

S.P. PLAN FOR MARINA GROVE FAM PROPERTIES LLC.

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CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS • LAND PLANNERS
CIVIL-DESIGN-CONSULTANTS, LLC
8170 COLEY DAVIS RD., NASHVILLE, TN, 37221
PHONE: (615) 319-2734 EMAIL: CIVILCONSULTANTS@ELLSOUTH.NET

OWNER NOTE:

OWNER: FAM PROPERTIES LLC.

RESIDENTIAL UNITS NOTE:

ALL RESIDENTIAL UNITS ARE TO BE OWNER OCCUPIED. STRPS BOTH OWNER AND NON OWNER OCCUPIED SHALL BE PROHIBITED.

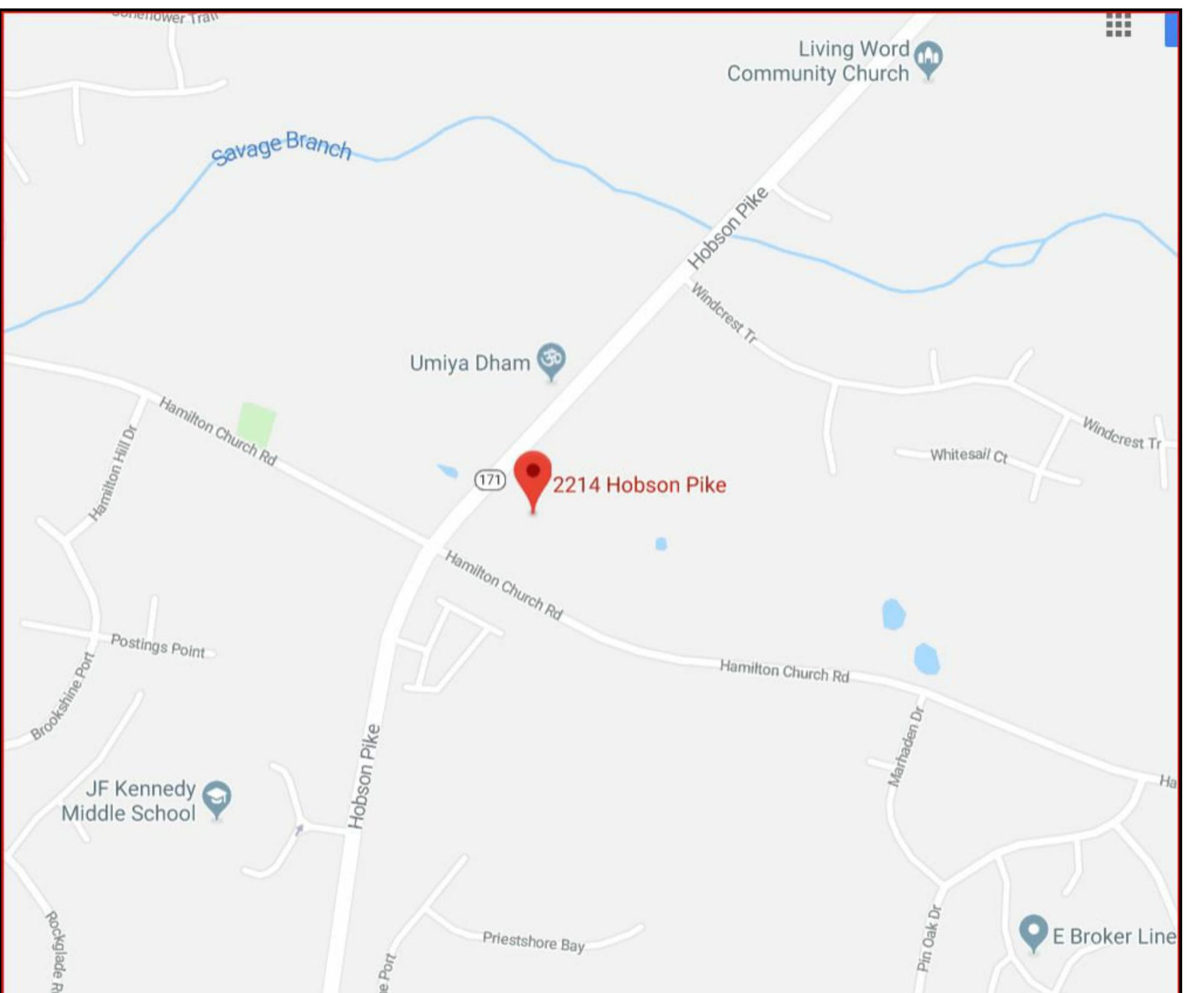
PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO PERMIT 52 MULTI-FAMILY RESIDENTIAL UNITS AND 16,900 SQUARE FEET OF NON-RESIDENTIAL USES AS PERMITTED BY THE CN ZONING DISTRICT.

RETAIL WILL NOT INCLUDE BAR, NIGHTCLUB, BEER AND CIGARETTE MARKET USES IN THE SP. ALL OTHER USES COMPLIANT WITH THE CN ZONE WILL BE PERMITTED. USES SHALL BE DEFINED ON THE PLAN CONSISTENT WITH THE LAND USE TABLE OF THE METRO ZONING ORDINANCE.

FALLBACK ZONING:

ZONING WOULD BE RM-20 FOR RESIDENTIAL AND CN FOR THE COMMERCIAL PORTION.



LOCATION MAP
NOT TO SCALE

2214 HOBSON PIKE
EIGHTH COUNCILMANIC DISTRICT

METRO NASHVILLE, DAVIDSON COUNTY, TENNESSEE

METRO SP APPLICATION #:
CASE 2021SP-057-001

METRO SP EPERMITS #:
PLSP 202100777

MARINA GROVE
SP PLAN
METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

COVER SHEET

CIVIL DESIGN CONSULTANTS, LLC
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Metro Planning - Street Signs (public or private street): "No building permit may be issued on any lot until street name signs are installed and verified by the Metropolitan Department of Public Works on all streets on which the lot depends for access."

Metro Planning - Federal Compliance: All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act. ADA: <http://www.ada.gov> U.S. Justice Dept: http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm

Metro Water Services - Stormwater (78-840): "Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78-840 and approved by The Metropolitan Department of Water Services."

Metro Water Services - Stormwater (waterway buffer): "The buffer along waterways will be an area where the surface is left in a natural state and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual, Volume 1 Regulations."

Metro Water Services - Stormwater (Culvert/Driveway): Where applicable, "Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual. (Minimum driveway culvert in Metro ROW is 15" CMP)."

Metro Water Services - Stormwater (Preliminary Plan/Plan): "This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application."

