

S.P. PLAN  
FOR  
MARINA GROVE  
FAM PROPERTIES LLC.

PARCEL ID: 16400029500

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CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL-DESIGN-CONSULTANTS, LLC  
8170 COLEY DAVIS RD., NASHVILLE, TN 37221  
PHONE: (615) 319-2734 EMAIL: CIVILCONSULTANTS@BELLSOUTH.NET

OWNER NOTE:

OWNER: FAM PROPERTIES LLC.

RESIDENTIAL UNITS NOTE:

ALL RESIDENTIAL UNITS ARE TO BE OWNER OCCUPIED. STRPS BOTH OWNER AND NON OWNER OCCUPIED SHALL BE PROHIBITED.

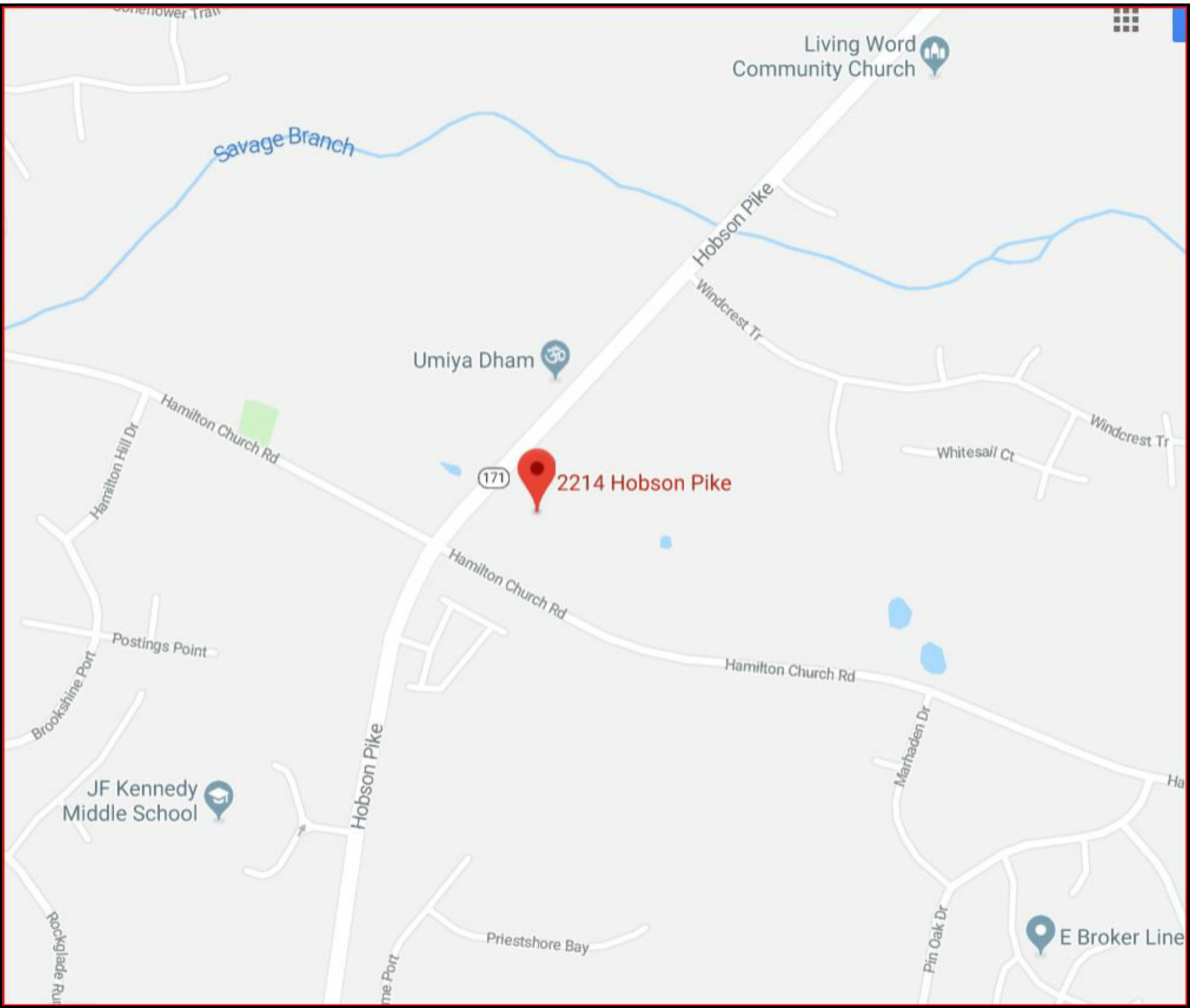
PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO PERMIT 52 MULTI-FAMILY RESIDENTIAL UNITS AND 16,900 SQUARE FEET OF NON-RESIDENTIAL USES AS PERMITTED BY THE CN ZONING DISTRICT

RETAIL WILL NOT INCLUDE BAR, NIGHTCLUB, BEER AND CIGARETTE MARKET USES IN THE SP. ALL OTHER USES COMPLIANT WITH THE CN ZONE WILL BE PERMITTED. USES SHALL BE DEFINED ON THE PLAN CONSISTENT WITH THE LAND USE TABLE OF THE METRO ZONING ORDINANCE

FALLBACK ZONING:

ZONING WOULD BE RM-20 FOR RESIDENTIAL AND CN FOR THE COMMERCIAL PORTION.



LOCATION MAP  
NOT TO SCALE

2214 HOBSON PIKE  
EIGHTH COUNCILMANIC DISTRICT  
METRO NASHVILLE, DAVIDSON COUNTY, TENNESSEE

**Metro Planning - Street Signs** (public or private street): "No building permit may be issued on any lot until street name signs are installed and verified by the Metropolitan Department of Public Works on all streets on which the lot depends for access."

**Metro Planning – Federal Compliance** All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act. ADA: <http://www.ada.gov/> U.S. Justice Dept.: [http://www.justice.gov/crt/housing/fairhousing/about\\_fairhousingact.htm](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)

**Metro Water Services - Stormwater** (78-840): "Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78-840 and approved by The Metropolitan Department of Water Services.

**Metro Water Services - Stormwater** (waterway buffer): "The buffer along waterways will be an area where the surface is left in a natural state and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual, Volume 1 Regulations.

**Metro Water Services - Stormwater** (Culvert/Driveway): Where applicable, "Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual. (Minimum driveway culvert in Metro ROW is 15" CMP)."

**Metro Water Services - Stormwater** (Preliminary Plan/Plan): "This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application."

**Metro Water Services – Stormwater** (Access): "Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.

**Greenways:** "Except as authorized by approved construction plans, no grading, cutting of trees, or disturbance of natural features shall be performed within this easement."

**Metro Fire Marshal:** "The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit."

**Metro Water Services - Water & Sewer** (Unknown commercial/industrial Use):  
"Note to Prospective Owners:  
You are strongly advised to contact Metro Water Services Engineering (Development Services) to determine adequacy of public water and sewer facilities for intended development of property. "  
**Metro Water Services - Water & Sewer:** "Individual water and/or sanitary sewer service lines are required for each parcel."

RETAIL WILL NOT INCLUDE BAR, NIGHTCLUB, BEER AND CIGARETTE MARKET USES IN THE SP. ALL OTHER USES COMPLIANT WITH THE CN ZONE WILL BE PERMITTED. USES SHALL BE DEFINED ON THE PLAN CONSISTENT WITH THE LAND USE TABLE OF THE METRO ZONING ORDINANCE

- DESIGN STANDARDS:
- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 15% GLAZING.
  - WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS.
  - BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THE PRELIMINARY SP.
  - PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
  - A RAISED FOUNDATION OF 18"- 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE TO THE MIDPOINT OF THE PRIMARY ROOF PITCH OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF.

THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN ANY REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE.

SHORT TERM RENTALS (STRPS) OWNER OCCUPIED AND NOT OWNER OCCUPIED SHALL BE PROHIBITED

MAXIMUM ISR= 0.70  
MAXIMUM FAR= 0.21  
MAXIMUM HEIGHT = 35' AS MEASURED PER ABOVE

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP

FORMAL OPEN SPACES WILL HAVE HARDSCAPE FEATURES INCLUDING PARK BENCHES, FIRE PITS, AND A COMMUNITY FLOWER/VEGETABLE GARDEN AREAS. THESE AREAS WILL BE DESIGNED TO ALLOW FOR THE USE OF RESIDENTS AND THEIR GUESTS TO ENJOY OUTDOOR ACTIVITIES AND ARE APPROPRIATE IN SIZE TO PERMIT LARGER GATHERINGS.

