
- 3) Wire pulled inside conduit. (Superior Essex – 04-001-55. 4x24 BBDGE CAT 5E)
- 4) 4 Metal poles for the cameras. Minimum of 15' in height. See attached for specs.
- 5) Design footings for poles with a concrete pedestal, anchor bolt mounted, designed by developers engineer
- 6) Cameras mounted on top of the poles – 4 total (Preferred Vendor: Eye In the Sky: Vivotek – T6-IB836BHF3 camera/Vivotek T6-Am714 mount)



Square Tapered Steel Light Poles, Anchor Base

Product Overview

- **Pole Shaft** - The pole shaft is a one-piece assembly conforming to ASTM A595 Grade A or A572 Grade 55 with a constant linear taper of 0.11 in/ft.
- **Pole Top** - A removable top cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. Other pole top options include Tenon Top, Top Cap Only or Open Top which is typical when the pole top diameter matches the necessary slip-fit dimensions.
- **Hand Hole** - A reinforced hand hole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each hand hole includes a cover and cover attachment hardware. Poles with a base square of 6" or smaller are supplied with a 3" x 5" rectangular hand hole. All other pole assemblies are provided with a 4" x 6.5" oval hand hole. (dimensions are nominal).
- **Base Cover** - A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Additional base cover options, including a cast aluminum and fabricated steel cover, are available upon request. A two-piece steel full base cover is required for some applications depending on the finish requirement and/or pole base square. Factory reserves the right to provide a two-piece steel full base cover on some applications depending upon the finish requirement and/or pole base diameter.
- **Anchor Bolts** - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.
- **Hardware** - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.
- **Finish** - Standard finishes are either Galvanized or Finish Painted. Additional finish options including Finish Paint over Galvanizing are available upon request.
- **Design Criteria** - Standard EPA (Effective Projected Area) and weight values are based on Standard Commercial Criteria (with 1.3 gust factor) for top mounted fixtures only. Consult the factory on loading criteria for side mounted luminaires and/or brackets. Satisfactory performance of light poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.



EPA Load Information

BASE MODEL	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST	
	MAX EPA (SQFT)	MAX WEIGHT (LBS)	MAX EPA (SQFT)	MAX WEIGHT (LBS)	MAX EPA (SQFT)	MAX WEIGHT (LBS)
VS-STSA-20-5331-11-AB-FP	18	452	13.8	345	10.7	268
VS-STSA-20-5533-07-AB-FP	30.5	764	24	602	19	477
VS-STSA-25-6033-11-AB-FP	16.8	422	12.6	315	9.5	238
VS-STSA-25-6437-07-AB-FP	28.5	713	22.5	563	18.2	455
VS-STSA-30-6431-11-AB-FP	13.6	340	9.8	245	7	175
VS-STSA-30-6431-07-AB-FP	23.6	590	17.9	448	13.7	343
VS-STSA-30-7138-07-AB-FP	27.4	687	21.6	542	17.3	434
VS-STSA-35-6830-11-AB-FP	10.7	269	7.3	184	4.8	120
VS-STSA-35-7133-07-AB-FP	23.4	585	17.4	435	13	325
VS-STSA-35-7940-07-AB-FP	25.7	643	18.8	470	13.8	345
VS-STSA-39-7229-11-AB-FP	8.6	215	5.4	135	3	75
VS-STSA-39-7129-07-AB-FP	19.3	483	14.2	355	10.4	260
VS-STSA-39-8845-07-AB-FP	26.1	654	20.6	517	16.2	405
VS-STSA-45-7929-07-AB-FP	16	400	11.1	278	7.4	187
VS-STSA-45-8838-07-AB-FP	23.5	588	16.6	415	11.4	287
VS-STSA-50-8833-07-AB-FP	19.4	485	13.2	332	8.7	218