Metro Water Services - Stormwater (Access): "Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property."

Greenways: "Except as authorized by approved construction plans, no grading, cutting of trees, or disturbance of natural features shall be performed within this easement."

Metro Fire Marshal: "The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit."

Metro Water Services - Water & Sewer (Unknown commercial/industrial Use): "Note to Prospective Owners:

You are strongly advised to contact Metro Water Services Engineering (Development Services) to determine adequacy of public water and sewer facilities for intended development of property."

Metro Water Services - Water & Sewer: "Individual water and/or sanitary sewer service lines are required for each parcel."

RETAIL WILL NOT INCLUDE BAR, NIGHTCLUB, BEER AND CIGARETTE MARKET USES IN THE SP. ALL OTHER USES COMPLIANT WITH THE CN ZONE WILL BE PERMITTED. USES SHALL BE DEFINED ON THE PLAN CONSISTENT WITH THE LAND USE TABLE OF THE METRO ZONING ORDINANCE

DESIGN STANDARDS:
A. BUILDING FAÇADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING.
B. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
C. BUILDING FAÇADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
D. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
E. A RAISED FOUNDATION OF 18"- 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE TO THE MIDPOINT OF THE PRIMARY ROOF PITCH OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF.

THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTRAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN ANY REQUIRED SIDEWALK AND GRASS STRIP OR FRONTRAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED GRASS STRIP OR FRONTRAGE ZONE.

SHORT TERM RENTALS (STRPS) OWNER OCCUPIED AND NOT OWNER OCCUPIED SHALL BE PROHIBITED

MAXIMUM ISR= 0.70
MAXIMUM FAR= 0.21
MAXIMUM HEIGHT = 35' AS MEASURED PER ABOVE

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP

FORMAL OPEN SPACES WILL HAVE HARDSCAPE FEATURES INCLUDING PARK BENCHES, FIRE PITS, AND A COMMUNITY FLOWER/VEGETABLE GARDEN AREAS. THESE AREAS WILL BE DESIGNED TO ALLOW FOR THE USE OF RESIDENTS AND THEIR GUESTS TO ENJOY OUTDOOR ACTIVITIES AND ARE APPROPRIATE IN SIZE TO PERMIT LARGER GATHERINGS.

ALL RESIDENTIAL UNITS SHALL ORIENT TO A PRIVATE OR COMMON OPEN SPACE. PRIMARY PEDESTRIAN ENTRANCES SHALL NOT ORIENT TO SURFACE PARKING.

① REV. (JRG) 6-30-2024
METRO COMMENTS

② REV. (JRG) 11-17-2025
METRO COMMENTS

REVISIONS
DESIGNED BY: J. GRAY
DRAWN BY: J. GRAY
APPROVED BY: J. GRAY
SCALE: AS NOTED
DATE: JANUARY 2, 2019
JOB NO. WK. ORDER 17-100 001

SHEET NO.

CS

LEGEND

- PROPOSED PROPERTY CORNER
- EXISTING PROPERTY CORNER
- UNMONUMENTED POINT
- TREE
- EXISTING PROPERTY LINE
- EXISTING FENCE
- NOT TO SCALE
- POINT OF BEGINNING
- IRON ROD OLD
- IRON ROD NEW
- IRON PIPE OLD
- METAL POST OLD
- RIGHT OF WAY
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE

N.T.S.
P.O.B.
IR(O)
IR(N)
IP(O)
M POST(O)
R/W
CQ
S

EXISTING ROW DISTANCE

EXISTING DISTANCE OF RECORDED PROPERTY LINE TO CENTERLINE OF HOBSON PIKE IS 40' ACROSS FRONTAGE (TYP)





MARINA GROVE

PRELIMINARY SP PLAN
METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE
OVERALL PROPERTY GRADING/DRAINAGE EROSION CONTROL PLAN

SEDIMENT POND MAINTENANCE:

1. THE BASIN EMBANKMENT SHOULD BE CHECKED WEEKLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
2. THE EMERGENCY SPILLWAY SHOULD BE CHECKED WEEKLY TO ENSURE THAT THE LINING IS WELL ESTABLISHED AND EROSION-RESISTANT.
3. THE BASIN SHOULD BE CHECKED AFTER RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT. WHEN THE SEDIMENT REACHES THE CLEAN-OUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF. (SEE BERM/OUTLET DRAINAGE SECTION DETAIL)

EROSION/SILTATION CONTROL NOTES

1. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
2. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
3. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
4. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
5. FENCES SHOWN THUS [REDACTED] ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. FENCES ARE TO BE FIRM AND SECURELY TIED WITH PLASTIC OR WIRE BANDING. FENCES ARE TO BE PLACED TOUCHING AND FIRMLY ANCHORED TO THE GROUND WITH STEEL DRIFT PINS OR WOODEN STAKES AS SHOWN IN DETAIL.
6. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
7. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
8. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEEP SOIL COVER. AREAS LESS THAN 6-INCHES DEEP TO RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
9. UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NON-DISTURBED AREAS OF THE PROJECT.
10. A STONE AGGREGATE RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
11. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.

CONCRETE WASH DOWN/EQUIPMENT FUELING NOTE:

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13 RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING.

POST CONSTRUCTION BMP/WATER QUALITY NOTE:

TO MEET THE METRO DEPARTMENT OF STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A REINFORCED STORMWATER TREATMENT POND WITH BMP OUTLET. PRE-TREATMENT SHALL BE ACCOMPLISHED THROUGH THE USE OF A TREATMENT TRAIN INCLUDING RAIN GARDENS, A FOREBAY WITH LEVEL SPREADER AND EXTENDED DETENTION TO A WATER QUALITY OUTLET STRUCTURE. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHOSPHOREMEDICATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE METRO DEPARTMENT OF STORMWATER REGULATIONS.