ALL RESIDENTIAL UNITS SHALL ORIENT TO A PRIVATE OR COMMON OPEN SPACE. PRIMARY PEDESTRIAN ENTRANCES SHALL NOT ORIENT TO SURFACE PARKING.



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MARINA GROVE

SP PLAN

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

COVER SHEET

- REV. (JRG) 6-30-2024  
METRO COMMENTS
- REV. (JRG) 11-17-2025  
METRO COMMENTS

REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

SCALE: AS NOTED

DATE: JANUARY 2, 2019

JOB NO. WK. ORDER  
17-100 001

SHEET NO.

CS

METRO SP APPLICATION #:  
CASE 2021SP-057-001

METRO SP EPERMITS #:  
PLSP 202100777

LEGEND

- PROPOSED PROPERTY CORNER

EXISTING PROPERTY CORNER

UNMONUMENTED POINT

TREE
- EXISTING PROPERTY LINE
- EXISTING FENCE
- N.T.S.

NOT TO SCALE
- P.O.B.

POINT OF BEGINNING
- IR(O)

IRON ROD OLD
- IR(N)

IRON ROD NEW
- IP(O)

IRON PIPE OLD
- M POST(O)

METAL POST OLD
- R/W

RIGHT OF WAY
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE

EXISTING ROW DISTANCE

EXISTING DISTANCE OF RECORDED PROPERTY LINE TO CENTERLINE OF HOBSON PIKE IS 40' ACROSS FRONTAGE (TYP)

GEOTECHNICAL NOTE:

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

GENERAL NOTES

1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE PROPOSED PROFILE PLAN. PROPER PLANS SHOULD BE USED FOR ALL NEEDED STAKING.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., ARE NOT SHOWN ON THIS PORTION OF THE PLANS BUT ARE AVAILABLE FROM THE EXISTING UTILITY PROVIDERS. HOWEVER, CIVIL DESIGN CONSULTANTS, LLC, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AS HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF APPROPRIATE DEPARTMENTS HAVING JURISDICTION WITHIN METRO NASHVILLE, DAVIDSON COUNTY.
6. IF, DURING THE CONSTRUCTION OF THIS PROJECT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
9. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
10. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
11. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 100% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.

SITE PREPARATION NOTES:

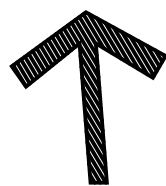
1. BEFORE ANY CLEARING/GRUBBING WORK IS INITIATED, THE CONTRACTOR AND REPRESENTATIVES OF BOTH ARCHITECT AND CIVIL ENGINEER WILL "WALK-OUT" THE "LIMIT OF CLEAR LINE" AND INSURE THAT IT IS CLEARLY MARKED AND VISIBLE.
2. THE SCOPE OF CONTRACT SITE PREPARATION SHALL INCLUDE CLEARING AND GRUBBING, EXCAVATION AND DISPOSAL OF ALL REMOVED TREES, VEGETATION AND OTHER DELETERIOUS MATERIAL. THE SITE PREPARATION CONTRACTOR SHALL ACCOMPLISH GRADING TO REQUIRED SUBGRADE; HOWEVER, PROPOSED CONTOURS ARE SHOWN TO FINISH SURFACE GRADE.
3. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF WORK ON THE PROJECT.
4. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.

EXISTING CONDITIONS NOTE:

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA PROVIDED BY BROWN LAND SURVEYING, LLC. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.



IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



METRO SP APPLICATION #:  
CASE 2021SP-057-001



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
OWNERS: JAMES R. GRAY, JR.  
CIVIL ENGINEER: JAMES R. GRAY, JR.  
PHONE: (615) 315-2744 FAX: (615) 315-2745



MARINA GROVE

PRELIMINARY SP PLAN

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

INITIAL CONDITIONS PLAN

- 1

REV. (JRG) 6-30-2024  
METRO COMMENTS
- 2

REV. (JRG) 11-17-2025  
METRO COMMENTS

REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

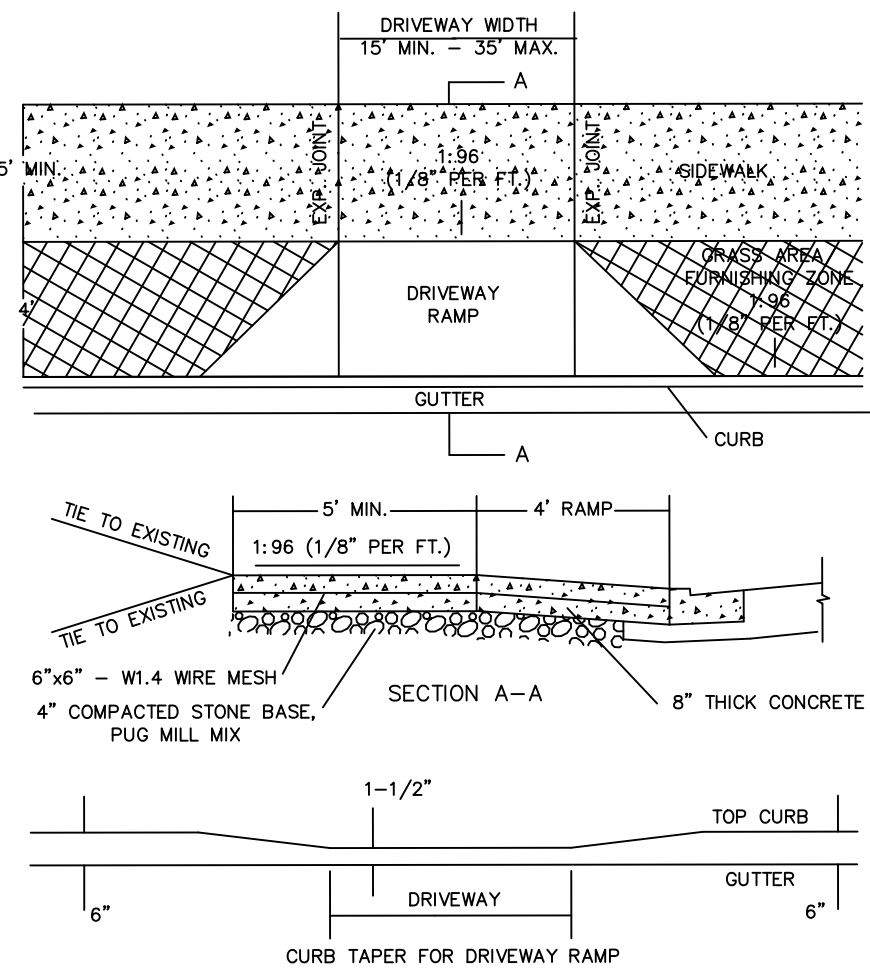
SCALE: AS NOTED

DATE: JANUARY 2, 2019

JOB NO. WK. ORDER  
17-100 001

SHEET NO.

