

# Preliminary Specific Plan for Tulip Grove & Central Pike

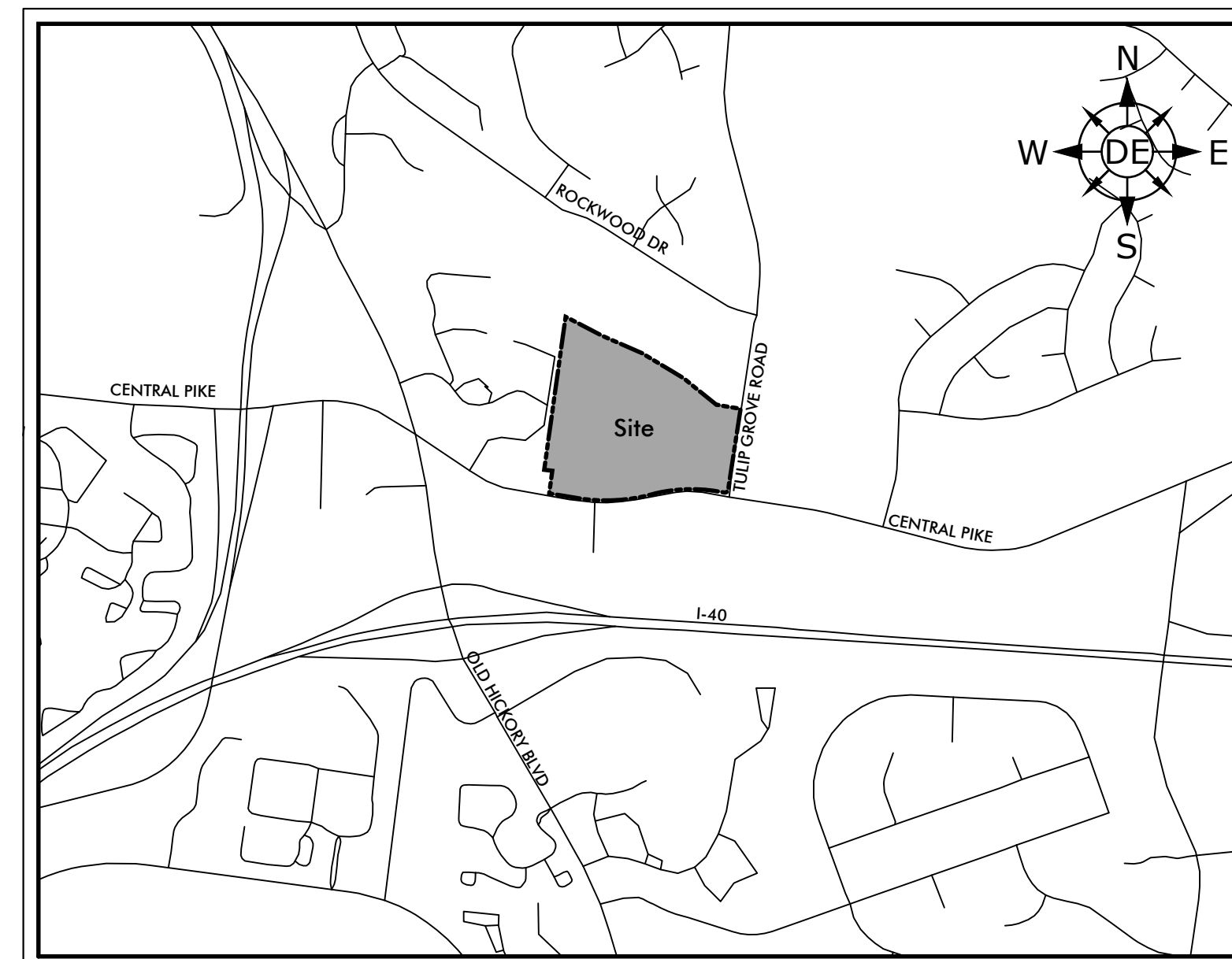
Being Parcels 104, 105, 279 & 351 on Tax Map 86  
Hermitage, Davidson County, Tennessee  
SP No. 2021SP-030-001

Revisions:

Date: May 6, 2021

APPLICATION #:	PROJECT NAME: TULIP GROVE & CENTRAL PIKE
MAP/PARCEL #: MAP 86, PARCELS 104, 105, 279, & 351	EXAMINER:

<b>USE</b>	
DETERMINE THE USE	MULTI-FAMILY
PROPERTY ZONING (OVERLAYS) - SURROUNDING ZONING	R8 - R8, RM15, PUD, RS7.5
USE CHARTS:	PERMITTED
<b>SITE CRITERIA</b>	
MAP & PARCEL NO.	MAP 86, PARCELS 104, 105, 279, & 351
COUNCIL DISTRICT	12 - ERIN EVANS
SITE ACREAGE	23.88 ACRES
MINIMUM LOT SIZE-FOOTPRINT:	N/A
NUMBER OF UNITS	208
FAR	NONE
ISR	0.70
STREET SETBACK/STREET TYPE(S)	40'
SIDE YARD	10'
REAR YARD	20'
HEIGHT STANDARDS-NUMBER OF FLOORS	3 STORIES IN 30 FEET (MEASURED TO ROOFLINE)
<b>PARKING AND ACCESS</b>	
RAMP LOCATION & NUMBER	2 PROPOSED ACCESSES (TULIP GROVE & CENTRAL PIKE)
DISTANCE TO NEAREST EXISTING RAMP	70' WEST
DISTANCE TO INTERSECTIONS:	LOCATED AT THE INTERSECTION OF TULIP GROVE & CENTRAL PIKE
50' MINOR STREET	185' ARTERIAL STREET
100' COLLECTOR	250' CONTROLLED ACCESS RAMP
REQUIRED PARKING BASED ON USES	416 STALLS (2 STALLS PER UNIT)
PARKING PROVIDED	440 STALLS (152 GARAGE, 152 DRIVEWAY, 136 SURFACE)
REQUIRED LOADING BASED ON USES	NONE
SURFACING OVER 5 SPACES 1,750 SQ. FT.	PROVIDED
SPACE SIZES, AISLE WIDTHS, ANGLE DATA	18' x 8.5' SPACES, 24' MIN. TURNAROUND
QUEUING LANES	NONE REQUIRED
OVER 10 SPACES 20' QUEUING AT EXIT	PROVIDED
NUMBER OF COMPACT SPACES (%)	NONE
NUMBER OF ACCESSIBLE SPACES	NONE
SIDEWALKS REQUIRED-INTERNAL/PUBLIC	PROVIDED
<b>LANDSCAPING STANDARDS</b>	
SEE LANDSCAPE PLAN FOR DETAILS ON REQUIRED & PROPOSED LANDSCAPING MEASURES	



Vicinity Map  
NTS

<b>Developer</b> Beazer Homes, LLC 501 Corporate Center Drive, Suite 180 Franklin, TN 37067 Phone: (615) 630-8976	<b>Floodnote</b> No portion of this property is located in a flood zone as depicted on FEMA Map Number 47037C0286H. Dated April 5, 2017.
<b>Engineer</b> Dewey Engineering Contact: Michael Dewey 2925 Berry Hill Dr Nashville, TN 37204 Phone: (615) 401-9956	

Sheet Schedule		
1	C0.0	Cover Sheet
2	C1.0	Existing Conditions
3	C3.0	Overall Layout Plan
4	C4.0	Grading, Drainage, & Final Erosion Control Plan
5	C5.0	Details
6	C6.0	Overall Water & Sewer Plan
7	C7.0	Landscape Plan

**Standard SP Notes**

- 1) The purpose of this SP is to receive approval of a Preliminary SP to permit the development of 208 residential units.
- 2) Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- 3) No Portion of this Property falls within a Flood Hazard Area as identified by FEMA on Map 47037C0286H. Dated April 5, 2017.
- 4) All public sidewalks are to be constructed in conformance with Metro Public Works Sidewalk Design Standards.
- 5) Wheel chair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings.
- 6) The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit.
- 7) Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro Right of Way is 15" cmp).
- 8) Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any Stormwater facilities within the property.
- 9) Individual water and/or sanitary sewer services are required for each parcel.
- 10) Solid waste pickup to be provided by private entity/hauler.
- 11) All development to be completed in one phase.
- 12) The Developer's Final Construction Drawings shall comply with the design regulations established by the Department of Public Works. Final Design may vary based on field conditions.
- 13) The final site plan/building permit site plans shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- 14) Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval/comments only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.

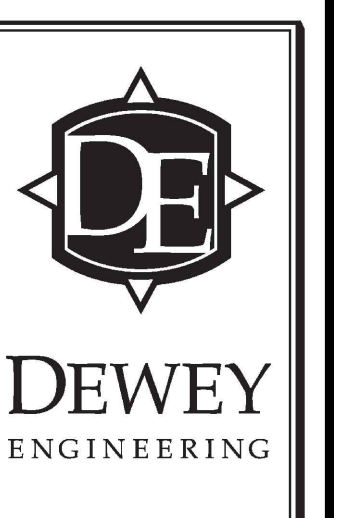
**Architectural Design Standards**

- 1) Windows shall be vertically oriented at a ratio of 1.5:1 or greater, except for dormers.
- 2) EIFS, vinyl siding and untreated wood shall be prohibited.
- 3) Porches shall provide a minimum of six feet of depth.
- 4) A raised foundation of 18"- 36" is required for all residential structures.

**General Plan Consistency Note:**

The Specific Plan District Proposed Herein is Located Within Subarea #14 - Donelson/Hermitage/Old Hickory Community Plan. The Specified Land Use Policy for this Site is Transect 3 Suburban Neighborhood Evolving (T3 NE). The Intent of T3 NE is to Provide Housing Options with Moderate Density Residential and Institutional Development, Moderate Setbacks, Informal Landscaping, and Sidewalks. As Proposed, this Specific Plan Satisfies the Density and Design Goals of the T3 NE Policy.