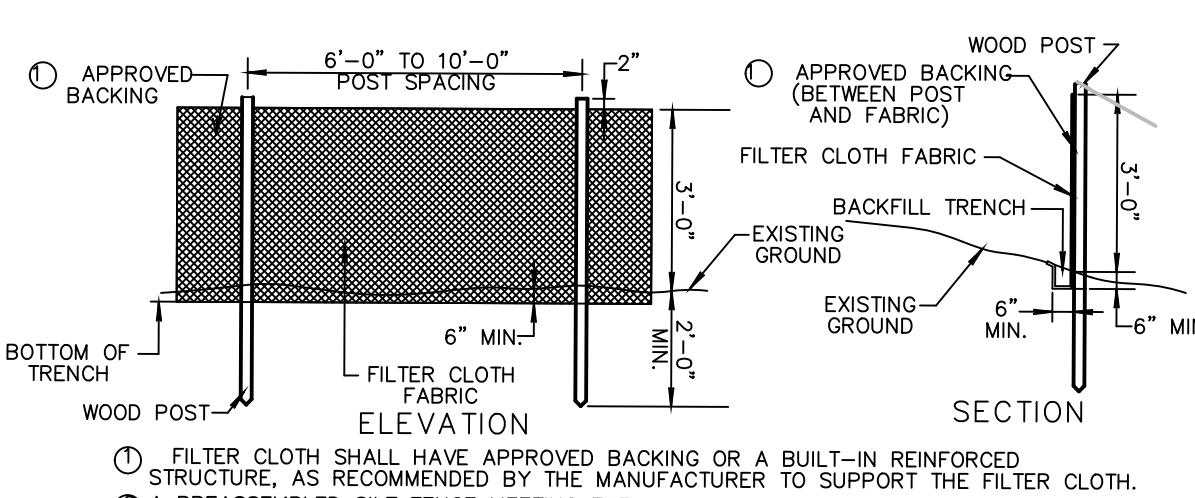
I, JARED GRAY, PE, LICENSED CIVIL ENGINEER
HAVE REVIEWED THE PLAN FOR SUFFICIENT
ON SITE TEMPORARY EROSION AND SEDIMENT CONTROL
PROVISIONS. ADDITIONAL MEASURES MAY BE REQUIRED
AS FIELD CONDITIONS WARRANT.

6-30-24
EROSION CONTROL SPECIALIST DATE

AS THE DESIGN ENGINEER RESPONSIBLE FOR THE
DEVELOPMENT OF THESE PLANS, I DO HEREBY CERTIFY
THAT THIS DEVELOPMENT WILL DISTURB ONE (1) OR
MORE ACRES, AND A N.O.L. IS REQUIRED TO BE FILED WITH
THE STATE OF TENNESSEE.

6-30-24
ENGINEER DATE

WATER QUALITY DEVICE AS-BUILT NOTE:
IN ACCORDANCE WITH THE METRO STORM WATER MANAGEMENT MANUAL
VOLUME 1, SECTION 3.6, AS-BUILT CERTIFICATIONS, MWS STORM WATER
DIVISION, THE DESIGNER IS RESPONSIBLE FOR AS-BUILDING AND ISSUANCE OF
THE USE & OCCUPANCY PERMIT.
- UNDER CONSTRUCTION: WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- DUG-OUT AND FILL IN THE FLOOR PLANE
- SINK HOLE ALTERATIONS

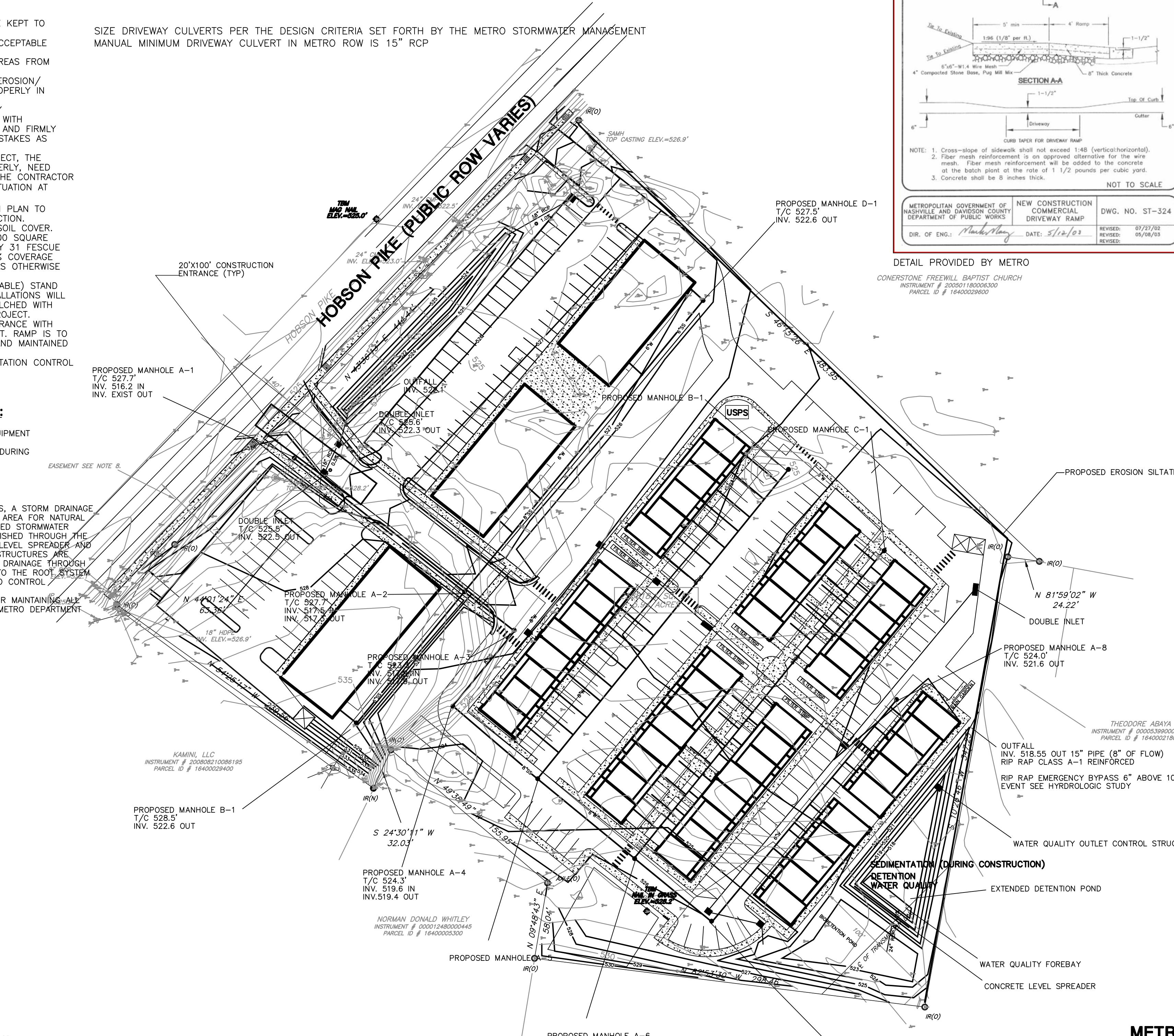


EROSION/SILTATION FENCING

NOT TO SCALE

ALL STORM PIPES TO BE RCP
ALL PUBLIC SEWER PIPES TO BE DIP
ALL PRIVATE SEWER PIPES TO BE SDR-21
ALL PUBLIC WATER TO BE DIP
ALL PRIVATE (DOMESTIC) WATER TO BE COPPER