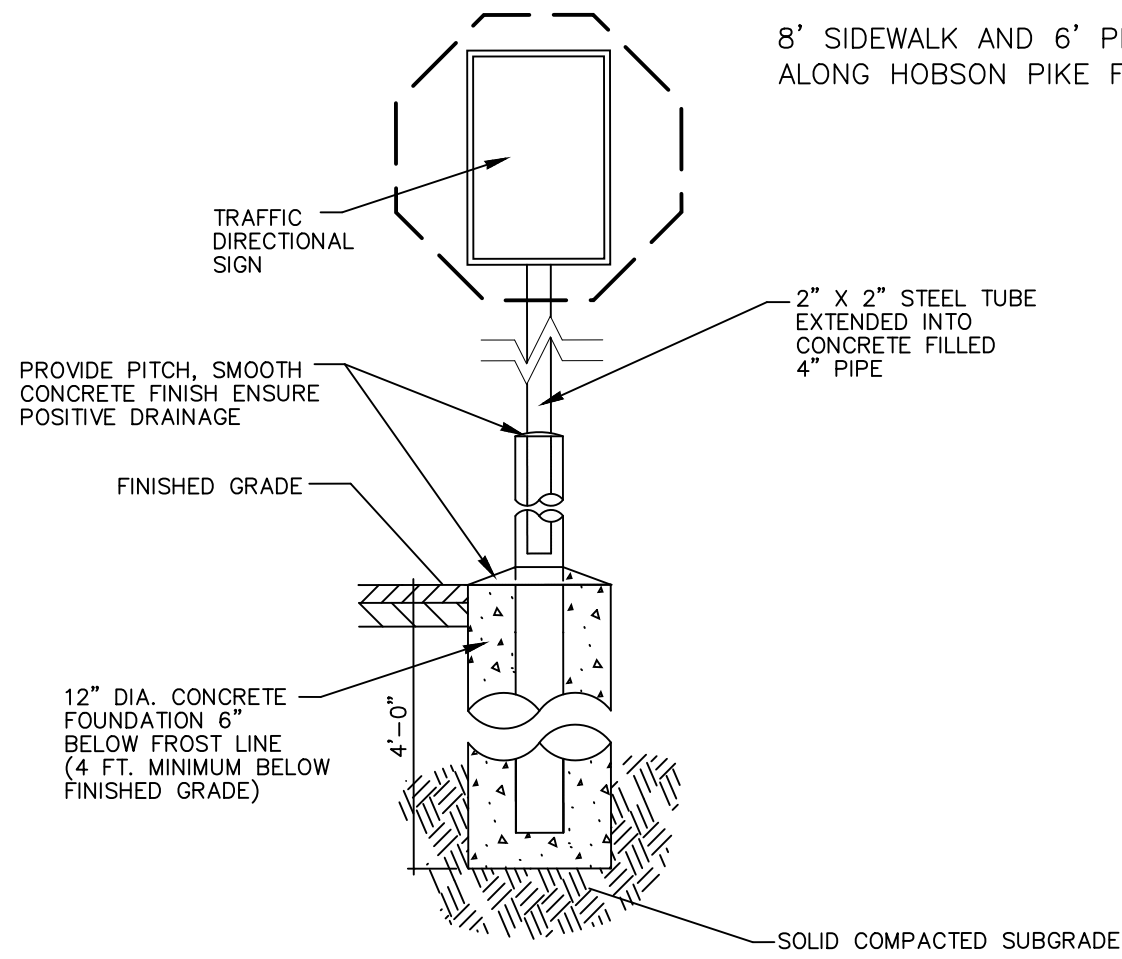
C0



### CONCRETE RAMP METRO ST-324

NOT TO SCALE

**EXISTING ROW DISTANCE**  
EXISTING DISTANCE OF RECORDED PROPERTY LINE TO CENTERLINE OF HOBSON PIKE IS 40' ACROSS FRONTAGE (TYP)



### (FREE STANDING) TRAFFIC DIRECTIONAL SIGN

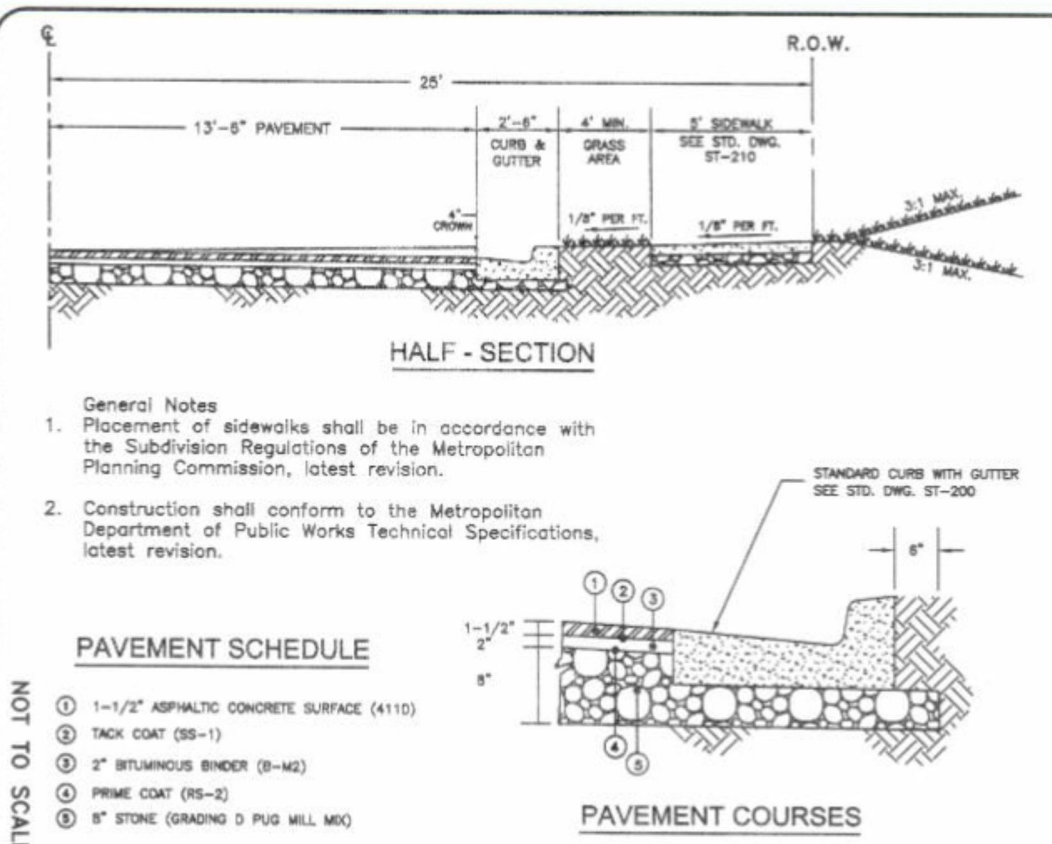
NOT TO SCALE

ALL RESIDENCES SHALL HAVE ROLL AWAY RUBISH RECEPTICALS

SEE METRO PUBLIC WORKS DETAILS FOR PAVEMENT SECTIONS

### LEGEND

- ASPHALT PAVEMENT PER METRO SPECIFICATIONS
- CONCRETE WALK
- LOT NUMBER



### ROADWAY SECTION DETAIL

NOT TO SCALE

- 77 PARKING SPACES FOR RETAIL/OFFICE PROPOSED
- 52 SINGLE FAMILY ATTACHED HOMES PROPOSED
- 106 RESIDENTIAL PARKING SPACES PROPOSED

### GENERAL LAYOUT NOTES:

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

### SITE DATA

- SUBJECT PROPERTY IS WITHIN METRO NASHVILLE DAVIDSON COUNTY.
- SUBJECT PROPERTY IS PRESENTLY ZONED RS10
- TOPOGRAPHIC AND BOUNDARY INFORMATION ARE TAKEN FROM GIS ARIAL SURVEYS BY METRO NASHVILLE AND AVAILABLE AS-BUILT INFORMATION.
- SEND ALL CORRESPONDENCE TO THE FOLLOWING:

### OWNER:

FAM PROPERTIES LLC.  
230 GROVEDALE TRACE  
ANTIOCH, TN 37013

### ENGINEER:

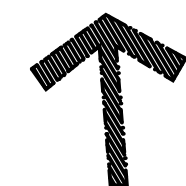
MR. JARED GRAY, PE  
CIVIL DESIGN CONSULTANTS, LLC  
8170 COLEY DAVIS ROAD  
NASHVILLE, TN, 37221  
615-646-2913

### FEMA NOTE:

SUBJECT PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN, AS PER CURRENT FEMA FLOOD MAP.



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CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
ONE DESIGN CONSULTANTS, LLC  
ONE DESIGN CONSULTANTS, LLC  
ONE DESIGN CONSULTANTS, LLC  
PHONE: (615) 315-2750 FAX: (615) 315-2751



## MARINA GROVE

PRELIMINARY SP PLAN

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

OVERALL PROPERTY LAYOUT

- REV. (JRG) 6-30-2024  
METRO COMMENTS
- REV. (JRG) 10-28-2024  
METRO COMMENTS
- REV. (JRG) 11-17-2025  
METRO COMMENTS

### REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

SCALE: AS NOTED

DATE: JANUARY 2, 2019

JOB NO. WK. ORDER  
17-100 001

SHEET NO.

C1

1. THE BASIN EMBANKMENT SHOULD BE CHECKED WEEKLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
2. THE EMERGENCY SPILLWAY SHOULD BE CHECKED WEEKLY TO ENSURE THAT THE LINING IS WELL ESTABLISHED AND EROSION RESISTANT.
3. THE BASIN SHOULD BE CHECKED AFTER RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT. WHEN THE SEDIMENT REACHES THE CLEAN-OUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF. (SEE BERM/OUTLET DRAINAGE SECTION DETAIL)

1. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
2. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
3. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
4. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
5. FENCES SHOWN THUS ██████████ ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. FENCES ARE TO BE FIRM AND SECURELY TIED WITH PLASTIC OR WIRE BINDING. FENCES ARE TO BE PLACED TOUCHING AND FIRMLY ANCHORED TO THE GROUND WITH STEEL DRIFT PINS OR WOODEN STAKES AS SHOWN IN DETAIL.
6. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
7. DISBURSED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
8. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
9. UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
10. A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
11. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13 RESPECTIVELY.  
CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING.