**Tulip Grove & Central Pike**  
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 Being Parcels 104, 105, 279 & 351 on Tax Map 86  
 Hermitage, Davidson County, Tennessee

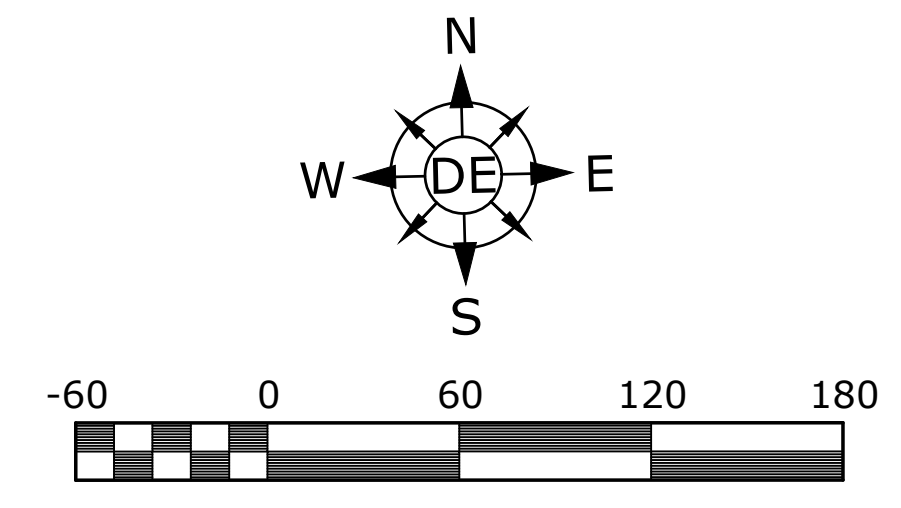


Cover Sheet

Job No. 20054

**C0.0**

1 of 7



**Developer**  
 Beazer Homes, LLC  
 501 Corporate Center Drive,  
 Suite 180  
 Franklin, TN 37067  
 Phone: (615) 630-8976

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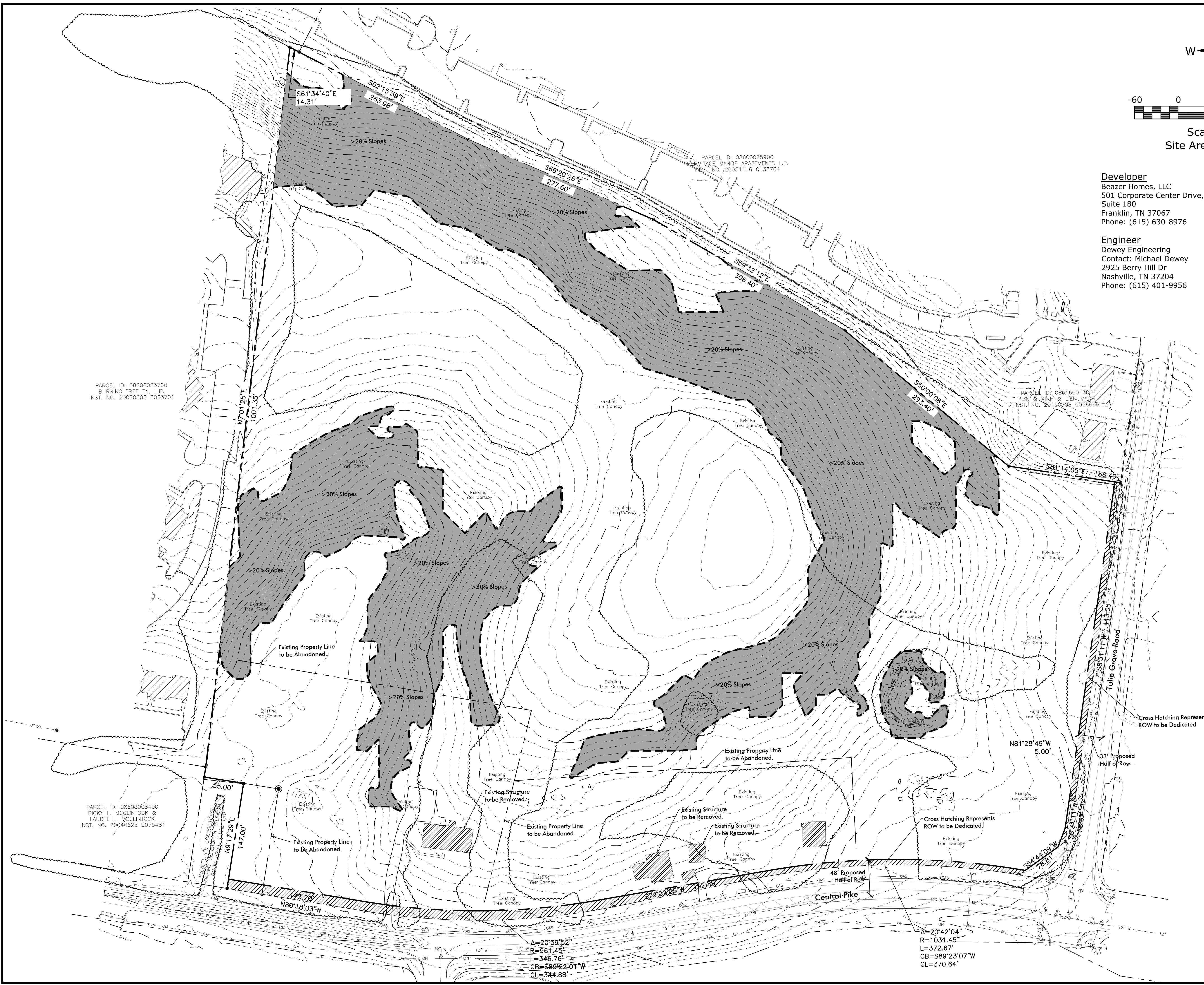


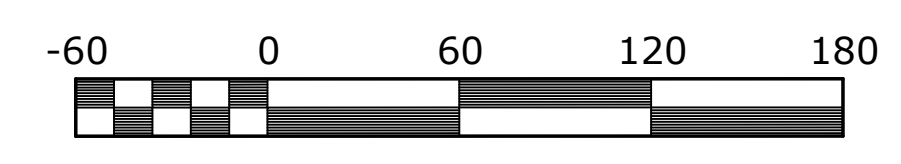
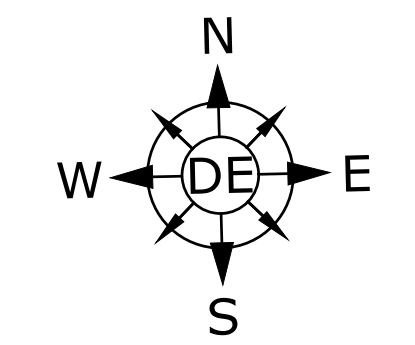
Existing  
 Conditions

Job No. 20054

**C1.0**

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Scale 1" = 60'  
Site Area = 23.9 acres

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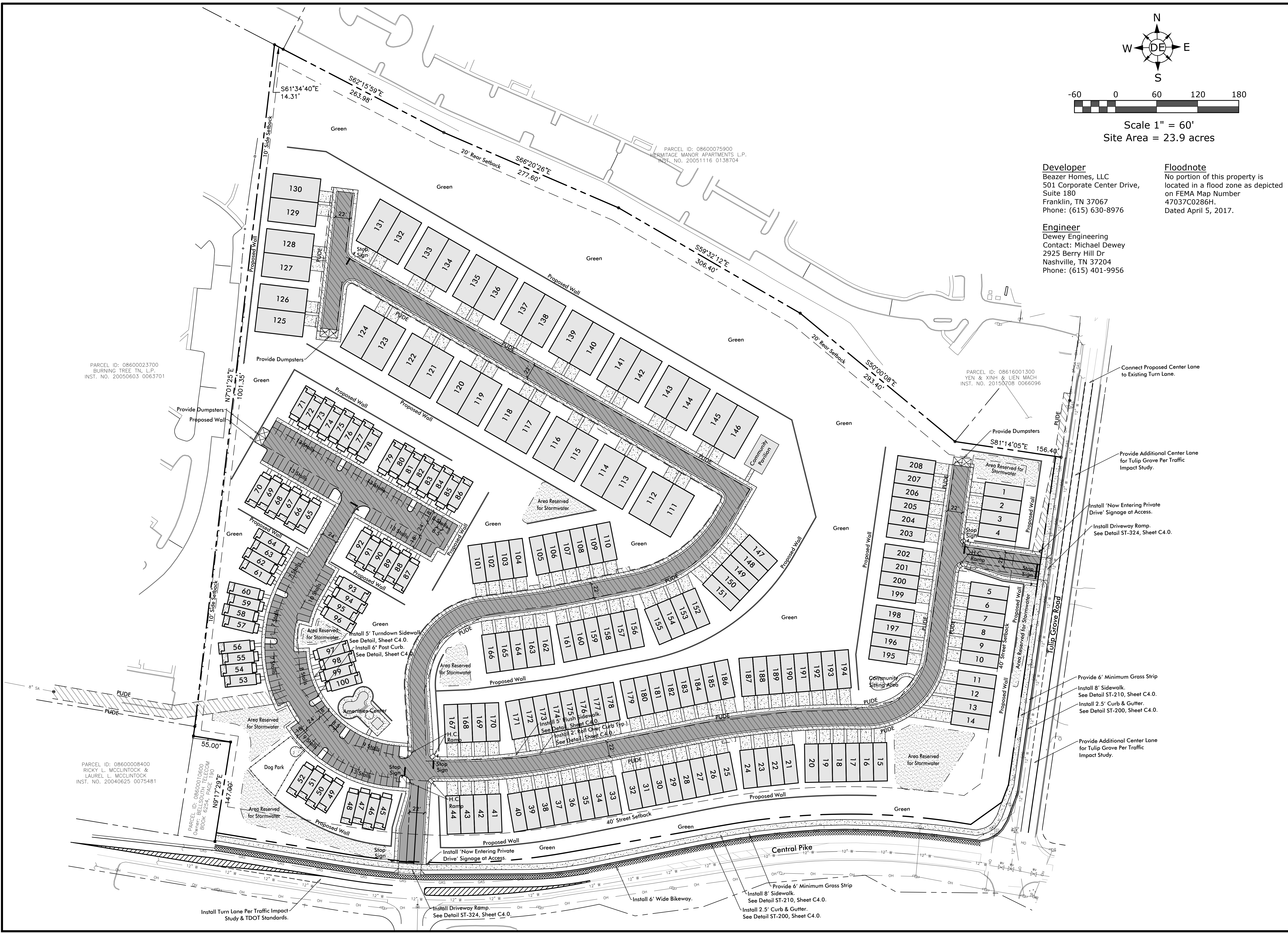