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT
MANUAL MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP



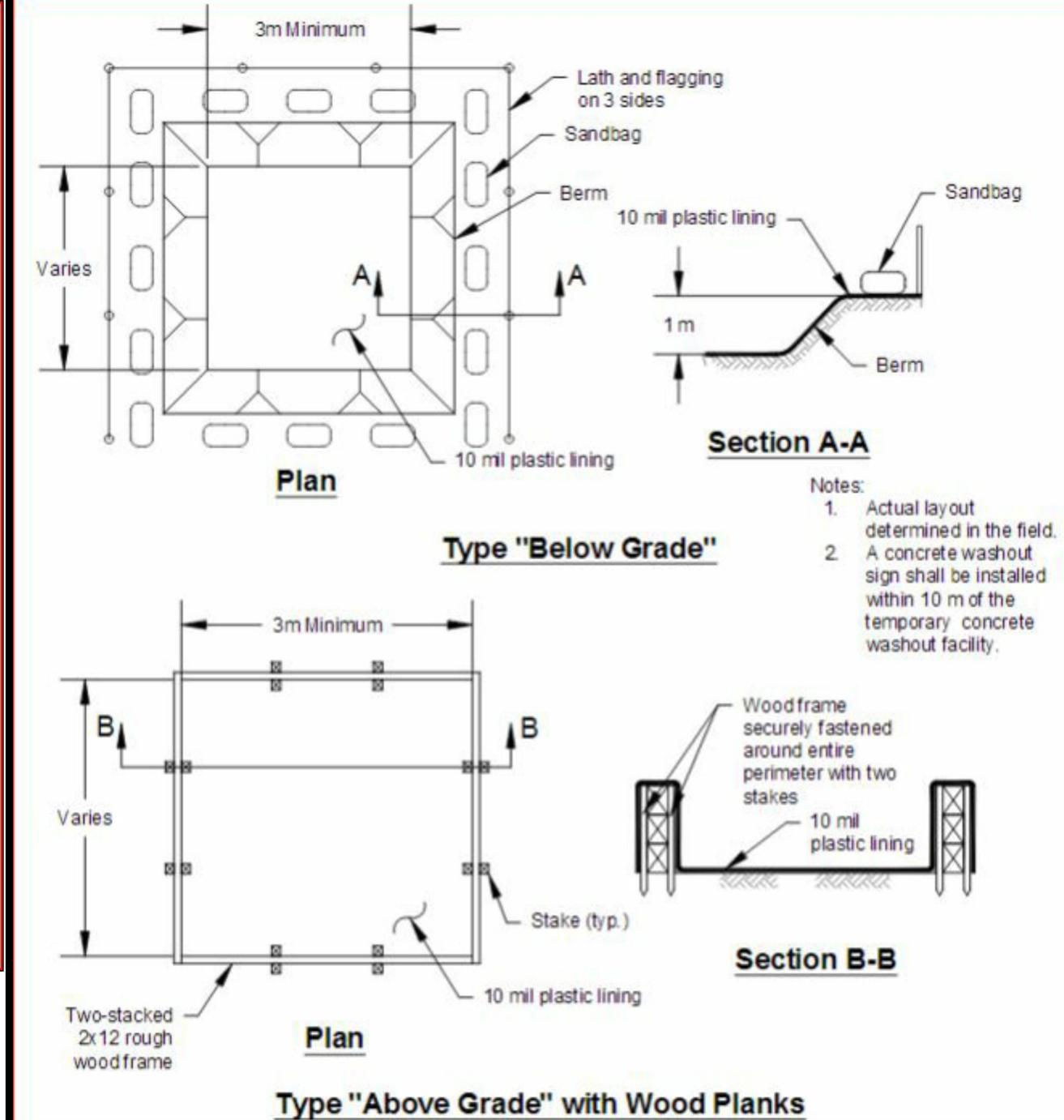
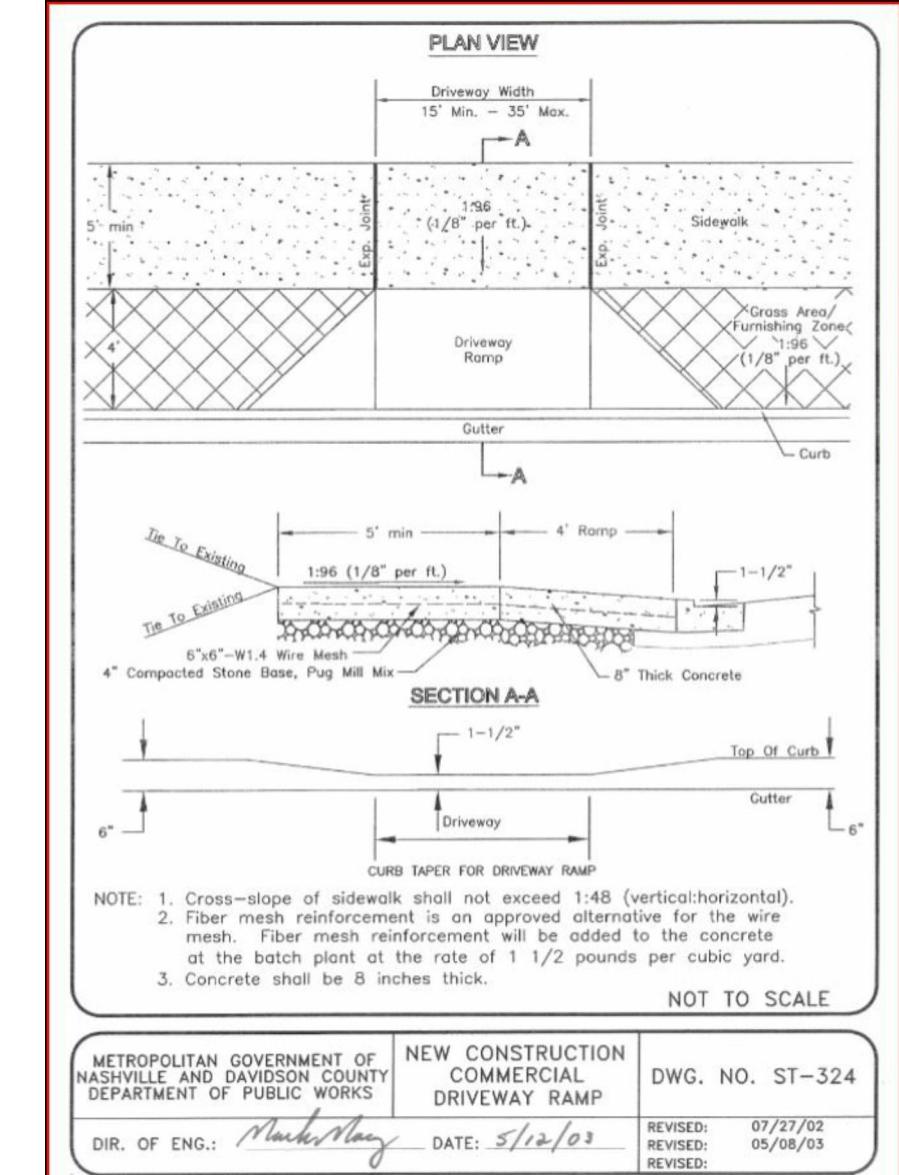
EMERGENCY OVERFLOW - POND #1