TO MEET THE METRO DEPARTMENT OF STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A REINFORCED STORMWATER TRENCH WITH A 50% BMP OUTLET. PRE TREATMENT SHALL BE COMPLETED THROUGH THE USE OF A TREATMENT TRAIN INCLUDING RAIN GARDENS, A FOREBAY WITH LEVEL SPREADER AND EXTENDED DETENTION TO A WATER QUALITY OUTLET STRUCTURE. THESE STRUCTURES ARE DESIGNED TO SLOWLY DETENTION EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHOSPHOREMEDIATION AND ADSORPTION OF CONTAMINANT EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES.

STORMWATER RUNOFF, THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE METRO DEPARTMENT OF STORMWATER REGULATIONS.

David R. Day 6-30-24  
EROSION CONTROL SPECIALIST DATE

6-30-24  
DATE

**WATER QUALITY DEVICE AS-BUILT NOTE:**  
IN ACCORDANCE WITH THE METRO STORM WATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILTS CERTIFICATIONS, MWS STORM WATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:


- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOOD PLAIN
- SINK HOLE ALTERATIONS

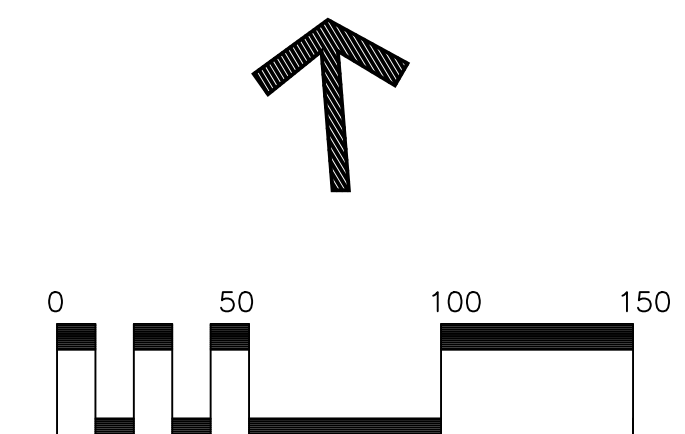


SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" RCP



TCP-01	TIRE WASHING
TCP-03	CONSTRUCTION ENTRANCE
TCP-12	CHECK DAM
TCP-13	EROSION SILTATION CONTROL FENCING
TCP-20	RIP RAP
PTP-03	BIORETENTION
PTP-06	DRY DETENTION

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METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