Overall  
Layout Plan

Job No. 20054

# C2.0

3 of 7



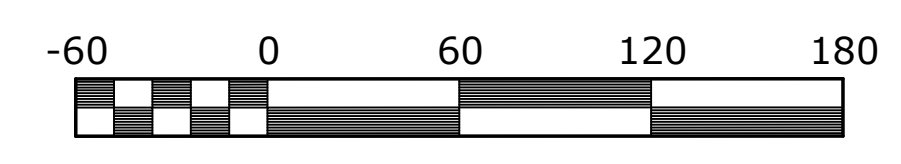
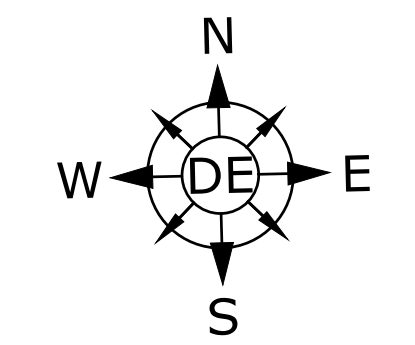
PARCEL ID: 08600023700  
BURNING TREE TN, L.P.  
INST. NO. 20050603 0063701

PARCEL ID: 08600008400  
RICKY L. MCCLINTOCK &  
LAUREL L. MCCLINTOCK  
INST. NO. 20040625 0075481

PARCEL ID: 08600010600  
OWNERS: LLSOUTH TELLCOM  
BOOK: 180, PAGE: 180  
INST. NO. 20051229 0014700

PARCEL ID: 08600075900  
HERMITAGE MANOR APARTMENTS L.P.  
INST. NO. 20051116 0138704

PARCEL ID: 08616001300  
YEN & XINH & LIEN MACH  
INST. NO. 20150708 0066096



Scale 1" = 60'  
Site Area = 23.9 acres

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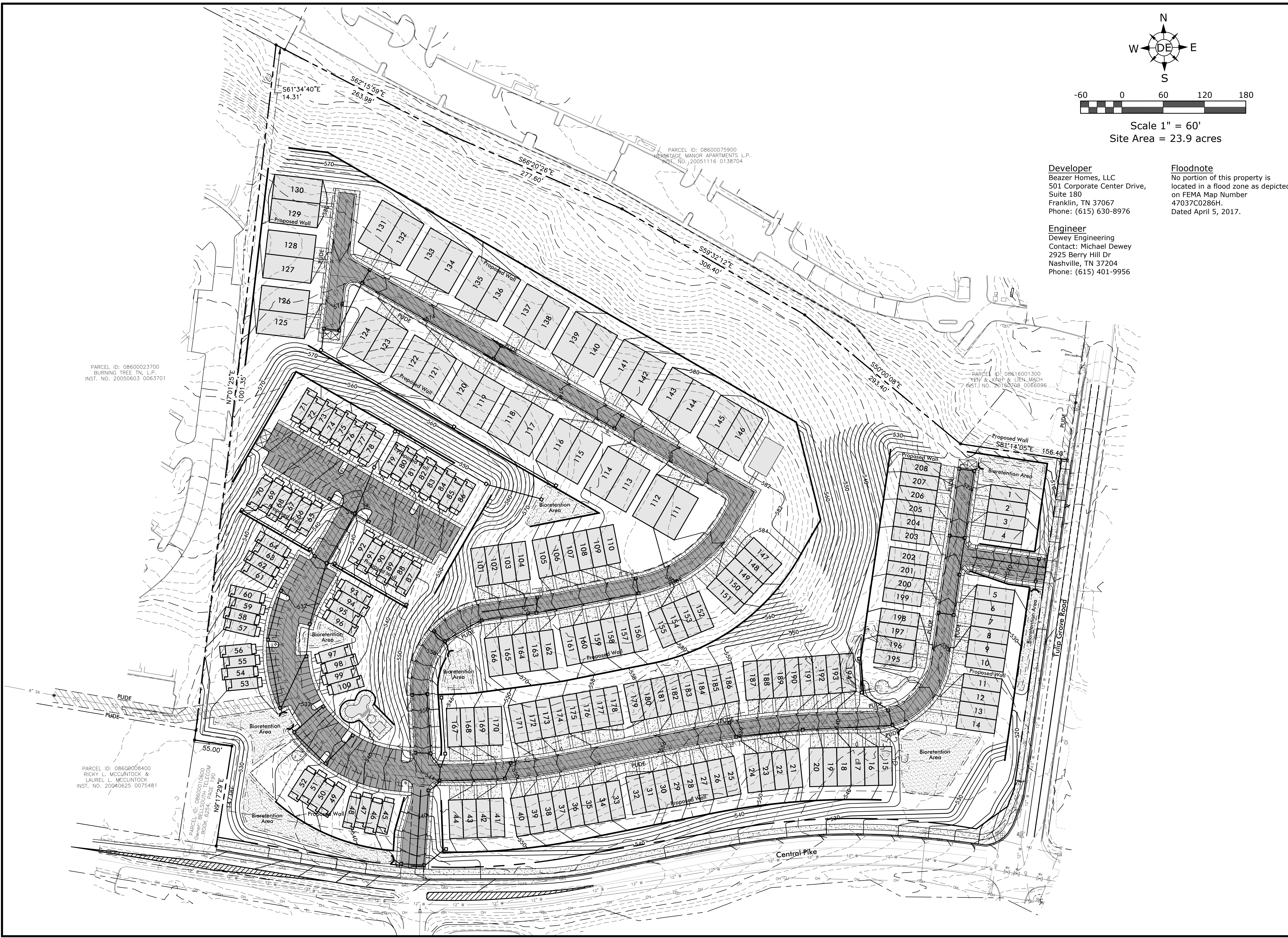
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Grading,  
Drainage, &  
Final Erosion  
Control Plan

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# C3.0



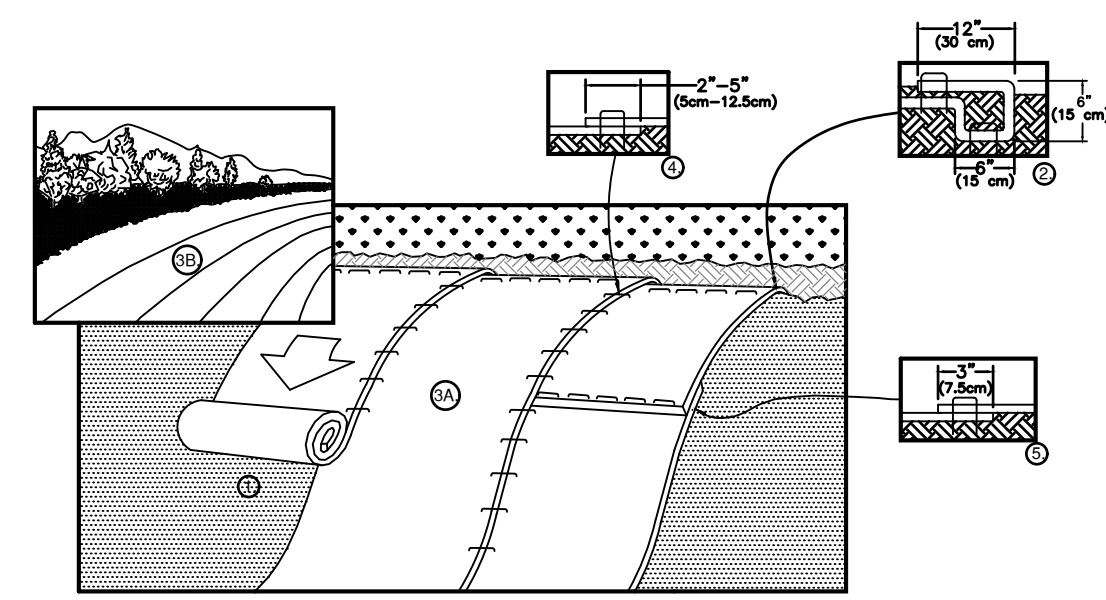
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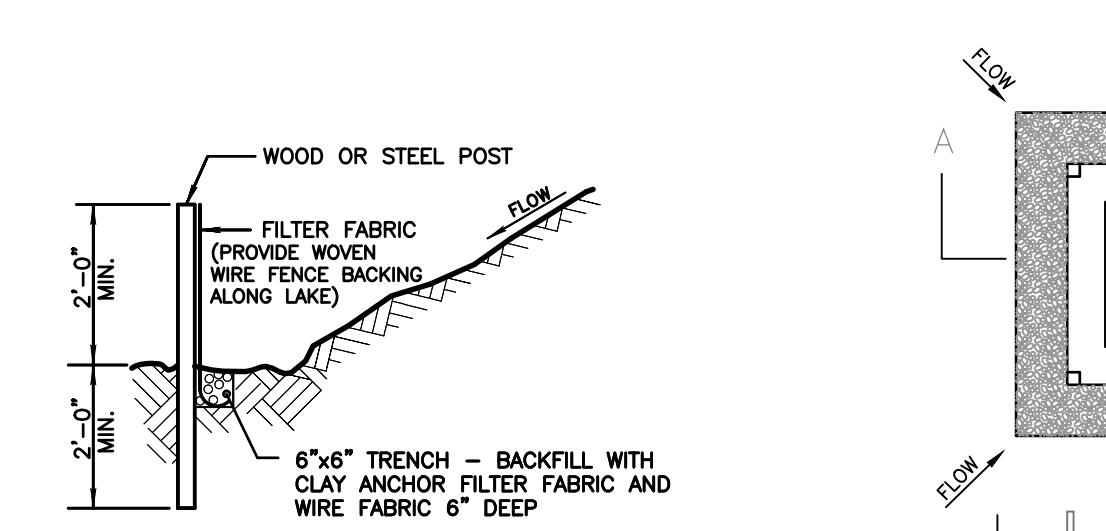
PARCEL ID: 08600010600  
OWNERS: SOUTHWEST TETCOM  
BOOK: 8834, PAGE: 150