NOT TO SCALE

STANDARD STORMWATER DETAILS

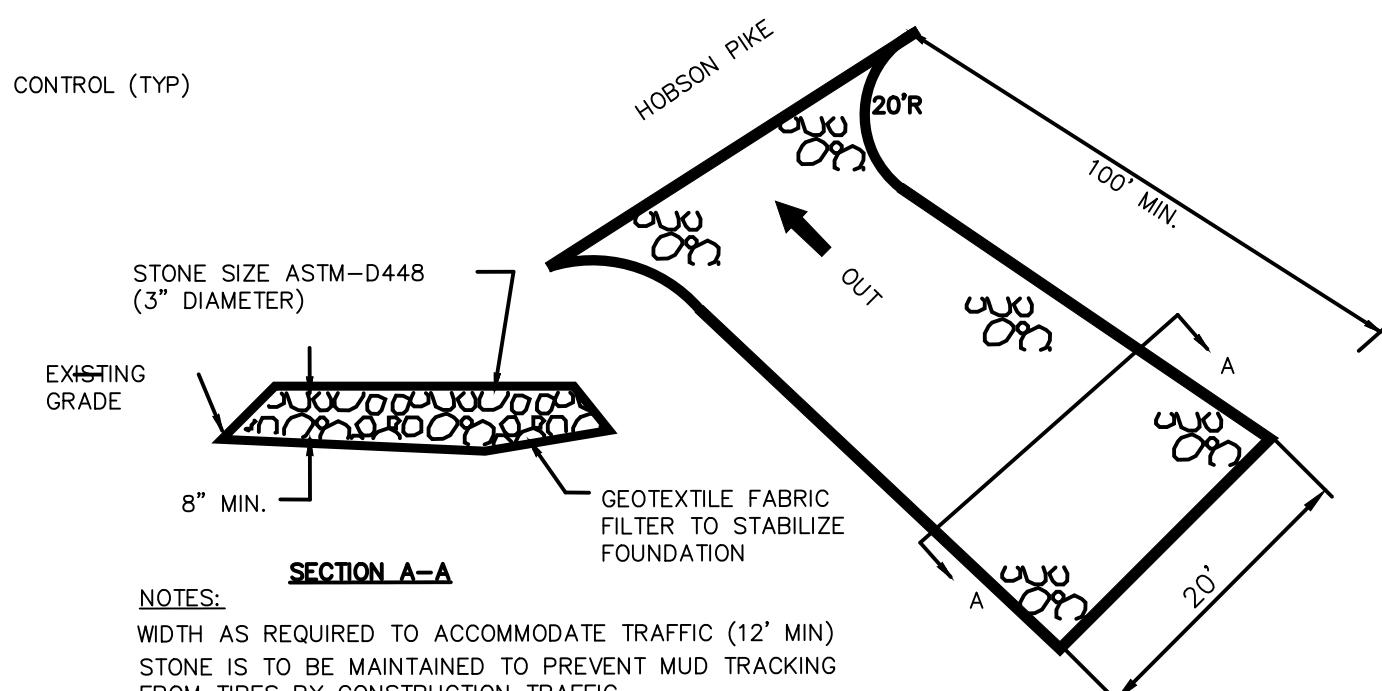
<http://www.nashville.gov/Water-Services/Developers/Stormwater-Review/Stormwater-Management-Manual/Best-Management-Practices.aspx>

- TCP-01 TIRE WASHING
- TCP-03 CONSTRUCTION ENTRANCE
- TCP-12 CHECK DAM
- TCP-13 EROSION SILTATION CONTROL FENCING
- TCP-20 RIP RAP
- PTP-03 BIORETENTION
- PTP-06 DRY DETENTION



CONCRETE WASHOUT DETAIL

NTS



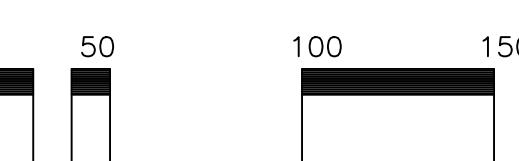
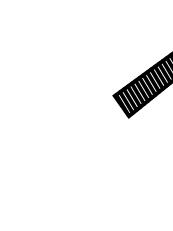
TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

METRO SP APPLICATION #:
CASE 2021SP-057-001



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1-615-366-1987
TENNESSEE ONE CALL
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METRO COMMENTS

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METRO COMMENTS

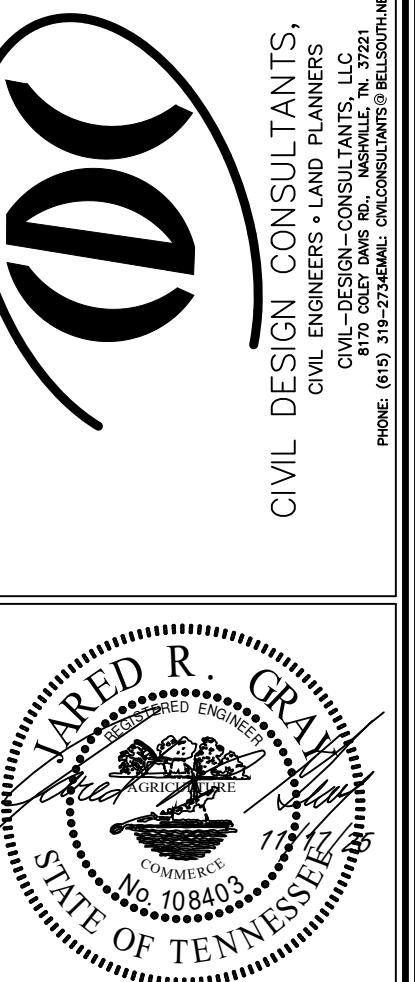
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DRAWN BY: J. GRAY
APPROVED BY: J. GRAY
SCALE: AS NOTED
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JOB NO. WK. ORDER
17-100 001
SHEET NO.
C2