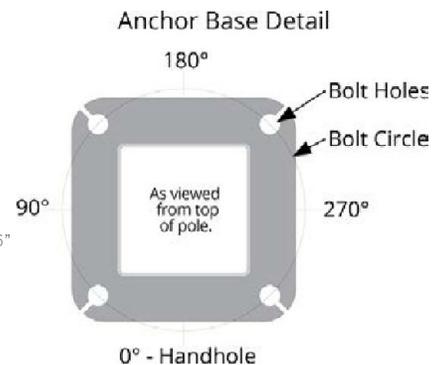
Designation & Dimensional Information

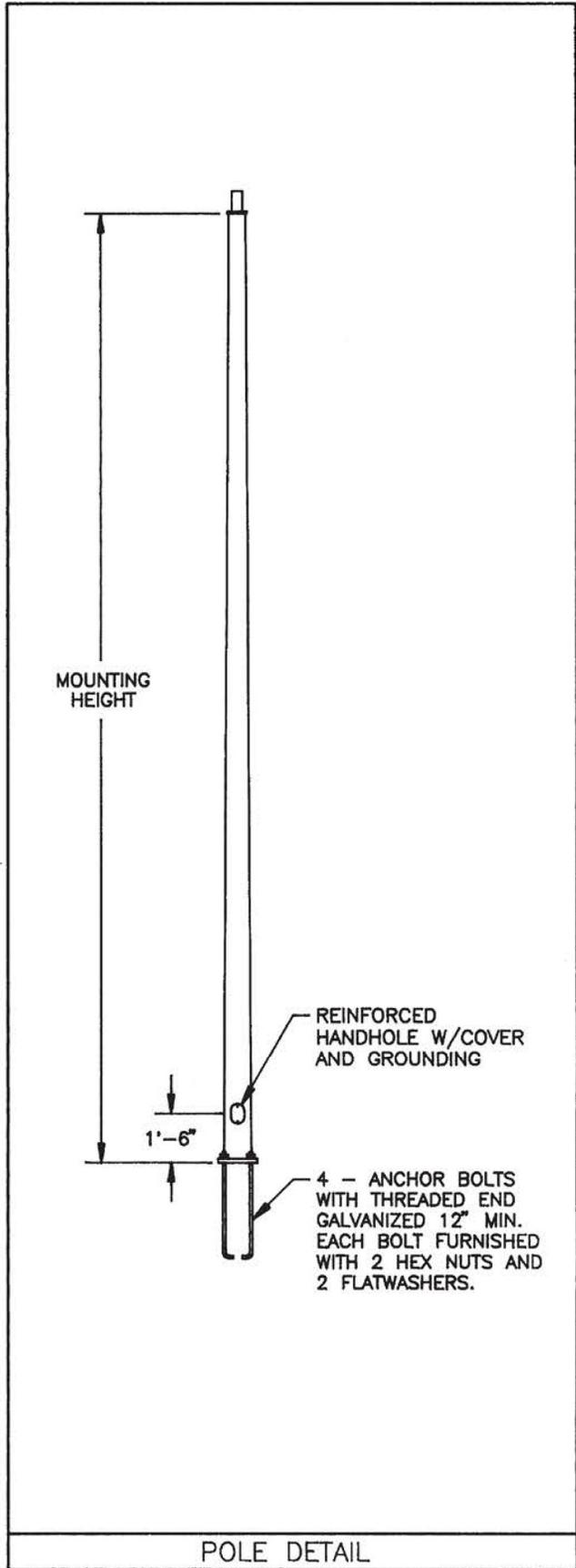
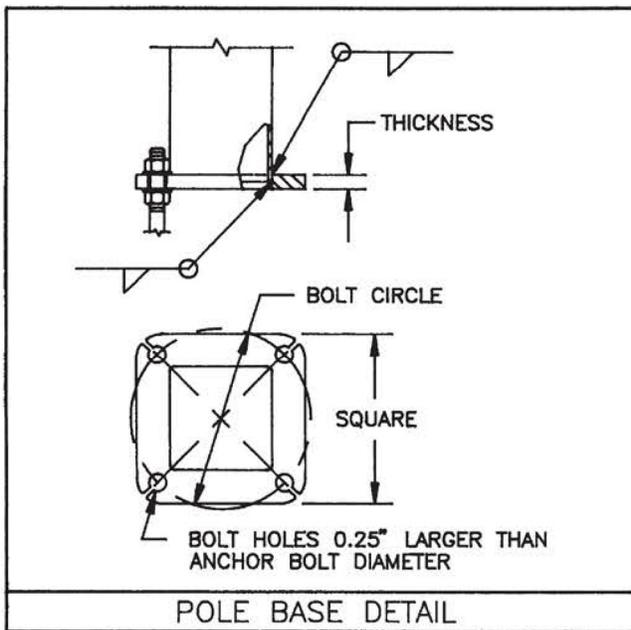
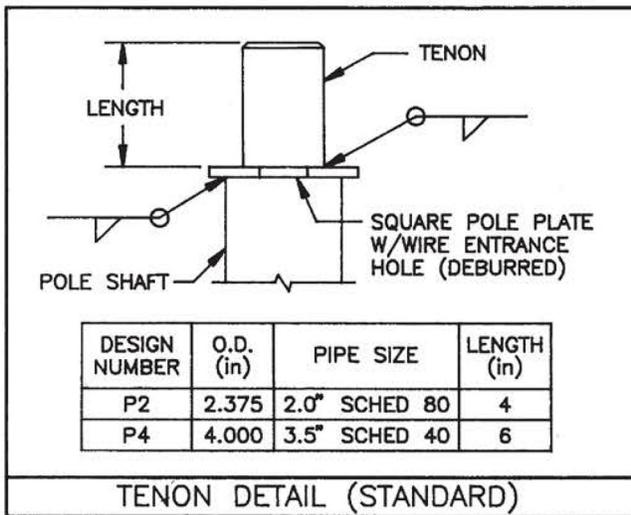
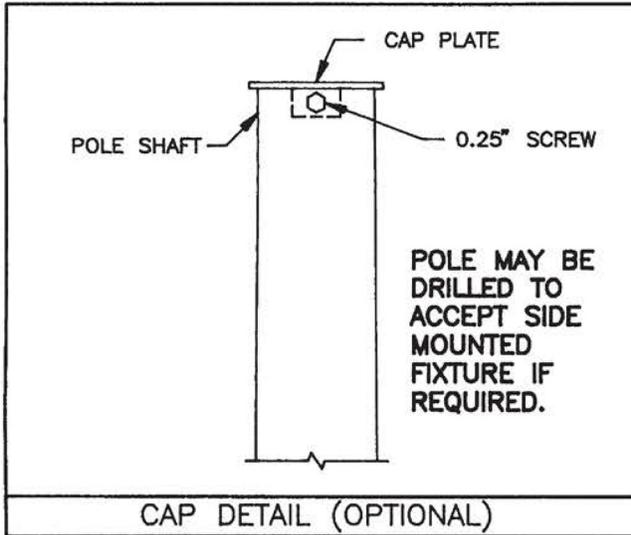
BASE MODEL	POLE DIMENSIONS					BASE PLATE		ANCHOR BOLTS	
	NOMINAL MOUNTING HEIGHT	TOP SQ (IN)	BASE SQ (IN)	WALL THK (GA)	STRUCTURE WEIGHT (LBS)	BOLT CIRCLE DIA (IN)	SQ (IN) x THICK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)
VS-STSA-20-5331-11-AB-	20'-0"	3.05	5.25	11	155	10.75	10.75 x 0.75	1.00 x 36.00 x 4.00	3.75 - 4.25
VS-STSA-20-5533-07-AB-	20'-0"	3.3	5.5	7	235	11	11 x 1	1.00 x 36.00 x 4.00	4 - 4.5
VS-STSA-25-6033-11-AB-	25'-0"	3.25	6	11	205	12	11.5 x 0.875	1.00 x 36.00 x 4.00	3.88 - 4.38
VS-STSA-25-6437-07-AB-	25'-0"	3.66	6.41	7	310	12.5	11.88 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-30-6431-11-AB-	30'-0"	3.11	6.41	11	260	12.5	11.88 x 0.875	1.00 x 36.00 x 4.00	3.88 - 4.38