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12' (30m) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12' (30m) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12' (30m) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12' (30m) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLOURED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE TO ENSURE EITHER STAPLES OR WIRE TIES. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLOURED SEAM SWITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPLIZED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3' (75cm) OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12' (30m) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**EROSION CONTROL MATTING DETAIL (TCP-10)**

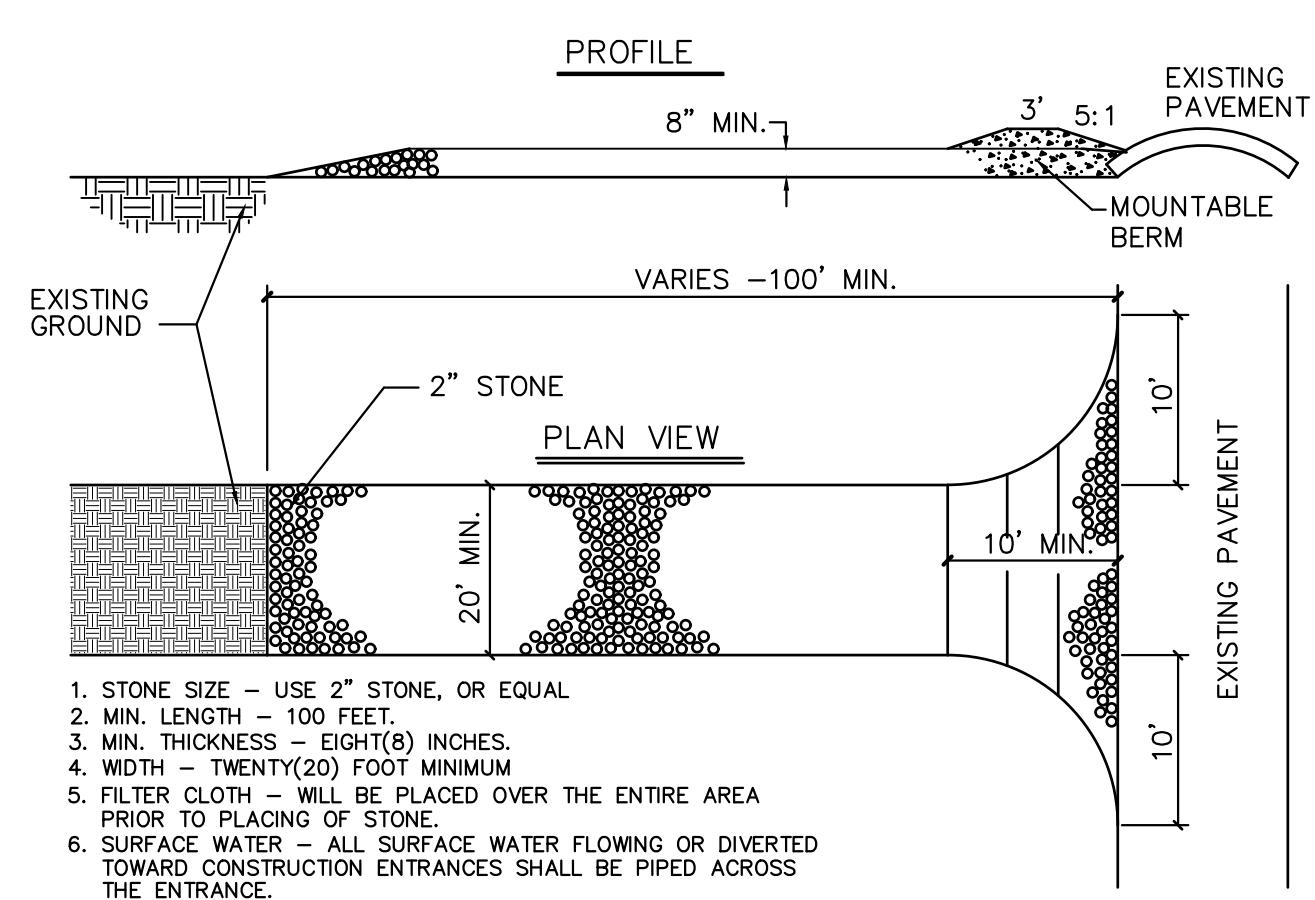


- FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
- STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
- WOOD POSTS SHALL BE 2" X 2" MIN., OAK OR SIMILAR HARDWOOD.
- POSTS SHALL BE SPACED AT 6' INTERVALS.
- FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
- FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORP'S OF ENGINEERS GUIDE SPEC. CW 02215. WITH EQUIVALENT OPENING SIZE (EOS) OF NO.100 SIEVE MIN., NO. 40 SIEVE MAX., AS DETERMINED.
- J-HOOKS SHALL BE UTILIZED WHEN SILT FENCE IS NOT INSTALLED DIRECTLY ALONG A CONTOUR.

- MAINTENANCE NOTES:
- INSPECT TWICE WEEKLY, 72 HOURS APART AND AFTER EACH RAINFALL.
  - REPAIR WHEREVER FENCE IS DAMAGED.
  - REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE.
  - REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH REMOVE SEDIMENT ACCUMULATION, AND GRADE.

**SILT FENCE DETAIL (TCP-13)**

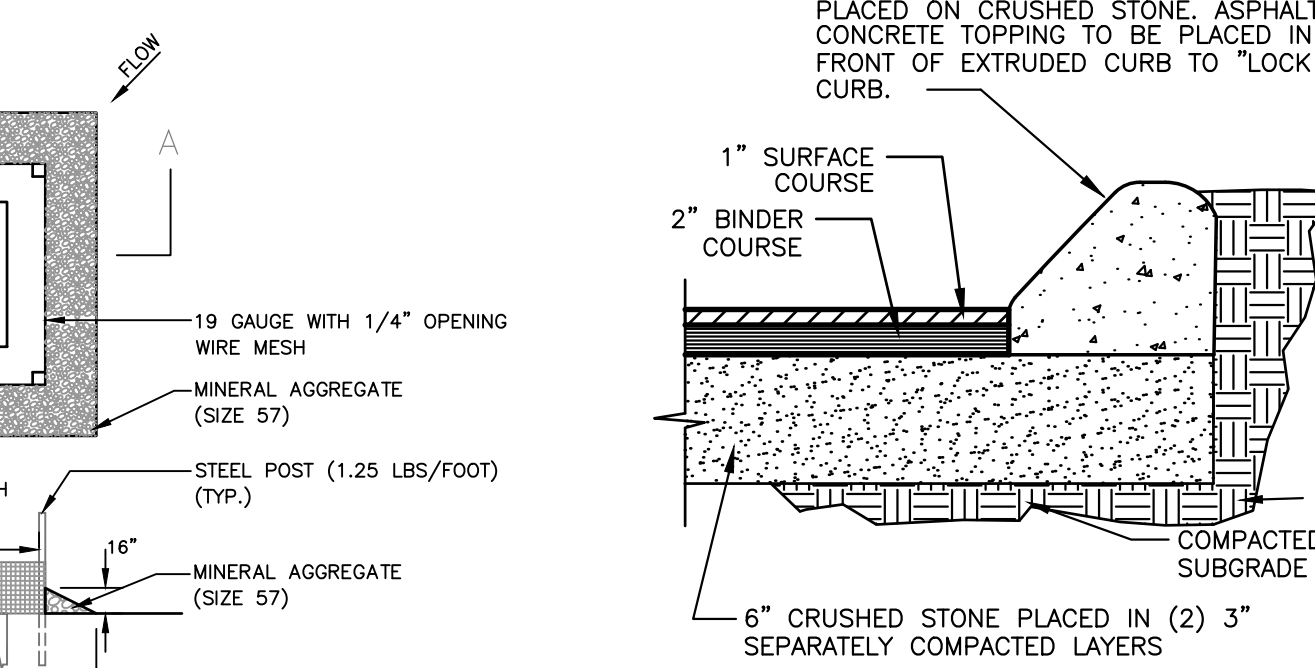
NOT TO SCALE



- STONE SIZE - USE 2" STONE, OR EQUAL
- MIN. LENGTH - 100 FEET
- MIN. THICKNESS - EIGHT(8) INCHES
- WIDTH - TWENTY(20) FOOT MINIMUM
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