# OVERALL PROPERTY GRADING/DRAINAGE EROSION CONTROL PLAN

① REV. (JRG) 6-30-2024  
METRO COMMENTS

② REV. (JRG) 11-17-2025  
METRO COMMENTS

## REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

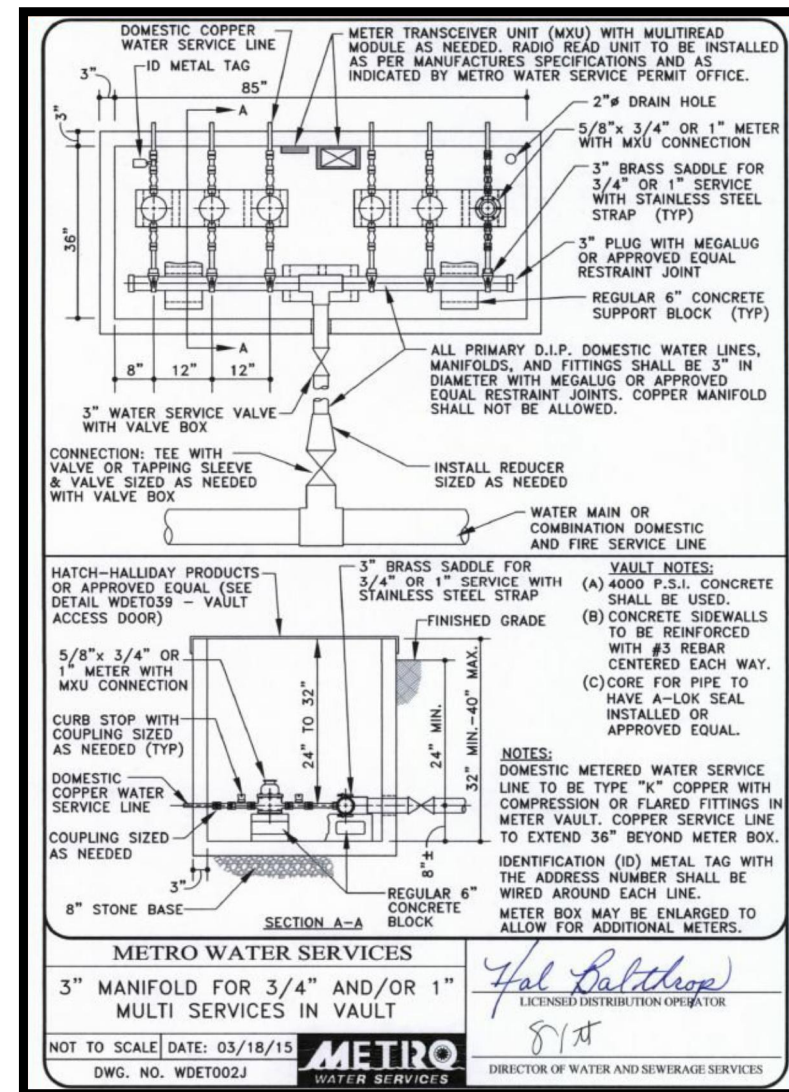
SCALE: AS NOTED

DATE: JANUARY 2, 2019

JOB NO.	WK. ORDER
17-100	001

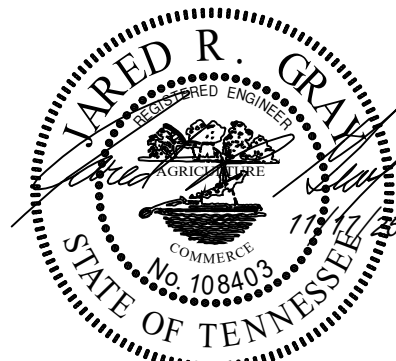
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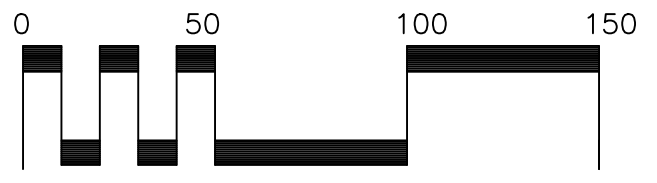
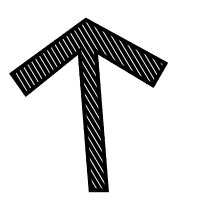
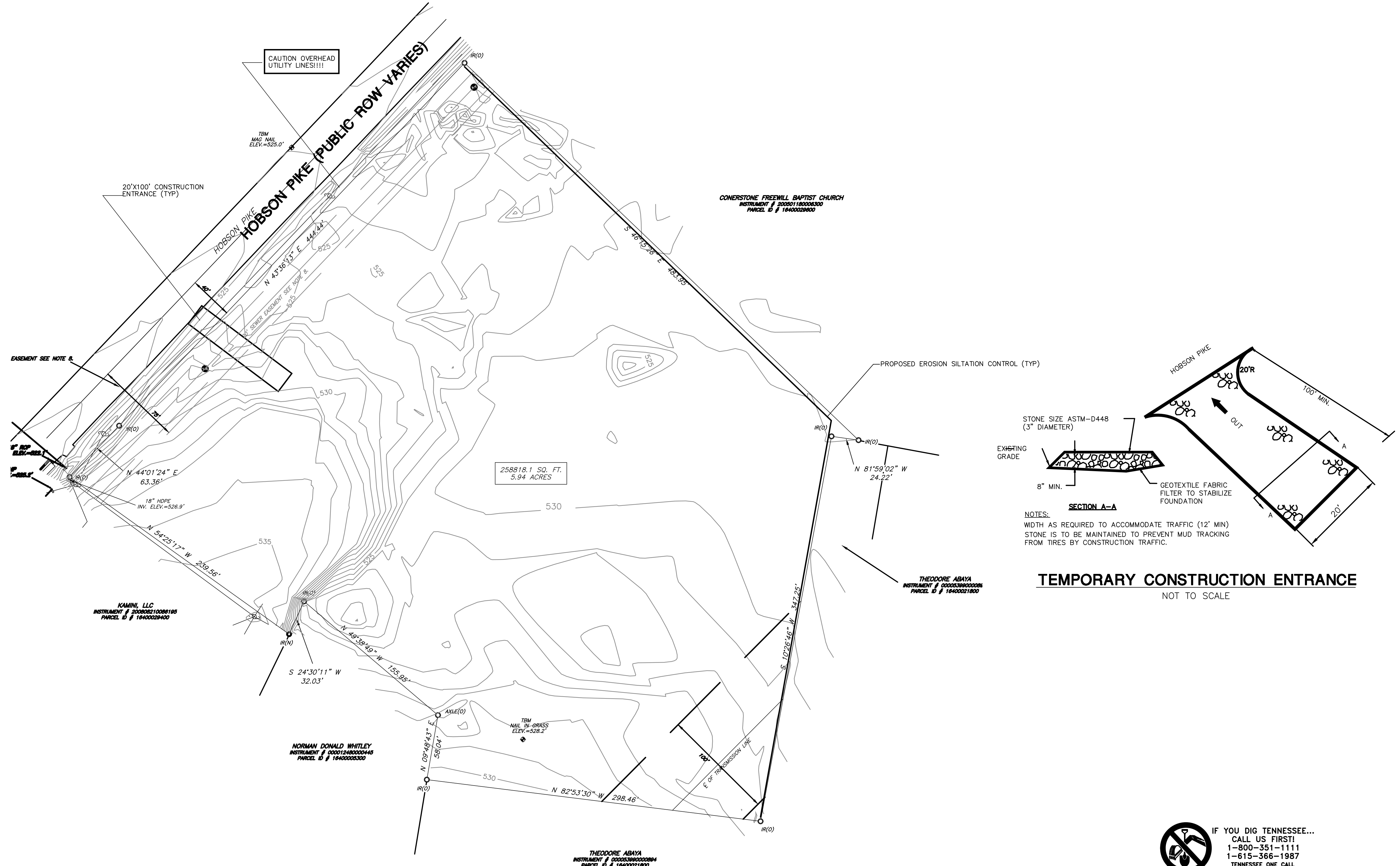
**METRO SP APPLICATION #:**  
**CASE 2021SP-057-001**

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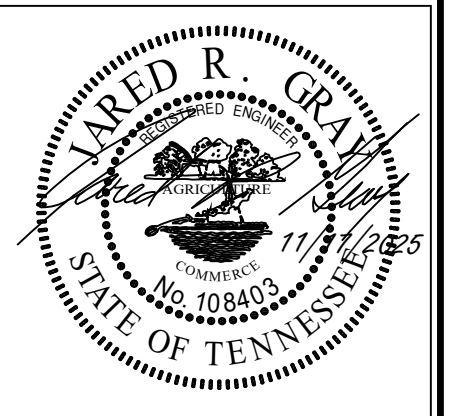


METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE  
OVERALL PROPERTY UTILITY PLAN

- C3

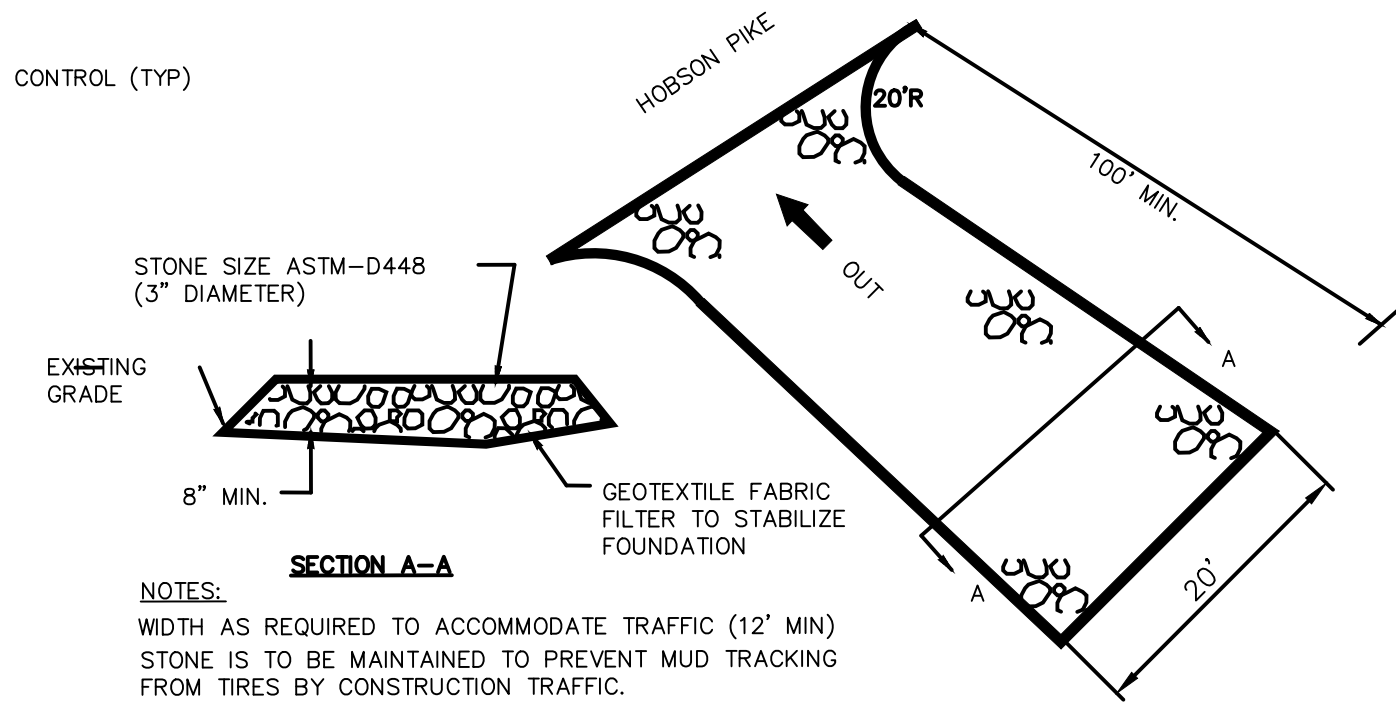
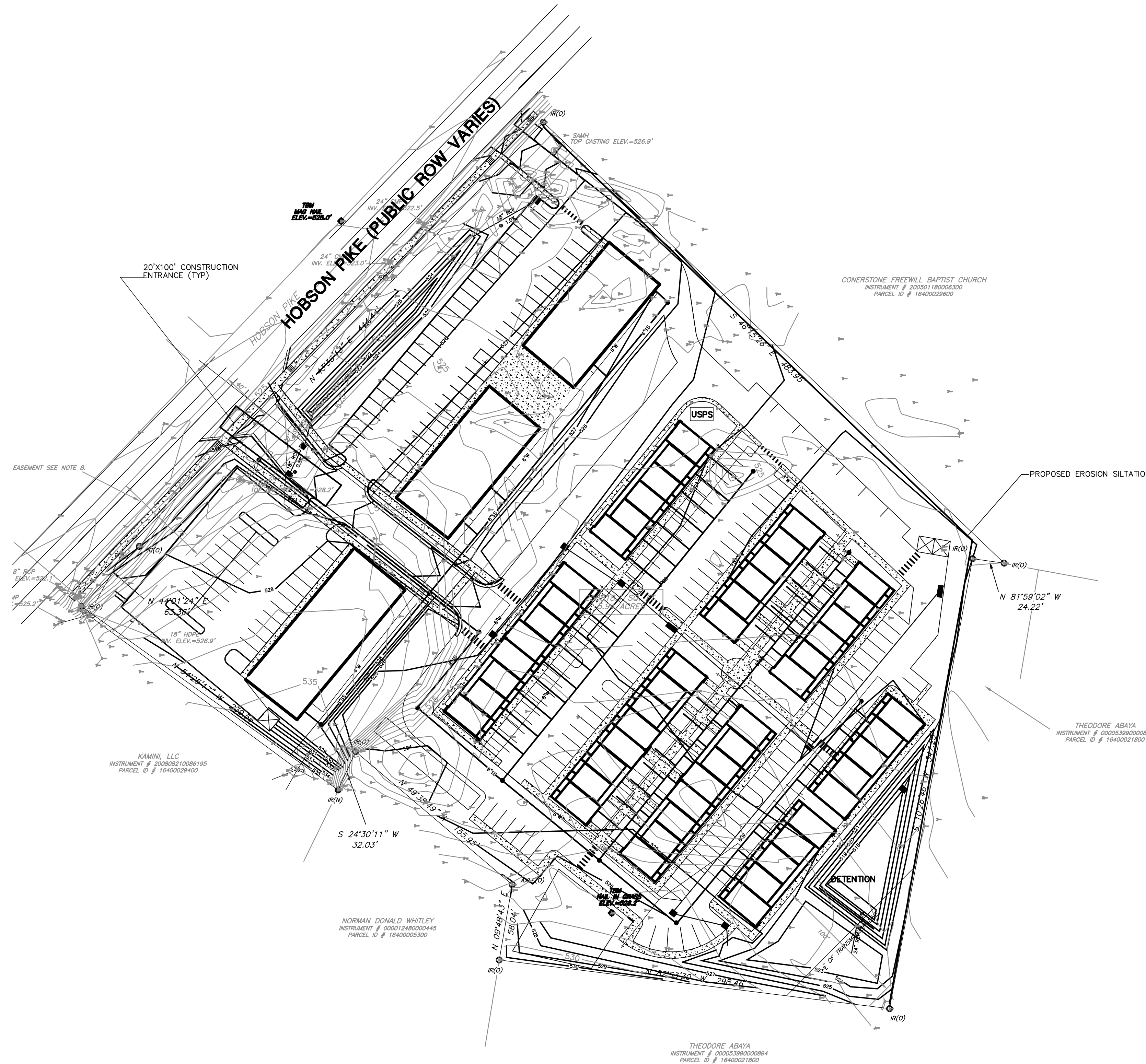