VS-STSA-30-6431-07-AB-	30'-0"	3.11	6.41	7	375	12.5	11.88 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-30-7138-07-AB-	30'-0"	3.83	7.13	7	431	13.5	12.63 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-35-6830-11-AB-	35'-0"	2.96	6.81	11	305	13	12.25 x 0.875	1.00 x 36.00 x 4.00	3.88 - 4.38
VS-STSA-35-7133-07-AB-	35'-0"	3.28	7.13	7	475	13.5	12.63 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-35-7940-07-AB-	35'-0"	4.03	7.88	7	540	14.5	13.38 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-39-7229-11-AB-	39'-0"	2.92	7.18	11	345	13.5	12.63 x 0.875	1.00 x 36.00 x 4.00	3.88 - 4.38
VS-STSA-39-7129-07-AB-	39'-0"	2.87	7.13	7	500	13.5	12.63 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-39-8845-07-AB-	39'-0"	4.49	8.75	7	670	15.75	14.25 x 1.5	1.25 x 42.00 x 6.00	5 - 5.5
VS-STSA-45-7929-07-AB-	45'-0"	2.93	7.88	7	620	14.5	13.38 x 1.25	1.00 x 36.00 x 4.00	4.25 - 4.75
VS-STSA-45-8838-07-AB-	45'-0"	3.8	8.75	7	730	15.75	14.25 x 1.5	1.25 x 42.00 x 6.00	5 - 5.5
VS-STSA-50-8833-07-AB-	50'-0"	3.31	8.81	7	780	16	15.5 x 1.25	1.25 x 42.00 x 6.00	4.75 - 5.25