**TEMPORARY CONSTRUCTION ENTRANCE (TCP-03)**

NOT TO SCALE

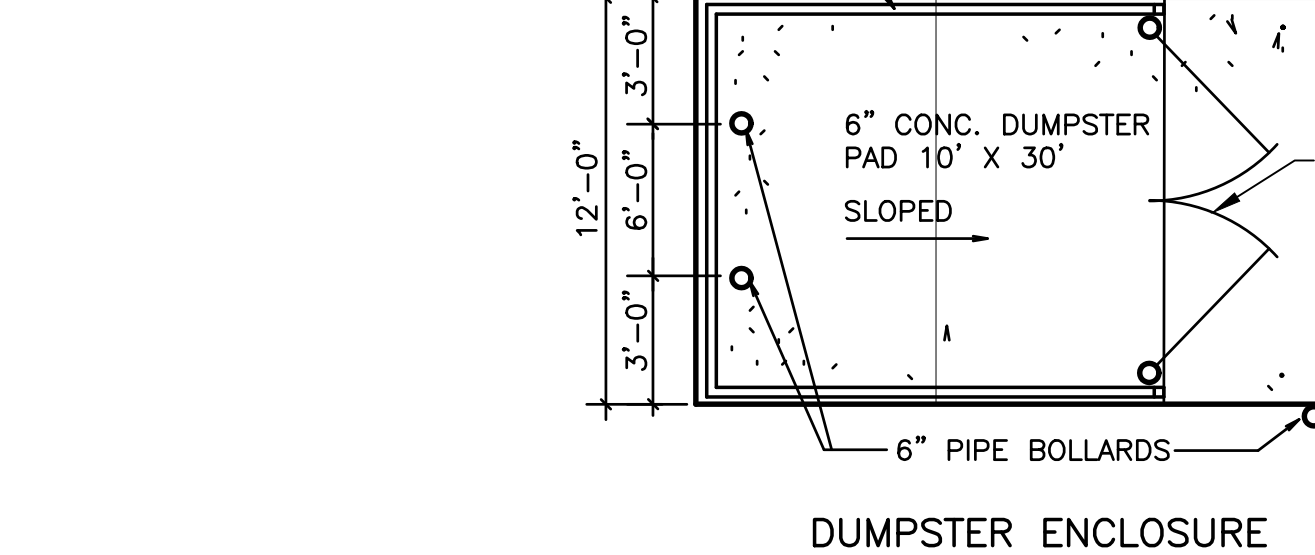


**REGULAR-DUTY PAVEMENT DETAIL W/ EXTRUDED CURB**

NOT TO SCALE

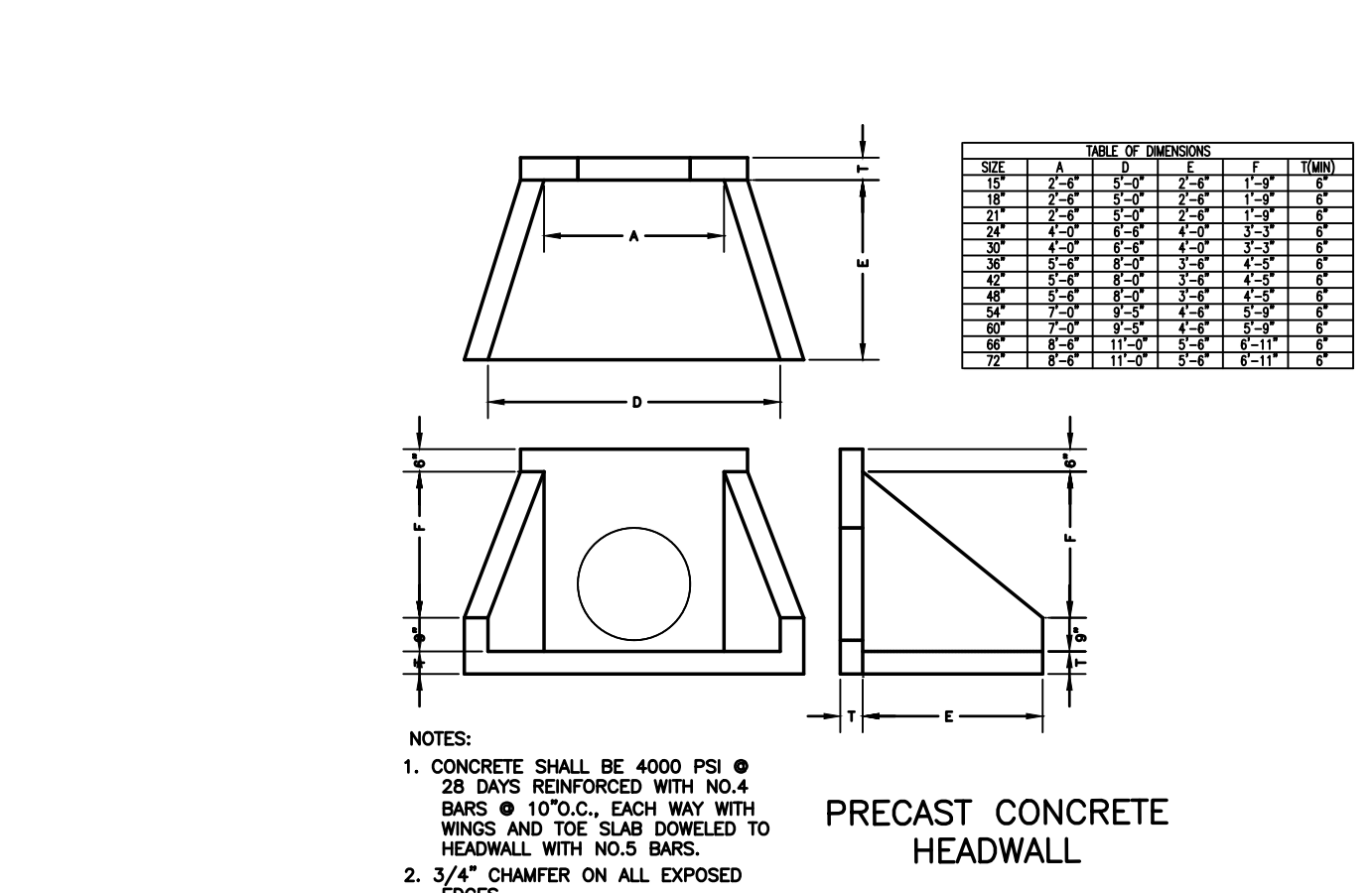
**INLET PROTECTION DETAIL (TDEC)**

SECTION A-A



**DUMPSTER ENCLOSURE**

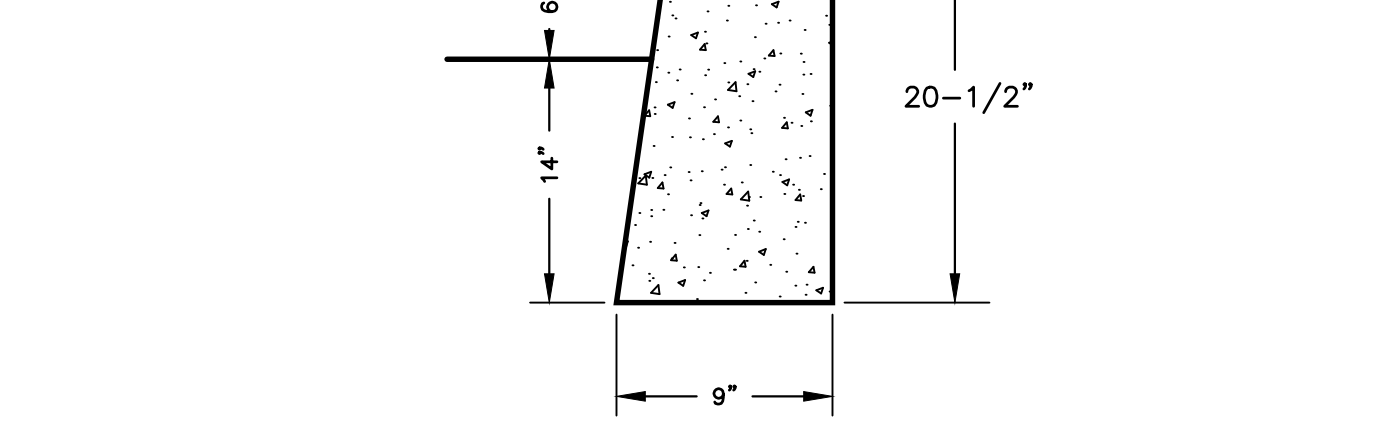
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- CONCRETE SHALL BE 4000 PSI @ 28 DAYS REINFORCED WITH NO.4 BARS @ 10" O.C. EACH WAY WITH WINGS AND TOE SLAB DOWN TO HEADWALL WITH NO.5 BARS.
- 3/4" CHAMFER ON ALL EXPOSED EDGES.

**PRECAST CONCRETE HEADWALL**

NOT TO SCALE



**STANDARD POST CURB**

ST-201 N.T.S.

GENERAL NOTES

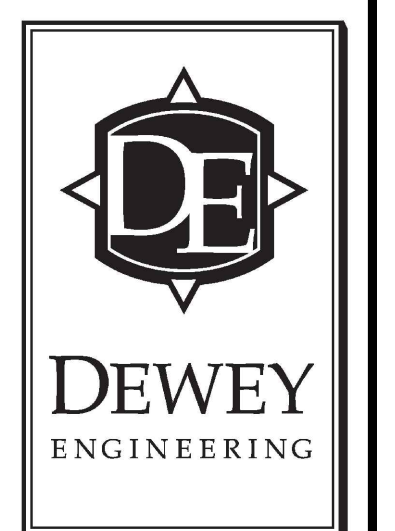
- EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 100 FEET APART OR AS DIRECTED BY THE ENGINEER.
- EXPANSION JOINTS WILL ALSO BE REQUIRED AT TANGENT POINTS, RAMPS, AND INLETS.
- CONTRACTION JOINTS ARE TO BE CUT INTO CURB AND GUTTER EVERY 10 FEET TO A DEPTH OF D/4, WHERE D EQUALS THE THICKNESS OF THE SECTION. THE SPACING OF 10 FEET MAY BE REDUCED AT CLOSURES BUT NO SECTION OF CURB SHALL BE LESS THAN 10 FEET.
- COST OF JOINTS TO BE INCLUDED IN THE UNIT BID PRICE FOR CONCRETE CURB.