MARINA GROVE

PRELIMINARY SP PLAN

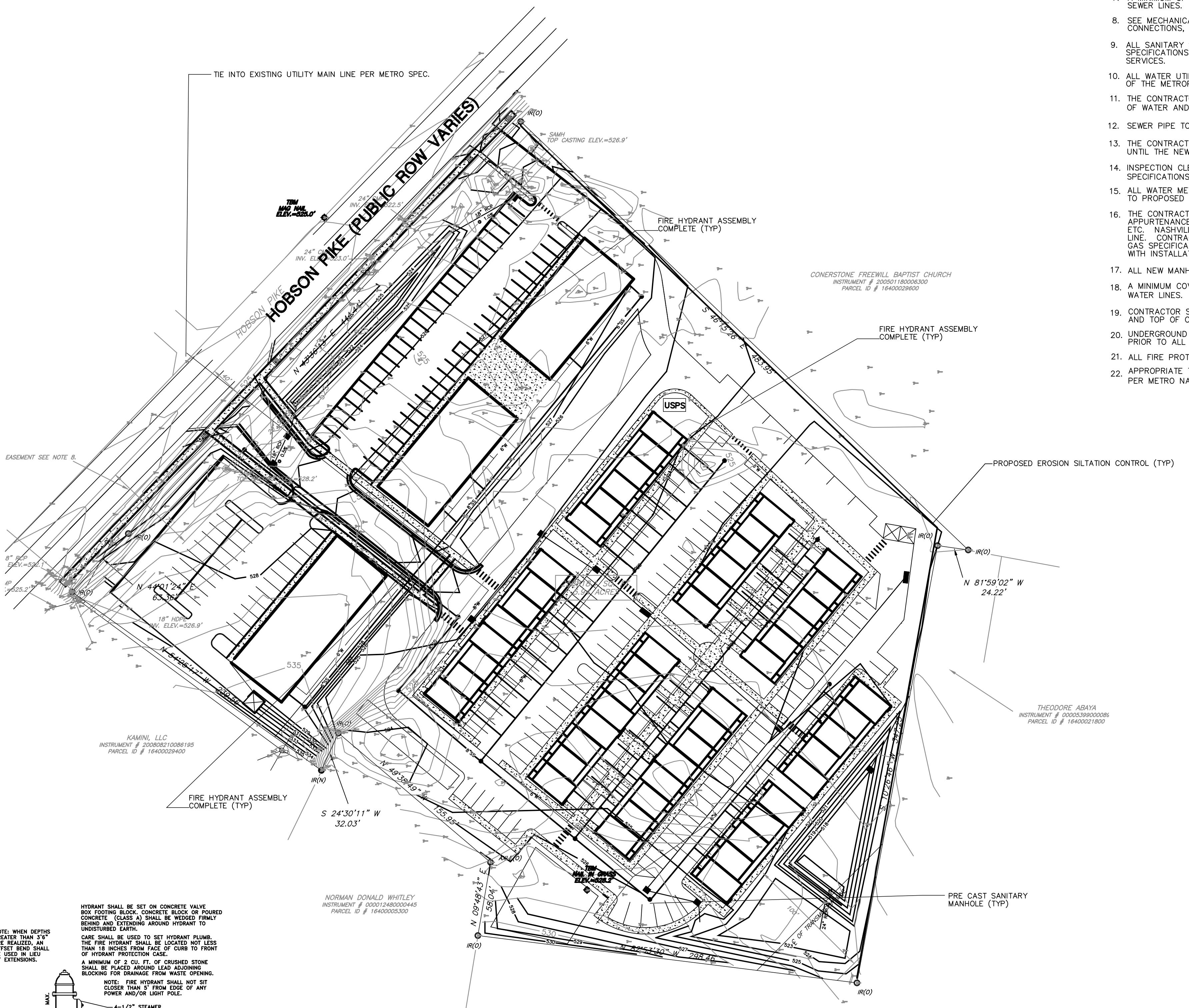
METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE
OVERALL PROPERTY | ITIITY BI AN

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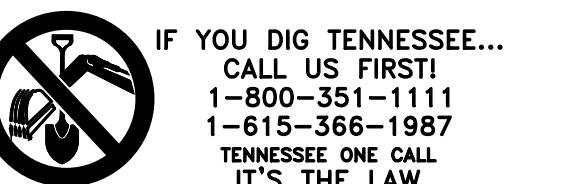
GENERAL UTILITY NOTES- NASHVILLE:

1. WHERE SEWER LINES PASS OVER OR WITHIN 2.5 FEET OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
2. ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE, AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS TO CONSTRUCT UTILITIES.
4. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS/FEES ASSOCIATED WITH CONSTRUCTION SHOWN ON DRAWINGS.
5. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING SEWERS, PRIOR TO CONSTRUCTION.
6. ALL CONNECTIONS TO EXISTING MANHOLE(S) SHALL BE CORING AND RESILIENT CONNECTOR METHOD.
7. A MINIMUM OF 3' GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER LINES.
8. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS.
9. ALL SANITARY SEWER UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICES.
10. ALL WATER UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICES.
11. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICES AND THE COST OF INSPECTION.
12. SEWER PIPE TO BE SDR-35 PLASTIC PIPE.
13. THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED DOMESTIC AND FIRE WATER SERVICE UNTIL THE NEW SYSTEM HAS BEEN COMPLETED, TESTED, AND APPROVED.
14. INSPECTION CLEANOUT TO BE INSTALLED ACCORDING TO METRO WATER AND SEWER SPECIFICATIONS.
15. ALL WATER METERS SHALL BE NO DEEPER THAN 24" FROM THE TOP OF THE METER TO PROPOSED GRADE.
16. THE CONTRACTOR IS REQUIRED TO PREPARE FOR INSTALLATION OF GAS APPURTENANCES INCLUDING, BUT NOT LIMITED TO, GRADING, TRENCHING, ETC. NASHVILLE GAS TO PROVIDE AND INSTALL APPURTENANCES AND LINE. CONTRACTOR TO BACKFILL TRENCH IN ACCORDANCE TO NASHVILLE GAS SPECIFICATIONS. CONTRACTOR SHALL PAY FOR ALL COSTS ASSOCIATED WITH INSTALLATION OF GAS LINES AND APPURTENANCES.
17. ALL NEW MANHOLE(S) TO HAVE A 24" CLEAR OPENING.
18. A MINIMUM COVER OF 24" SHALL BE MAINTAINED OVER ALL WATER LINES.
19. CONTRACTOR SHALL CONSTRUCT TOP OF CASTINGS OF MANHOLES AND TOP OF CLEANOUTS FLUSH WITH FINAL GRADES.
20. UNDERGROUND WATER MAINS AND HYDRANTS MUST BE INSTALLED AND IN SERVICE PRIOR TO ALL OTHER CONSTRUCTION WORK.
21. ALL FIRE PROTECTION LINES SHALL BE DUCTILE IRON.
22. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED PER METRO NASHVILLE\DAVIDSON COUNTY SPECIFICATIONS



ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH MWS STANDARD DETAILS

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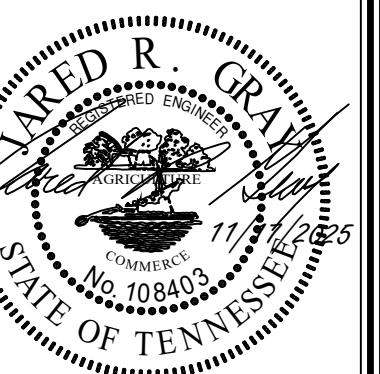
1	REV. (JRG) 6-30-2024 METRO COMMENTS
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c3

METRO FIRE HYDRANT ASSEMBLY (COMPLETE)

NOT TO SCALE

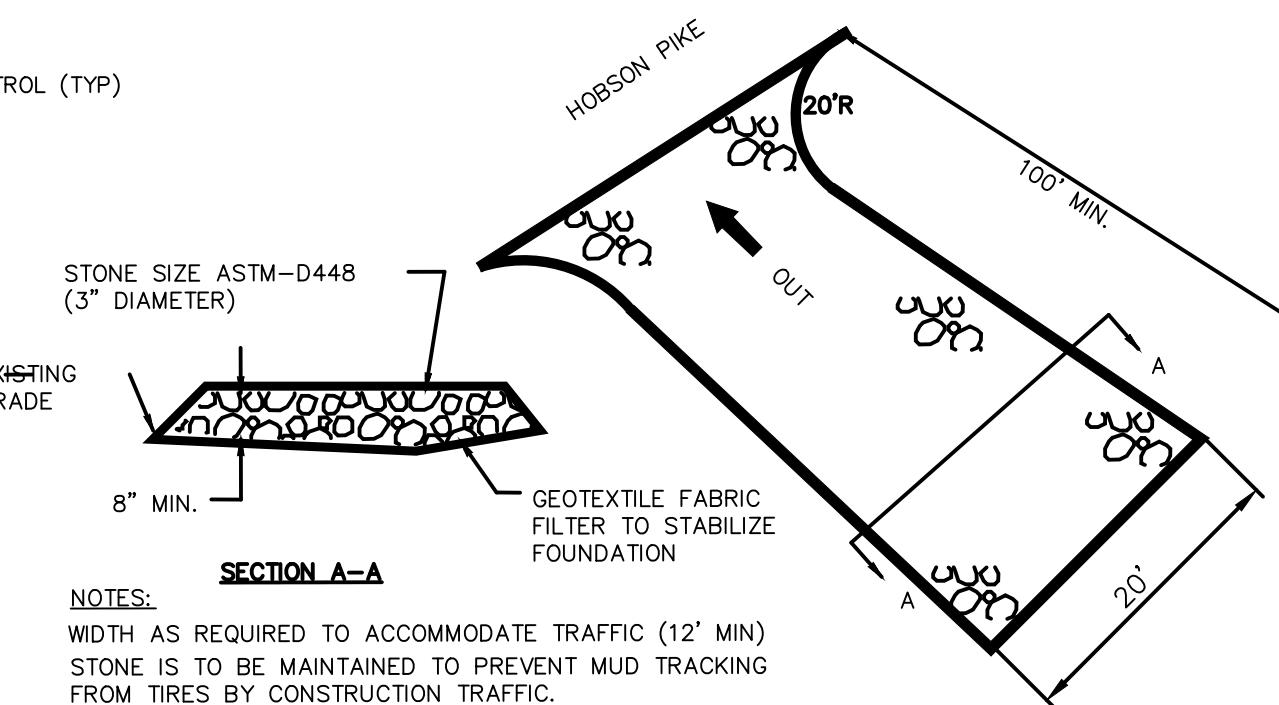
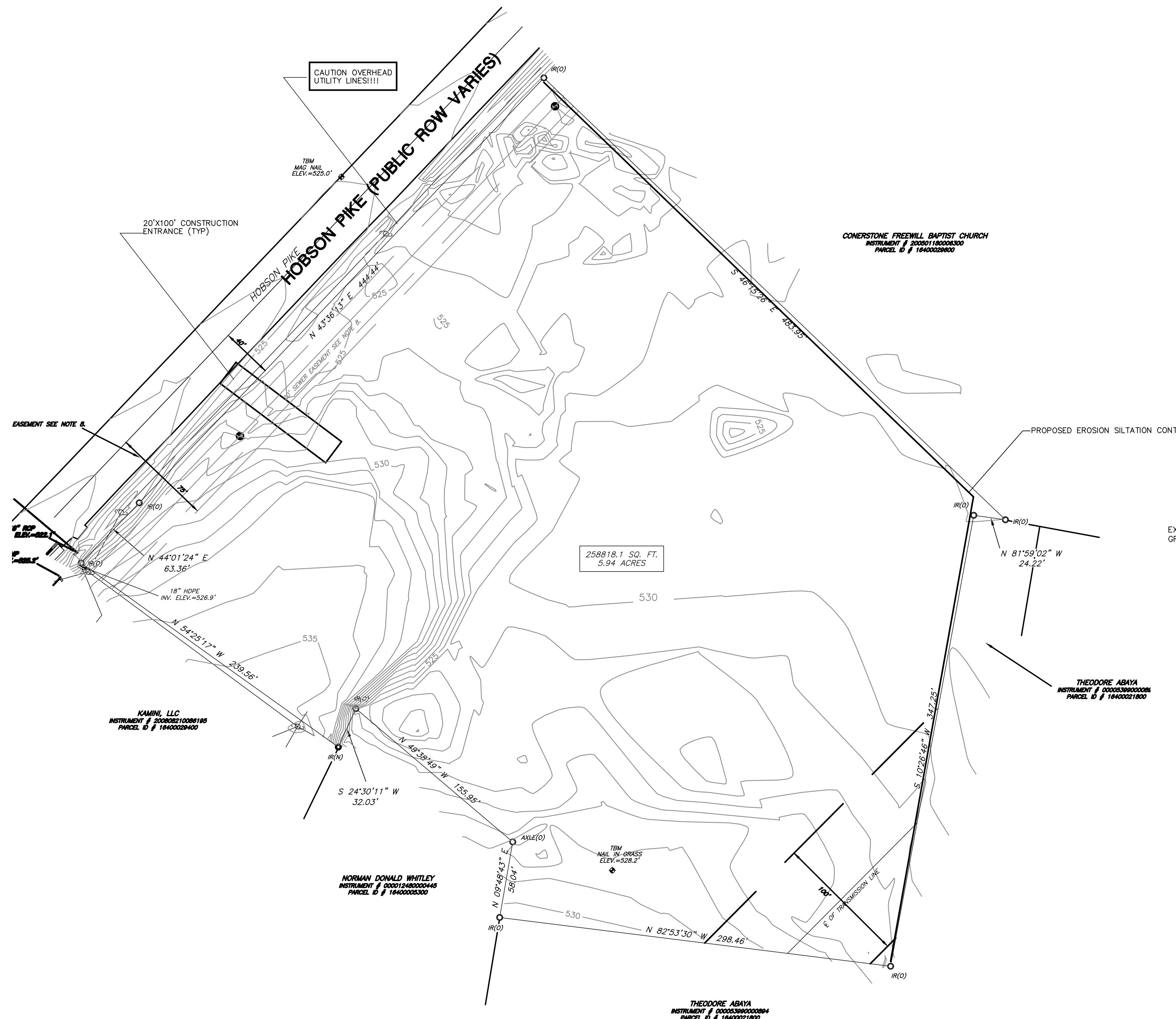
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MARINA GROVE