METRO SP APPLICATION #:  
CASE 2021SP-057-001



**MARINA GROVE**  
PRELIMINARY SP PLAN  
METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE  
STORMWATER MANAGEMENT PLAN – INITIAL

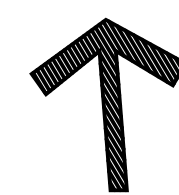
1	REV. (JRG) 6-30-2024	METRO COMMENTS
2	REV. (JRG) 11-17-2025	METRO COMMENTS
REVISIONS		
DESIGNED BY: J. GRAY		
DRAWN BY: J. GRAY		
APPROVED BY: J. GRAY		
SCALE: AS NOTED		
DATE: JANUARY 2, 2019		
JOB NO.	WK. ORDER	
17-100	001	
SHEET NO.		
C4		



TEMPORARY CONSTRUCTION ENTRANCE  
NOT TO SCALE



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METRO SP APPLICATION #:  
CASE 2021SP-057-001



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
PHONE: (615) 315-2750 FAX: (615) 315-2751



# MARINA GROVE

## PRELIMINARY SP PLAN

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

STORMWATER MANAGEMENT PLAN – INTERMEDIATE

- 1 REV. (JRG) 6-30-2024  
METRO COMMENTS
- 2 REV. (JRG) 11-17-2025  
METRO COMMENTS

### REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

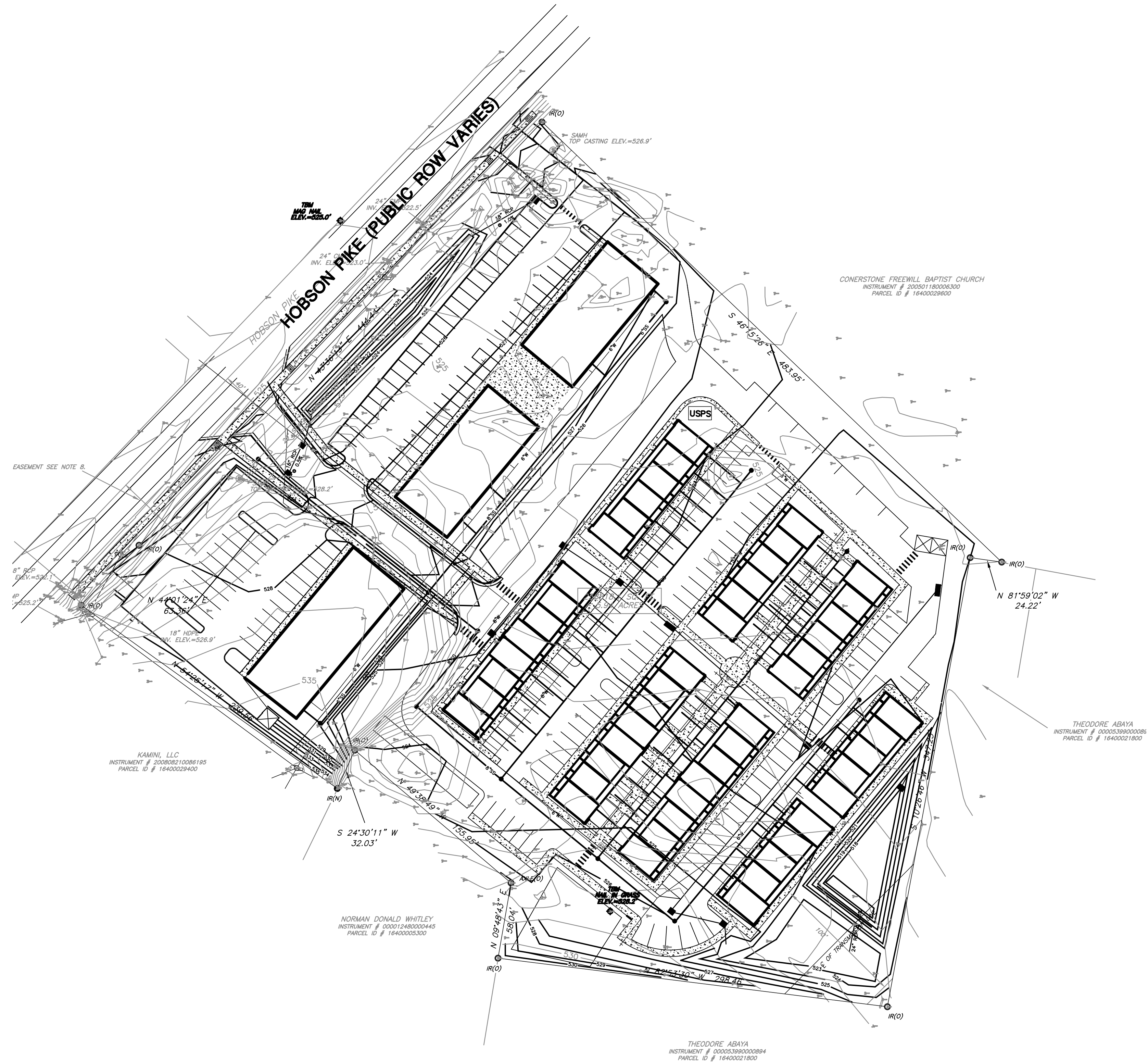
SCALE: AS NOTED

DATE: JANUARY 2, 2019

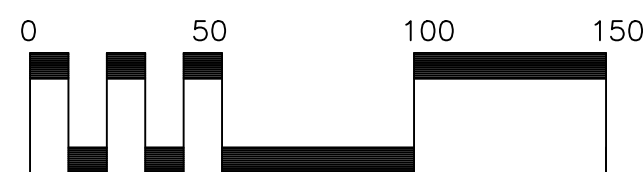
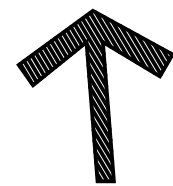
JOB NO. WK. ORDER  
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SHEET NO.