**Nashville Electric Service Notes**

- Existing overhead high voltage line running down west side of property will have to be temporarily relocated due to unit construction (meet OSHA clearances). This will be at 100% developer cost.
- Developer to provide a civil duct and pad locations for NES review and approval.
- Developer maybe required to install meter pedestals if the clearances between units dose not maintain the 10 foot separation as shown on layout plan.
- Developer drawing shall show the existing utilities easements on property and the utility poles on the property and the r-o-w (on both sides of the roadway). Also survey the high voltage line down the west side of property.
- A PUE shall be maintained down the west side of property. East side of property shall have a 5' as PUE.
- 20-foot public utility easement required adjacent to public r-o-w along Glen Echo Rd.
- NES may require 20' PUE centered on conduit runs.
- Any addition easements required that are not part of this parcel must be obtained by the developer or the engineer for the developer.
- Postal plan is required before NES's final construction drawings can be approved.
- NES can meet with developer/engineer upon request to determine electrical service options (may want to consider 1st before your HV layout. Will need loads).
- NES needs any drawings that will cover any road improvements to Glen Echo Rd that Public Works will require (i.e., turning lanes, sidewalk improvements or lane improvements). Any of these items may require electric facilities to be relocated and may be an impact to the developers.
- Developer's vegetation design under the existing power line shall meet NES Vegetation Management requirements.
- NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules.
- NES needs load information for each different lot type and size. (required to determine load capacity)
- There is an existing high voltage line down the west side of property. That has to stay overhead.
- If porches or walls are allowed to be constructed beyond the minimum setback limits and into the public utility easements; then the easement will be considered reduced by that much of the easement. Such encroachments may increase the cost of electrical infrastructure to allow for reduced or limited access to equipment. NES reserves the right to enter and to erect, maintain, repair, rebuild, operate and patrol electric power overhead and underground conductors and communications circuits with all necessary equipment reasonably incident thereto including the right to clear said easement and keep the same clear of brush, timber, inflammable structures, buildings, permanent structures, and fire hazards; all over, under, upon, and across the easement as granted on any plats.
- Overhead electrical power lines are required to meet or exceed the conditions as specified in the National Electrical Safety Code as adopted by the State of Tennessee in Chapter 89, Public Acts, 2007. The existing 23.9 kV power lines located in the public right-of-way and the existing public utility easement require an electrical safety clearance that must be maintained after construction of any buildings. The National Electrical Safety Code, 2007 edition, dictates the clearances in Rule 234 C and G to provide the minimum horizontal and vertical clearances from live conductors. Thus, NES is requesting that public utility easements be provided parallel to the right-of-ways for this safety zone. The 23.9kV line must have a horizontal clearance of 10.5 feet away from the nearest conductor to allow for blow-out conditions as it is configured today. Check with OSHA regulations to meet the crane operating clearances for construction near energized 23.9 kV conductors for additional clearance requirements. Often the locations of new buildings are impacted by the inability of de-energizing the circuits to meet cost and construction schedules. Also survey the high voltage line down the west side of property
- NES may require the conduit, stub outs to be surveyed but NES will require the fiberglass bases to be surveyed at state plane coordinates as listed below:
  - First survey between the time the contractor installs the conduit and before the 1st NES inspection is done and gravel is placed on top of the conduit. Send file to NES designer to be placed in the NES construction drawing. This step is required if there is less than a 20foot PUE.
  - Second survey can be completed at the same time the Metro as-built drawing file is completed.
  - Send the as-built .dwg file to the NES designer to check if the NES items are installed in easements. This must be done before riser pole can be energized.

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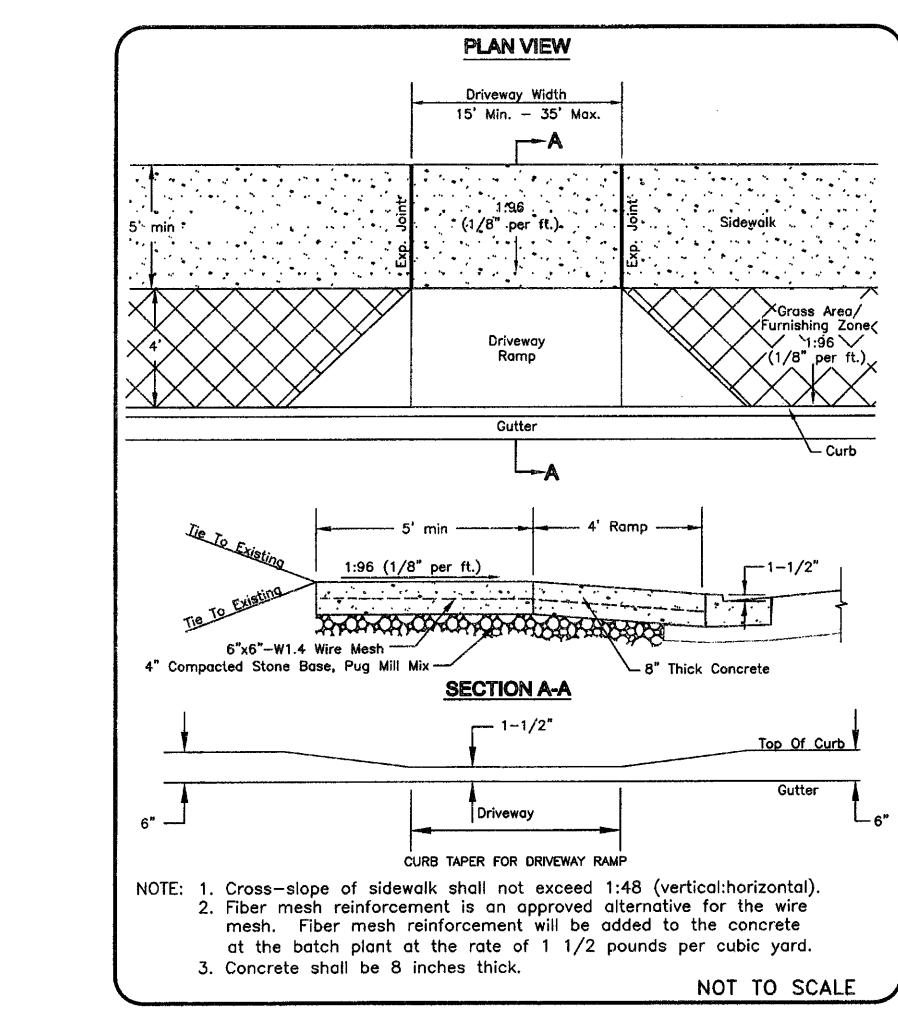


Details

Job No. 20054

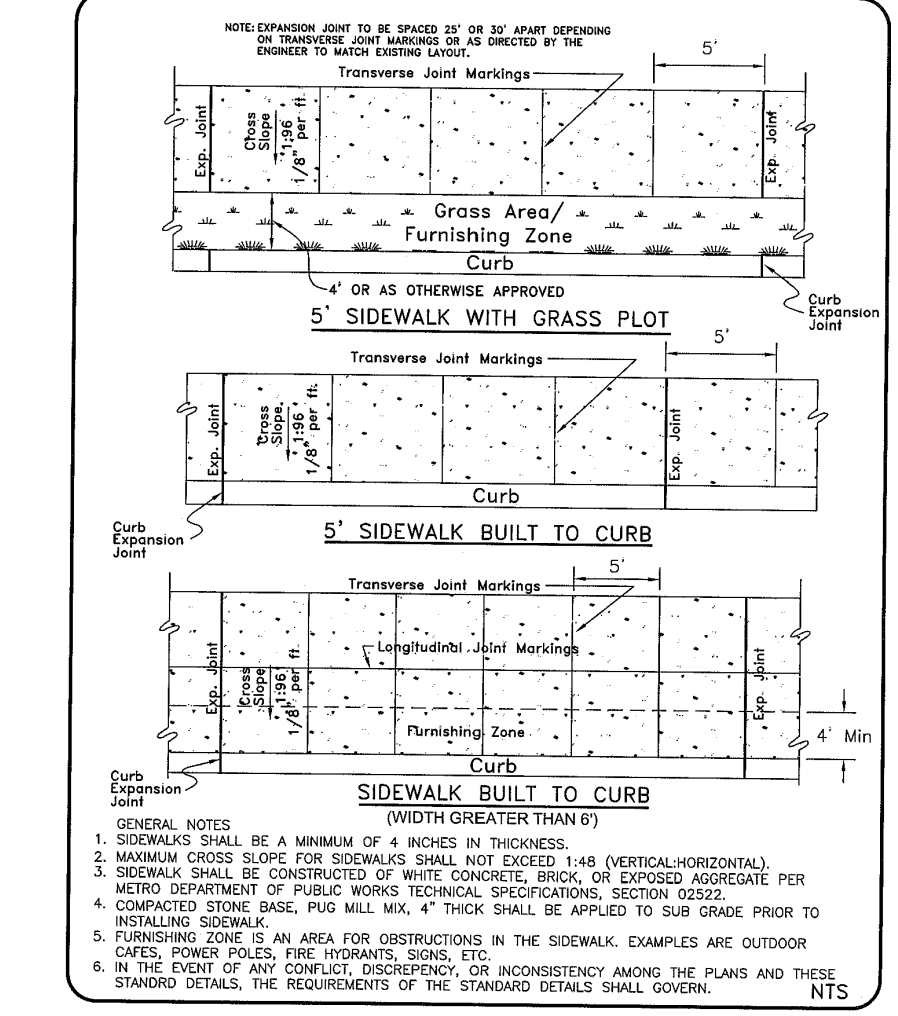
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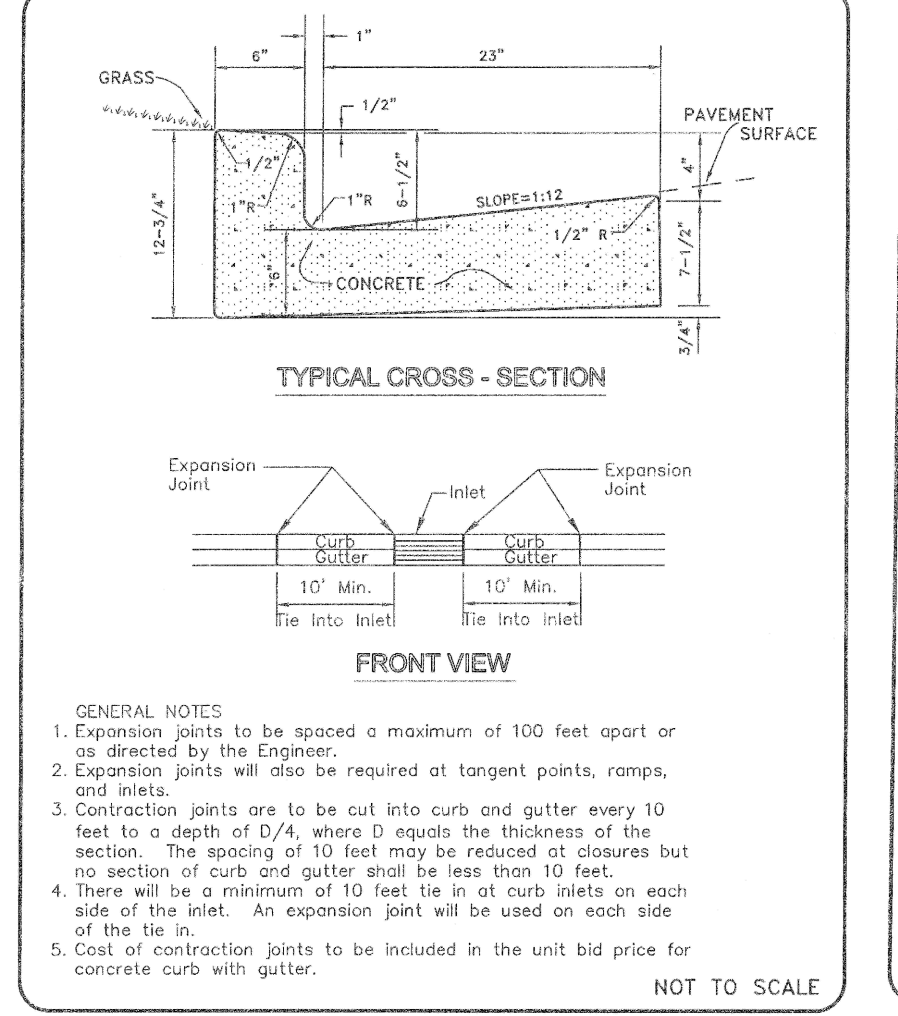
- Cross-slope of sidewalk shall not exceed 1:48 (vertical/horizontal).
- Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the both point of the rate of 1 1/2 pounds per cubic yard.
- Concrete shall be 8 inches thick.