- The total combined EPA and weight of all fixtures, brackets and attachments mounting to a light pole cannot exceed the EPA and weight rating for a specified pole.
- Maximum EPA (Effective Projected Area) and weight values are based on top mounted luminaires and/or brackets having a centroid 2'-6" above the Nominal Mounting Height. Variations from sizes above are available upon inquiry at the factory.
- Satisfactory performance of light poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.

Note: Additional sizes and configurations are available upon request.

"+" Indicates a vibration dampener is standard





Address New Owner:	Send Tax Bills to:	Map-Parcel Numbers
High View Flats, LLC PO Box 90048 Nashville, TN 37209	SAME AS NEW OWNER	Map: 72-05 Part of Parcel: 57.00
This instrument prepared by: Quinton Horner, Attorney at Law P.O. Box 90509, Nashville, Tennessee 37209		

QUITCLAIM DEED

FOR VALUABLE CONSIDERATION, the receipt and sufficiency of which are acknowledged, The Metropolitan Government of Nashville and Davidson County, Tennessee ("Grantor"), hereby sells and quitclaims to High View Flats, LLC, a Tennessee limited liability company ("Grantee"), its successors and assigns, all of Grantor's rights, title and interest in and to certain land in Davidson County, Tennessee, being more particularly described as follows:

Commencing at an existing concrete monument at the southwest corner of the property conveyed to the City of Nashville, now Metro Government of Nashville, of record in Book 2031, Page 551 in the Register's Office for Davidson County, Tennessee; said monument also being a corner common with the property conveyed to LVH, LLC of record in Instrument Number 20150807-0079149;

Thence with the easterly line of aforesaid property conveyed to LVH, LLC, North 3 deg 23 min 10 sec East, 251.88 feet to the Point of Beginning;

Thence continuing with the easterly line of LVH, LLC, North 3 deg 23 min 10 sec East, 56.14 feet to the existing southerly right-of-way line of East Trinity Lane, width varies;
Thence with the southerly right-of-way line of East Trinity Lane, South 86 deg 34 min 42 sec East, 41.72 feet;

Thence through the said property conveyed to the City of Nashville for the following calls: South 3 deg 01 min 28 sec West, 4.52 feet, with a curve to the right having a radius of 50.50 feet, a curve length of 58.89 feet and a chord bearing and distance of South 36 deg 25 min 54 sec West, 55.61 feet, South 69 deg 50 min 20 sec West, 12.46 feet to the Point of Beginning; containing 1,772 square feet more or less;

Being part of the property conveyed to City of Nashville, now Metro Government of Nashville, of record in Book 2031, Page 551 in the Register's Office for Davidson County, Tennessee.

For additional details refer to the attached Exhibit A.

This conveyance of the Property is made expressly subject to all limitations, restrictions, and encumbrances as may affect the Property.

This is unimproved property.

Executed this 3rd day of September, 2020.



The Metropolitan Government of Nashville and Davidson County, Tennessee

By: [Signature]

Title: Interim Public Property Director

STATE OF TENNESSEE
COUNTY OF DAVIDSON

Before me, the undersigned, a Notary Public of said County and State, personally appeared Talia Lomax Odreal, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged themselves to be Interim Public Property Director of the within named bargainer and that they as such executed the foregoing instrument for the purposes therein contained.