C4A



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METRO SP APPLICATION #:  
CASE 2021SP-057-001



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
PHONE: (615) 315-2750 FAX: (615) 315-2751  
WWW.CIVILDESIGNCONSULTANTS.COM



# MARINA GROVE

METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

STORMWATER MANAGEMENT PLAN – FINAL

- 1 REV. (JRG) 6-30-2024  
METRO COMMENTS
- 2 REV. (JRG) 6-23-2025  
METRO COMMENTS
- 3 REV. (JRG) 11-17-2025  
METRO COMMENTS

## REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

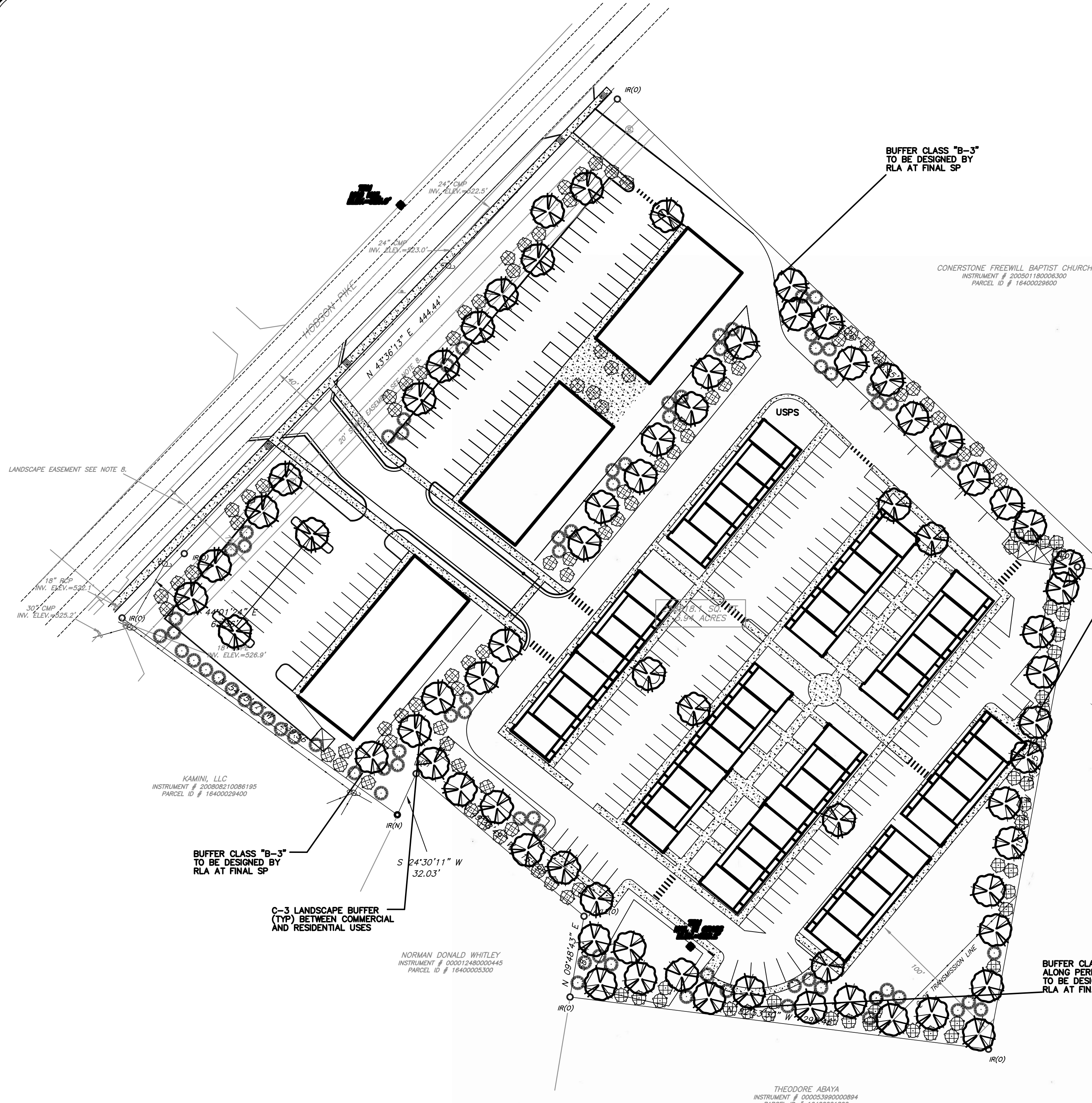
SCALE: AS NOTED

DATE: JANUARY 2, 2019

JOB NO. WK. ORDER  
17-100 001

SHEET NO.

C4B



LANDSCAPE AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.  
A FULL LANDSCAPE PLAN WILL BE REQUIRED WITH THE FINAL SP SUBMITTAL.

PLANT SCHEDULE				
SYMBOL	CODE	COMMON NAME (BOTANICAL NAME)	CODE	QTY
	PH	Native Sweetgum (Liquidambar styraciflua)	0.5.5	2' Cal 10' HT
	ML	Shed-leaf Magnolia (Magnolia grandiflora)	0.5.5	2' Cal 10' HT
	JS	Green Yew (Taxus canadensis)	0.5.5	2' Cal 10' HT
	AR	Old-fashioned Dogwood (Cornus florida)	0.5.5	2' Cal 10' HT
	LT	White Flowering Dogwood (Cornus florida)	0.5.5	2' Cal 10' HT
	TO	Green Oak (Quercus prinus)	0.5.5	2' Cal 10' HT
	PH	Blueberry (Vaccinium corymbosum)	0.5.5	2' Cal 10' HT
	PH	Blueberry (Vaccinium corymbosum)	0.5.5	2' Cal 10' HT
	PH	Blueberry (Vaccinium corymbosum)	0.5.5	2' Cal 10' HT
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	PH	Blueberry (Vaccinium corymbosum)	0.5.5	2' Cal 10' HT

MISCELLANEOUS  
Shredded Hardwood Bark Mulch: Minimum 4" depth throughout.  
All disturbed areas to be seeded w/ Fescue Seed @ 8#/1000.  
ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HEBERT & BALL LAND DESIGN MAY BE DENIED AT THE TIME OF INSPECTION. PLEASE CONTACT H-B FOR ANY SUBSTITUTION REQUESTS.

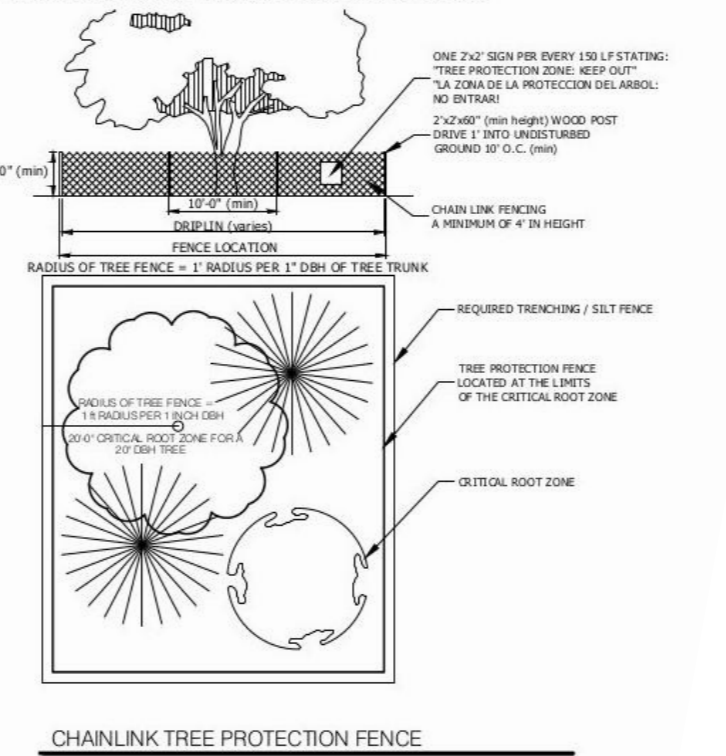
LANDSCAPE NOTES:  
Before the landscape project is started, the chosen landscape contractor will meet the Landscape Architect on site for a detailed explanation of the landscape plan. All plant material provided shall be nursery grown and shall comply with the American Standard for Nursery Stock, ANSI Z60.1-1996, for size and quality. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without the approval of the owner and the Landscape Architect. All plants will be guaranteed to live, flourish, and be true to name for one full year from the date of completion of work by the landscape contractor as determined by the Landscape Architect.  
The quantities indicated on the plan list and plan are provided for the benefit of the contractor, but should not be assumed to always be correct. The landscape contractor assumes all responsibility for his or her own quantity calculations and the liability which pertains to those quantities and to any related contract documents and/or price quotations. The contractor is to verify the exact locations of all existing utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and codes, and on landscape contractor's expense. Coordinate all construction with appropriate utility companies.  
All disturbed areas outside of planters and planting beds to be seeded unless otherwise noted on landscape plan. Seed type to be approved by Landscape Architect.  
Before planting installation is to begin, a soil test is to be performed for all planting areas in order to determine the soil's structure, pH, and nutrient content. Specifically addressing the relationship between nitrogen, phosphorus, and potassium, as well as testing for other nutrients, organic matter, and soluble salt composition. Analysis is also required of any stockpiled topsoil. If topsoil is imported, then analysis shall be done for each location where the topsoil was excavated. These tests will guide the makeup of all future soil amendments as well as any additional soil excavation and replacement that may be necessary when determined and approved by Landscape Architect and home owner. These notes provide a general outline for soil sampling, preparation, plant installation, fertilization, and mulching.