NOT TO SCALE



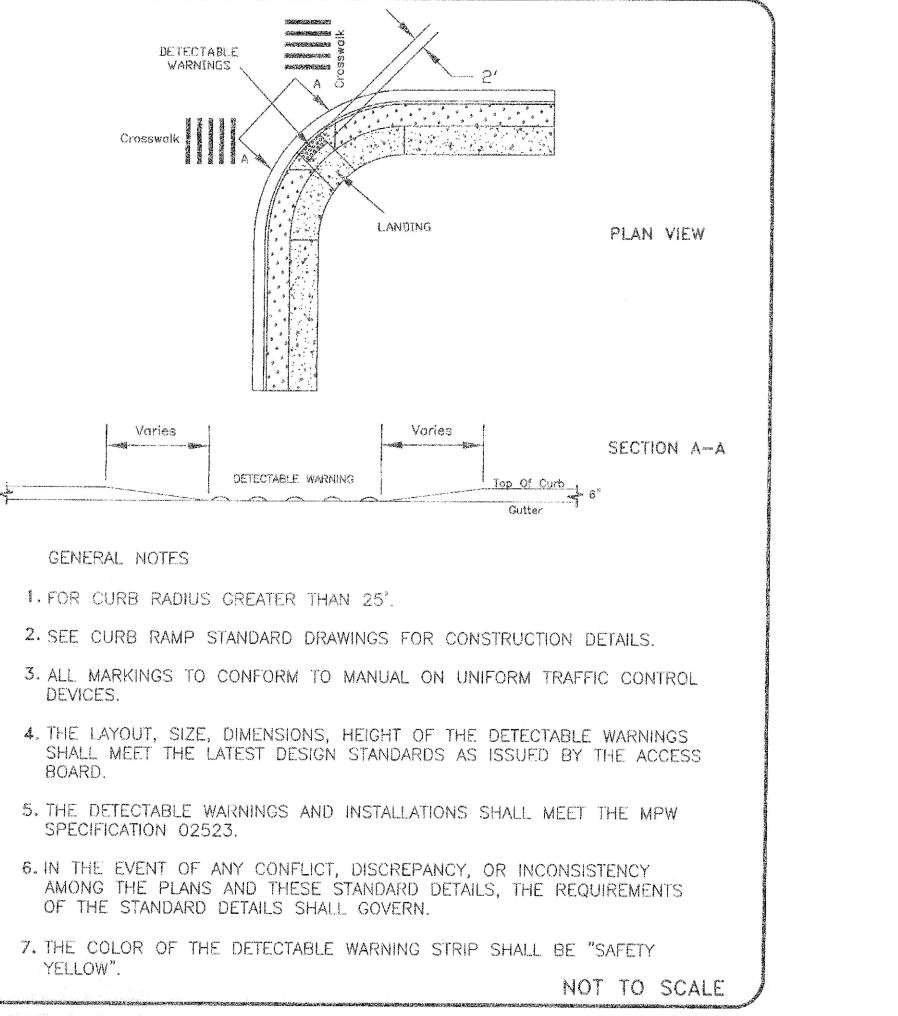
- GENERAL NOTES
- SIDEWALK SHALL BE A MINIMUM OF 4 INCHES IN THICKNESS.
- SIDEWALK SHALL BE CONSTRUCTED OF WHITE CONCRETE. BRICKS OF COLORED AGGREGATE PER METRO SPECIFICATIONS OF PUBLIC WORKS TECHNICAL SPECIFICATIONS, SECTION 02222.
- COMPACTED STONE BASE, PUG MILL MAX. 4" THICK SHALL BE APPLIED TO SUB GRADE PRIOR TO INSTALLING SIDEWALK.
- FURNISHING ZONE IS AN AREA FOR OBSTRUCTIONS IN THE SIDEWALK. EXAMPLES ARE OUTDOOR CAFE, POWER POLES, FIRE HYDRANTS, SIGNS, ETC.
- IN THE EVENT OF ANY CONFLICT, DISCREPANCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.

NOT TO SCALE



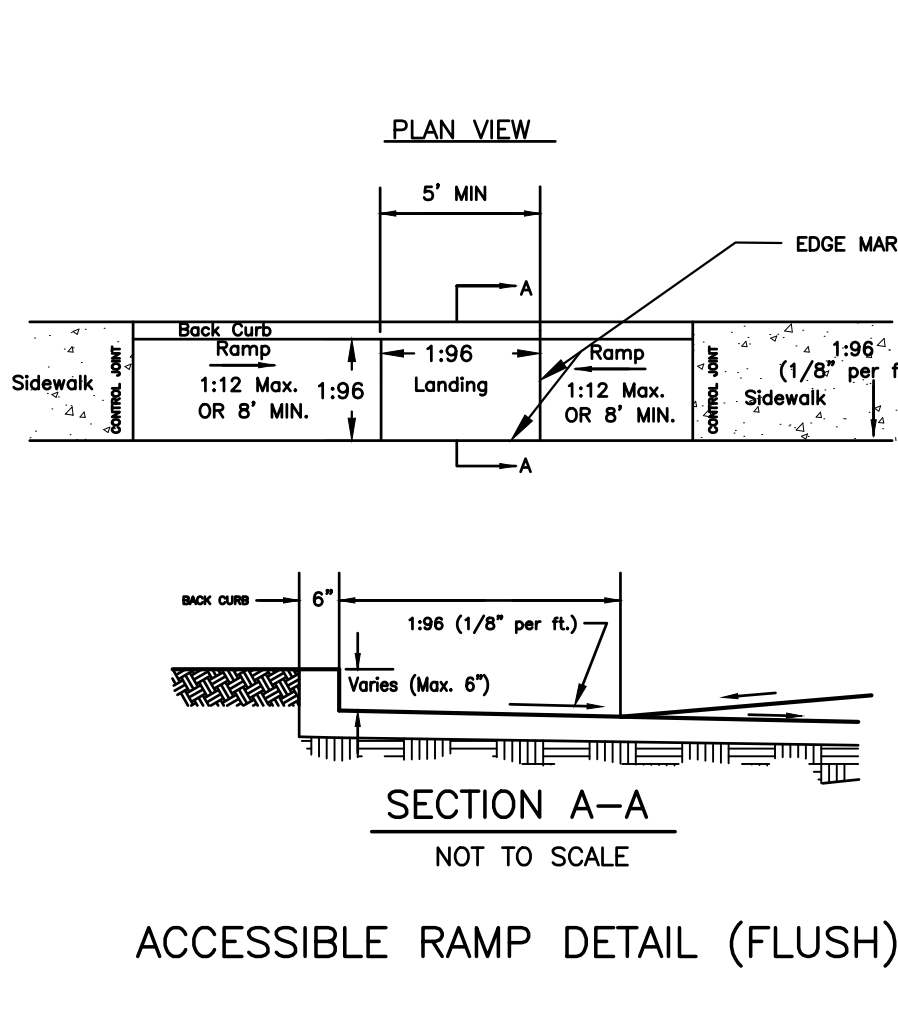
- Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
- Expansion joints will also be required at tangent points, ramps, and inlets.
- Contraction joints are to be cut into curb and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
- There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
- Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

NOT TO SCALE



- FOR CURB RADIUS GREATER THAN 25'.
- SEE CURB RAMP STANDARD DRAWINGS FOR CONSTRUCTION DETAILS.
- ALL MARKINGS TO CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE LAYOUT, SIZE, DIMENSIONS, HEIGHT OF THE DETECTABLE WARNINGS SHALL MEET THE LATEST DESIGN STANDARDS AS ISSUED BY THE ACCESS BOARD.
- THE DETECTABLE WARNINGS AND INSTALLATIONS SHALL MEET THE MFW SPECIFICATION 02523.
- IN THE EVENT OF ANY CONFLICT, DISCREPANCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.
- THE COLOR OF THE DETECTABLE WARNING STRIP SHALL BE "SAFETY YELLOW".