Witness my hand, this the 3rd day of September, 2020.

[Signature]
Notary Public

My Commission Expires: 7/3/2023

STATE OF TENNESSEE
COUNTY OF DAVIDSON

The actual consideration for this transfer is \$0.00.

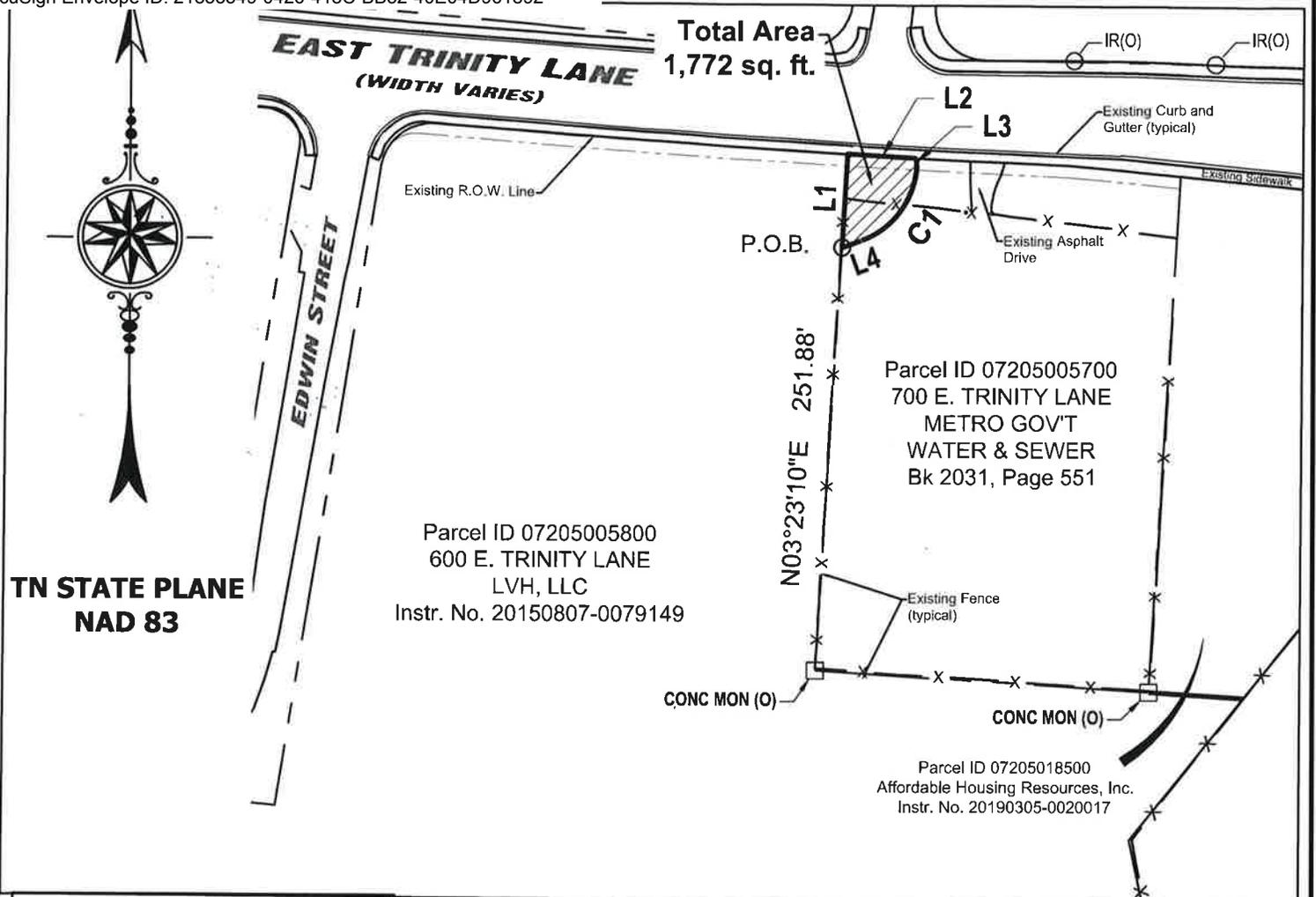
[Signature]
Affiant

Subscribed and sworn to before me this 3rd day of September, 2020.