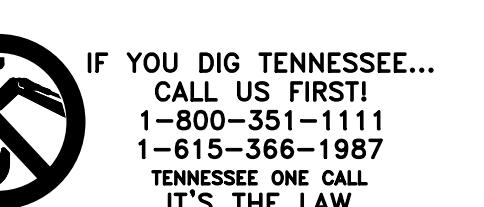
PRELIMINARY SP PLAN

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE
STORMWATER MANAGEMENT PLAN - INITIAL



TEMPORARY CONSTRUCTION ENTRANCE

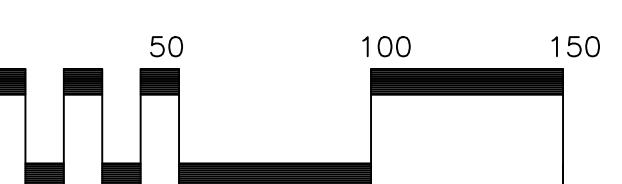
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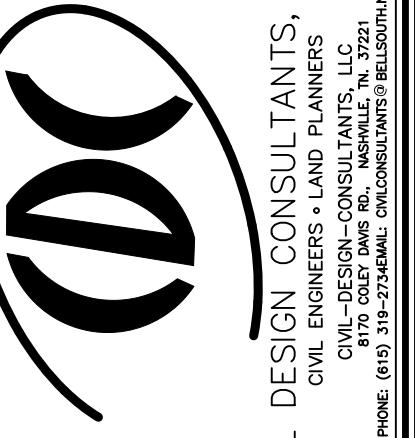
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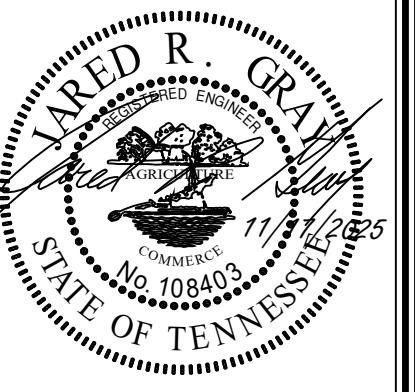
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C4



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PHONE: (615) 319-2734 EMAIL: CIVILCONSULTANTS@BELLSCOUTH.NET



MARINA GROVE

PREIMINARY SP PLAN

Digitized by srujanika@gmail.com

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

STORMWATER MANAGEMENT PLAN — INTERMEDIATE

(TYP)

HOBSON PIKE

20' R

100' MIN.

OUT

SECTION A-A

NOTES:

STONE SIZE ASTM-D448 (3" DIAMETER)

8" MIN.

GEOTEXTILE FABRIC FILTER TO STABILIZE FOUNDATION

20'

TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

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1 REV. (JRG) 6-30-2024
METRO COMMENTS

2 REV. (JRG) 11-17-2025

REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

SCALE: AS NOTED

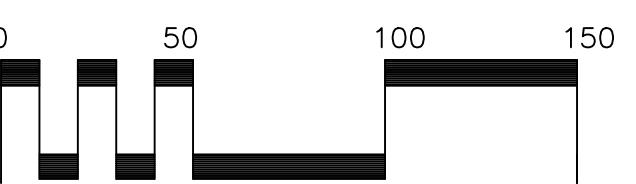
DATE: JANUARY 2, 2019

JOB NO. WK. ORDER
17 100 001

SHEET NO.

C4A

**METRO SP APPLICATION #:
CASE 2021SP-057-001**



MARINA GROVE

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

WATER MANAGEMENT PLAN — FINAL

CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS • LAND PLANNERS
CIVIL—DESIGN—CONSULTANTS, LLC
8170 COLEY DAVIS RD., NASHVILLE, TN. 37221
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MARINA GROVE

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

STORMWATER MANAGEMENT PLAN – FINAL

- REV. (JRG) 6-30-2024
METRO COMMENTS
- REV. (JRG) 6-23-2025
METRO COMMENTS
- REV. (JRG) 11-17-2025

REVIZIİNS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

SCALE: AS NOTED

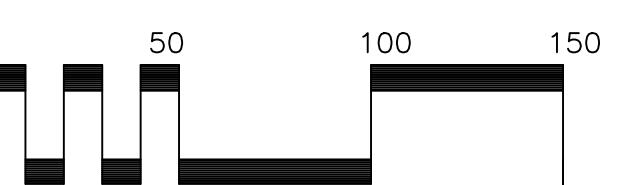
DATE: JANUARY 2, 2019

B NO. WK. ORDER

V=100 001

1990-1991

**METRO SP APPLICATION #:
CASE 2021SP-057-001**



C4B