NOT TO SCALE



- FOR CURB RADIUS GREATER THAN 25'.
- SEE CURB RAMP STANDARD DRAWINGS FOR CONSTRUCTION DETAILS.
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NOT TO SCALE

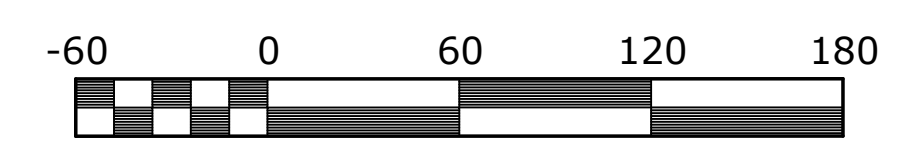
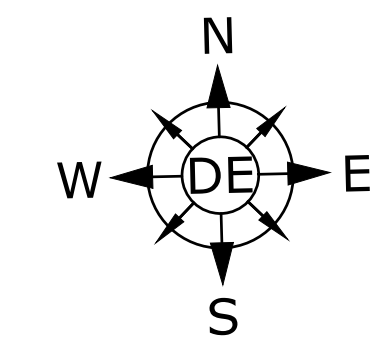
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIR. OF ENG.: Mark Harty DATE: 5/12/03  
 NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP  
 DWG. NO. ST-324  
 REVISION: 07/27/02  
 REVISION: 09/26/03

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIR. OF ENG.: Mark Harty DATE: 2/15/04  
 SIDEWALK CONSTRUCTION  
 DWG. NO. ST-210  
 REVISION: 05/22/03  
 REVISION: 11/24/03  
 REVISION: 06/23/04

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIR. OF ENG.: Mark Harty DATE: 5/12/03  
 STANDARD CURB WITH GUTTER  
 DWG. NO. ST-200  
 REVISION: 07/27/00  
 REVISION: 06/02/03

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIR. OF ENG.: Mark Harty DATE: 4/17/05  
 DETECTABLE WARNINGS AT NASHVILLE AND DAVIDSON COUNTY CURB RETURNING WITH RADIUS GREATER THAN 25'  
 DWG. NO. ST-330  
 REVISION: 06/17/05  
 REVISION: 09/13/04

Revisions:



Scale 1" = 60'  
Site Area = 23.9 acres

**Developer**  
Beazer Homes, LLC  
501 Corporate Center Drive,  
Suite 180  
Franklin, TN 37067  
Phone: (615) 630-8976

**Floodnote**  
No portion of this property is  
located in a flood zone as depicted  
on FEMA Map Number  
47037C0286H.  
Dated April 5, 2017.

**Engineer**  
Dewey Engineering  
Contact: Michael Dewey  
2925 Berry Hill Dr  
Nashville, TN 37204  
Phone: (615) 401-9956

Date: May 6, 2021

**Tulip Grove & Central Pike**  
Preliminary Specific Plan  
Being Parcels 104, 105, 279 & 351 on Tax Map 86  
Hermitage, Davidson County, Tennessee

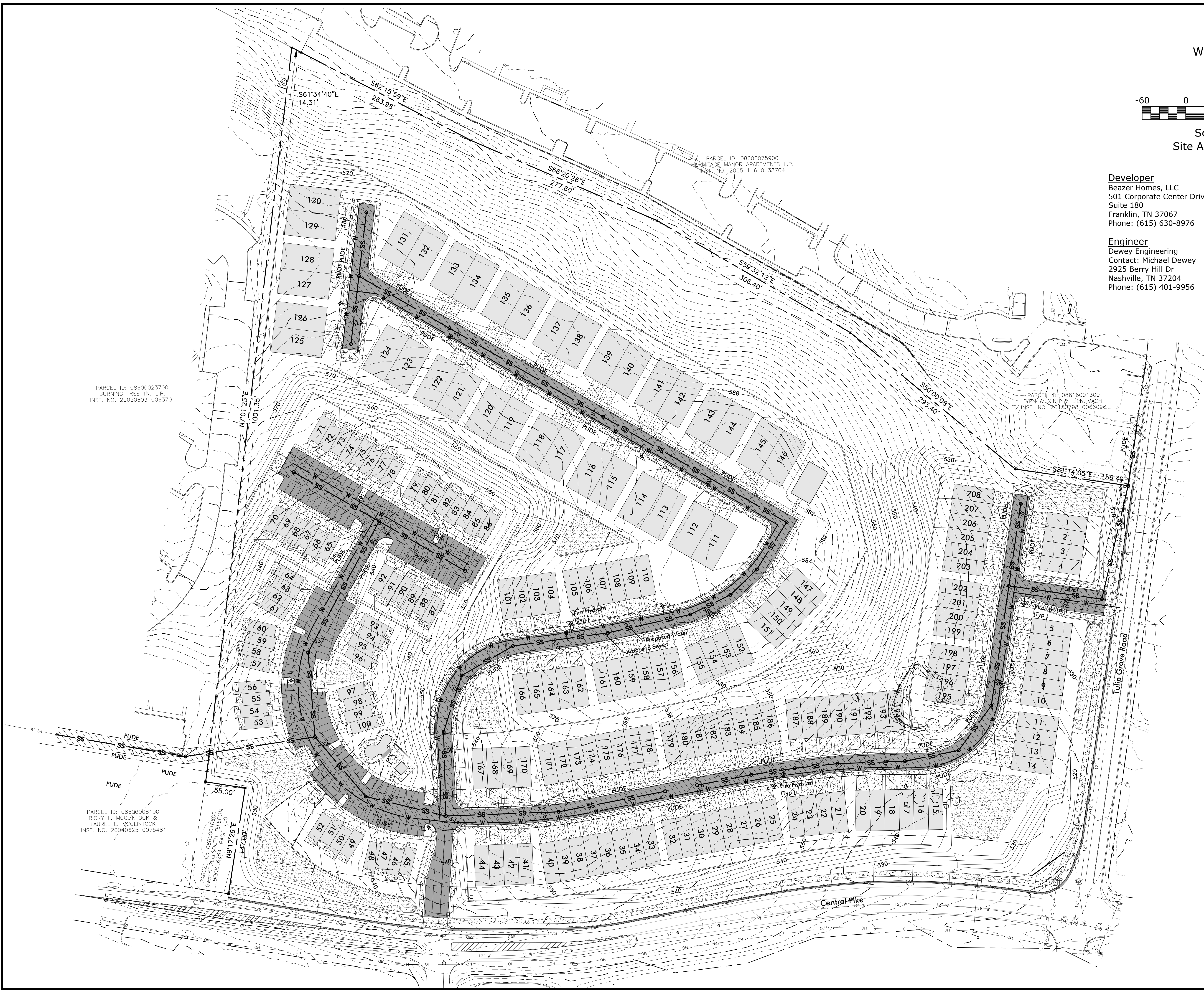


Overall W&S  
Plans

Job No. 20054

**C5.0**

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PARCEL ID: 08600023700  
BURNING TREE TN, L.P.  
INST. NO. 20050603 0063701

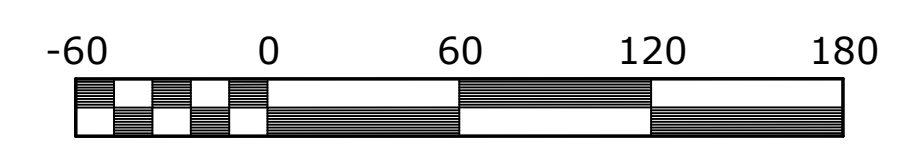
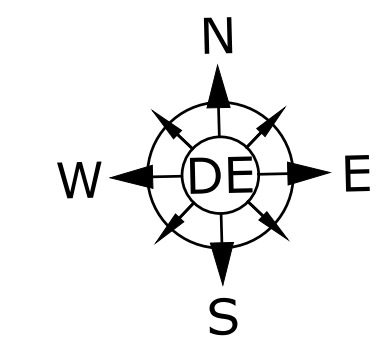
PARCEL ID: 08600075900  
HERITAGE MANOR APARTMENTS L.P.  
INST. NO. 20051116 0138704

PARCEL ID: 08616001300  
YEN & XING & LIEN, MACH  
INST. NO. 20150708 0066096

PARCEL ID: 08600908400  
RICKY L. MCCLINTOCK &  
LAUREL L. MCCLINTOCK  
INST. NO. 20040625 0075481

PARCEL ID: 08600010600  
OWNERS: SOUTHWEST TETCOM  
BOOK: 8834, PAGE 150  
INST. NO. 20040625 0075481

Revisions:



Scale 1" = 60'  
Site Area = 23.9 acres

**Developer**  
Beazer Homes, LLC  
501 Corporate Center Drive,  
Suite 180  
Franklin, TN 37067  
Phone: (615) 630-8976

**Floodnote**  
No portion of this property is  
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Dated April 5, 2017.

**Engineer**  
Dewey Engineering  
Contact: Michael Dewey  
2925 Berry Hill Dr  
Nashville, TN 37204  
Phone: (615) 401-9956

Date: May 6, 2021

# Tulip Grove & Central Pike

## Preliminary Specific Plan

Being Parcels 104, 105, 279 & 351 on Tax Map 86  
Hermitage, Davidson County, Tennessee



Landscape  
Plan

Job No. 20054

# C6.0

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