[Signature]
Notary Public

My Commission Expires: 7/3/2023





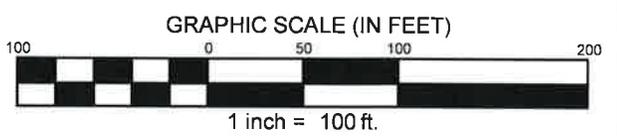
Line Table		
Line #	Direction	Length
L1	N03° 23' 10"E	56.14'
L2	S86° 34' 42"E	41.72'
L3	S03° 01' 28"W	4.52'
L4	S69° 50' 20"W	12.46'

THIS EXHIBIT WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126 AND IS NOT A "GENERAL PROPERTY SURVEY" AS DEFINED UNDER RULE 0820-3-07. THE INFORMATION SHOWN ON THIS EXHIBIT WAS DERIVED FROM RECORDED DEEDS, PLATS AND FIELD MEASUREMENTS.

1711 Hayes Street
Nashville, TN 37203
clintelliottsurvey.com
(615) 490-3236



Curve Table				
Curve #	Radius	Length	Chord Direction	Chord Length
C1	50.50'	58.89'	S36°25'54"W	55.61'



PROPERTY EXHIBIT A
700 E. TRINITY LANE
METRO PARCEL ID
07205005700



**METROPOLITAN GOVERNMENT
OF NASHVILLE AND DAVIDSON COUNTY**

Planning Department
Metro Office Building
800 Second Avenue South
Nashville, Tennessee 37201

September 3, 2020

To: Tara Ladd, Metro Legal

**Re: High View Flats Participation Agreement
Planning Commission Mandatory Referral #2020M-021AG-001
Council District #05 – Sean Parker, Council Member**

On behalf of the Metropolitan Planning Commission, the following item, referred to the Commission as required by the Metro Charter, has been recommended for *approval* to the Metropolitan Council:

A request for an ordinance approving a participation agreement between the Metropolitan Government and Nashville and Davidson County, through the Metropolitan Department of Water and Sewerage Services, and High View Flats, LLC, and authorizing the Director of Public Property, or her designee, to transfer to High View Flats, LLC, via quitclaim deed, a small portion of a certain parcel of property located at 700 E. Trinity Lane. (Proposal No. 2020M-021AG-001).

The relevant Metro agencies (Metro Parks, Metro Public Works, Metro Water Services, Metro Emergency Communications, the Nashville Electric Service, Metro Finance – Public Property and the Metro Historical Commission) have reviewed the proposal and concur in the recommendation for approval. This request must be approved by the Metro Council to become effective. A sketch showing the location of the request is attached to this letter.

This recommendation for approval is given as set forth in the Metropolitan Planning Commission Rules and Procedures. If you have any questions about this matter, please contact Sharon O’Conner at Sharon.oconner@nashville.gov or [615-862-7208](tel:615-862-7208).