BED PREPARATION NOTES:  
The objective of the bed preparation and planting notes herein is to develop and preserve landscape material according to our landscape plan. Included in that goal is a standard of achieving optimum health, including growth and appearance of all ornamental landscape plants, while recognizing the unique growing environment presented by each planting location. The chosen landscape contractor must perform percolation tests in areas of planting, especially in areas where plants are to be installed that do not tolerate wet conditions. If it is observed that soils to not percolate well, the landscape architect and home owner are to be notified immediately and prior to any planting.

PLANT INSTALLATION:  
All planting beds within the drip line of existing trees are to be prepped with the addition of light topsoil amendments over the existing topsoil and vertical mulching. The vertical mulching should occur at 18" on center with a 1-1/2" auger, 12-18" deep. The augured holes are to then be filled with approved organic matter and mulches.  
The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball for all trees and large shrubs. Trees and large shrubs shall be planted so 1/8 of the root ball is above final grade (at least 2" of root ball). All plants are to be installed with mycorrhizae, following manufacturer's directions. The top soil material should taper out around plant crowns, particularly with perennials.  
Thoroughly water the ground bed cover after installation. Contractor shall mulch planting beds to a depth of 2 1/2"-3", not allowing much depth over 1" against any tree trunk. Leave some organic matter on the surface.

3.2.1 Tree Protection During Construction  
(1) Owner's Responsibility  
(2) Contractor's Responsibility  
(3) Tree Protection During Construction  
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(100) Tree Protection During Construction

- Bio-Retention Notes:**
- Verify that the Bio-Retention areas have been constructed in compliance of the requirements of the Construction Documents prior to beginning work.
  - Care shall be taken to minimize compaction to soils within the limits of the bio retention area(s).
  - No machinery (other than walk behind rollers) shall be used within the limits of the bio retention area(s).
  - Dig a test percolation pit 1'x1'x1' deep and fill with water. Monitor to verify that all water has drained from the pit within a 24 hour period. If water remains after 24 hours, cease all work on the bio retention area and contact Civil Engineer for further instructions.
  - The work required for construction of the bio-retention area(s) consists of removal of weeds, preparation of planting areas, mulching and clean up.
  - Contractor is responsible for keeping Bio-Retention areas free from sediment resulting from storm-water runoff.
  - The Contractor shall conduct all site preparation activities to not allow "sediment loss" to the Bio-Retention Areas.
  - Provide or verify installation of a silt fence prior to commencement of construction around the circumference of the Bio-Retention areas.
  - Begin construction of Bio-Retention basins after adjacent areas have been stabilized with stone or vegetation.
  - Comply with the Water Quality Control Act of 1971, including revisions, and other applicable laws, ordinances, and regulations.
  - The Contractor shall correct, at his own expense, any work that does not comply with the requirements of the Contract.
  - The Contractor shall assume responsibility for protection of public streets, curbs, and utilities from damages from the Contractor's operations. Plan work to avoid ponding, flooding, and sediment loss on site and upon adjacent property.
  - Meet the requirements of all rules and regulations governing the respective utilities. Protect active utilities from damage during construction.
  - If active utilities are encountered in the course of excavation other than those indicated on the Survey, protect them from damage and relocate them in accordance with the Engineer's written instruction. Remove inactive utilities if such are encountered.
  - The finish surface shall be free from any jumps of earth, rocks, stones, debris, or other improper materials, no trees, trunks, shrubs, stumps, undergrowth, or building rubbish will be permitted in the grading.
  - Remove weeds with three applications (at 2 week intervals) of a systemic herbicide such as Roundup during the period that weeds are actively growing and prior to preparing the bio retention area for planting.
  - Scarf top 6" of soil by hand or with a walk behind roller prior to the planting of bio retention areas. Tractors or other heavy machinery are not to be utilized at anytime within the limits of the bio retention area.



**SUBSTITUTION NOTE:**  
1. Requirements shown are as per City Zoning Ordinance.  
2. Substitutions are not allowed.  
3. After installation, the landscape will be maintained by the owner.  
4. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact CDC LLC, 615-638-8207 immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work immediately for coordination and field adjustment.

**UTILITY SCREEN:**  
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened.

**PLANT STANDARDS:**  
The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
  - No branch is greater than 2/3 the diameter of the trunk directly above the branch.
  - The trunk and/or major branches shall not touch.
  - Several branches are larger in diameter and obviously more dominant.
  - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
  - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
  - Crown spread shall look proportional to the tree.
  - NO flush cuts or open trunk wounds or other bark injury.
  - Root ball meets all ANSI standards and is appropriately sized.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

**DEFICIENCIES NOT ACCEPTED:**  
1. Tip dieback on 5% of branches  
2. Crown thinness isolated  
3. Included bark  
4. Major branches touching  
5. Asymmetrical branching

**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**

**City Landscape Notes:**  
1. The Owner shall submit a Certificate of Landscape Compliance to the Building and Codes Department upon completion of the landscape installation.  
2. Upon submittal of a Certificate of Landscape Compliance contact Building and Codes to schedule a Landscape Inspection.  
3. No Certificate of Occupancy shall be issued until all landscape materials are in place in substantial compliance with the approved landscape plan.  
4. All trees and shrubs shall be tagged according to species. Tags shall not be removed until after the Site Inspection for the issuance of a Certificate of Occupancy.  
5. Any plant material that dies, turns brown or defoliates shall be replaced within one year or by the next growing season, whichever comes first. Other defective landscape material shall be replaced within three months.  
6. All trees shall be straight trunks, full headed and meet all requirements specified. All trees and shrubs must be container grown or balled and burlapped with sizes indicated on the plant schedule on the approved plans. All plants shall be healthy, vigorous material, free of pest and disease. All rootballs, containers and height to width ratios shall conform to the size standards set forth in the American Standards for Nursery Stock, current edition.  
7. All required deciduous trees shall be a minimum of 2" (two inches) in caliper at planting.  
8. All required evergreen trees shall be a minimum of 6" (six feet) in height at planting.  
9. All required shrubs shall be a minimum of 18" in height at planting.  
10. Any site or landscape changes (including but not limited to a change in design, a reduction in size or number of plant material, or the relocation of overhead or underground utilities) will require a revised landscape plan to be submitted and approved prior to the landscape installation.  
11. The Owner acknowledges that landscaping in a dedicated easement does not waive or modify the City rights as the easement holder. The Owner understands that the City, its authorized contractor or applicable private utility may at any time and for any reason perform work within the dedicated easement. The City, its authorized contractor or applicable private utility shall have no liability to the Owner for any damage to the landscaping in the easement when said damage is due to work within the easement. The Owner may be held responsible for the removal of the landscaping to enable work to be done. The Owner shall be solely responsible for any costs incurred in repairing and/or replacing the required landscaping.  
**ATTENTION OWNER/INSTALLER:**  
This landscape plan has been designed to meet the minimum requirements of the City Zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, raising, reducing or deleting material may cause the site to no longer conform to the requirements; Thus problems may arise with releasing the performance/maintenance bond for landscaping.

ENGINEER:  
MR. JARED GRAY, PE  
CIVIL DESIGN CONSULTANTS, LLC  
8770 COLEY DAVIS ROAD  
NASHVILLE, TN 37221  
615-638-8207



**MARINA GROVE**  
PRELIMINARY SP PLAN  
LANDSCAPE ARCHITECTURE CONCEPT  
METRO NASHVILLE, DAVIDSON COUNTY TENNESSEE

1. REV. (JRG) 6-30-2024  
METRO COMMENTS  
2. REV. (JRG) 11-17-2025  
METRO COMMENTS

REVISIONS

DESIGNED BY: J. GRAY

DRAWN BY: J. GRAY

APPROVED BY: J. GRAY

SCALE: 1"=50'

DATE: 8-15-18

JOB NO. 18-020 WK. ORDER 001

SHEET NO.

L1

METRO SP APPLICATION #:  
CASE 2021SP-057-001