Sincerely,

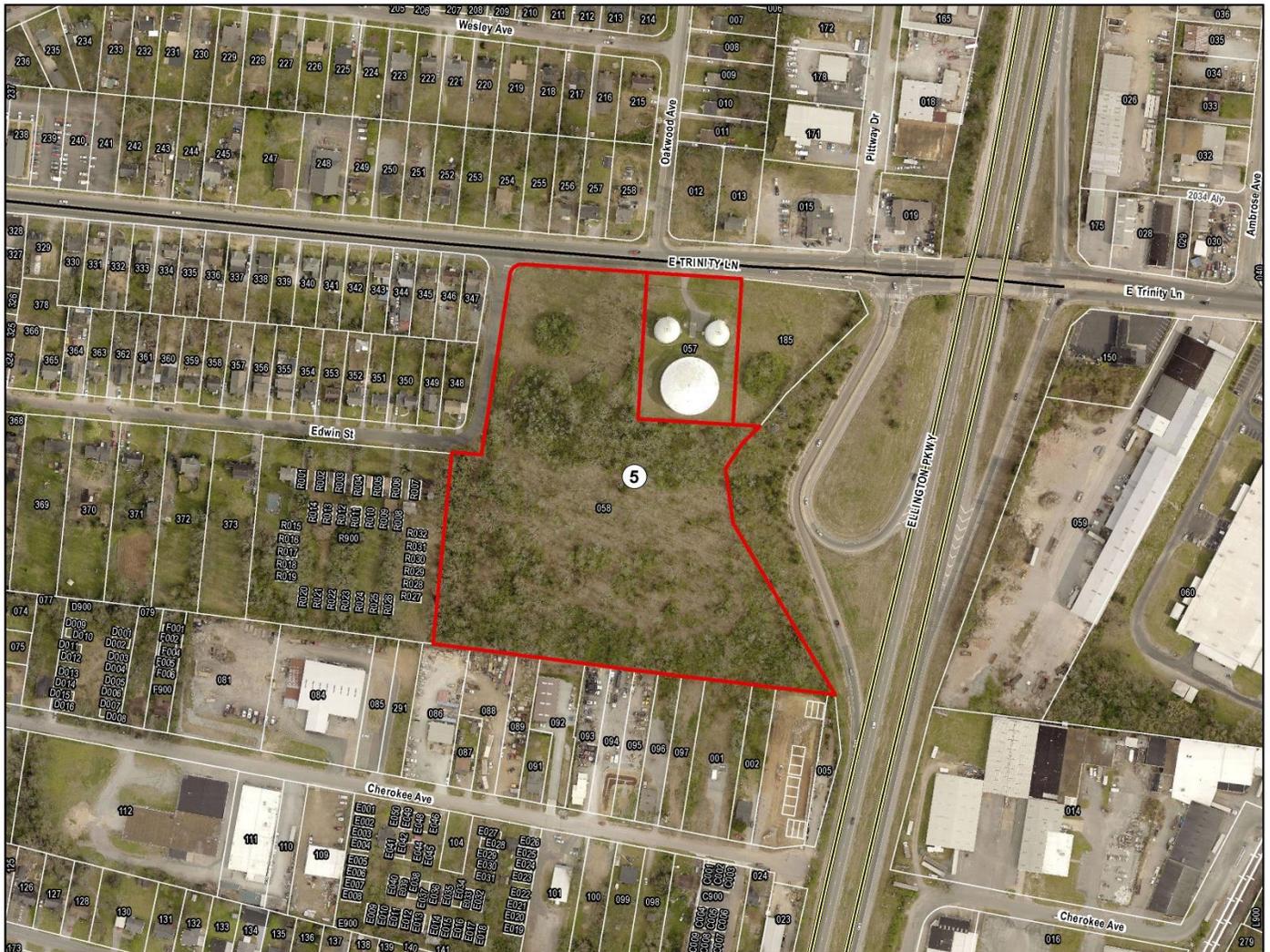
A handwritten signature in black ink that reads "Robert Leeman".

Robert Leeman, AICP
Deputy Director
Metro Planning Department

cc: *Metro Clerk, Elizabeth Waites*

**Re: High View Flats Participation Agreement
Planning Commission Mandatory Referral #2020M-021AG-001
Council District #05 – Sean Parker, Council Member**

A request for an ordinance approving a participation agreement between the Metropolitan Government and Nashville and Davidson County, through the Metropolitan Department of Water and Sewerage Services, and High View Flats, LLC, and authorizing the Director of Public Property, or her designee, to transfer to High View Flats, LLC, via quitclaim deed, a small portion of a certain parcel of property located at 700 E. Trinity Lane. (Proposal No. 2020M-021AG-001).



ORIGINAL

METROPOLITAN COUNTY COUNCIL

Bill No. _____

An ordinance approving a participation agreement between the Metropolitan Government and Nashville and Davidson County, through the Metropolitan Department of Water and Sewerage Services, and High View Flats, LLC, and authorizing the Director of Public Property, or her designee, to transfer to High View Flats, LLC, via quitclaim deed, a small portion of a certain parcel of property located at 700 E. Trinity Lane. (Proposal No. 2020M-021AG-001)

Introduced _____

Passed First Reading _____

Amended _____

Passed Second Reading _____

Passed Third Reading _____

Approved _____

By _____
Metropolitan Mayor

Advertised _____

Effective Date _____
