

**UPON RECORDING RETURN TO:**

Department of Law  
Metro Courthouse, Suite 108  
PO Box 196300  
Nashville, TN 37219

**GREENWAY PARTICIPATION AGREEMENT AND DECLARATION OF COVENANTS**

This **GREENWAY PARTICIPATION AGREEMENT AND DECLARATION OF COVENANTS** (this "Agreement") is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2022, by and between **THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, by and through the Metropolitan Board of Parks and Recreation, ("Metro")**, and **CRP/WP ALTA METRO CENTER OWNER, L.L.C. ("Owner")** (Metro and Owner are sometimes collectively referred to as the "Parties".)

**BACKGROUND STATEMENT:**

A. Metro maintains certain property as part of the Metro greenway system, as more particularly described on **Exhibit "A"**, attached hereto and incorporated herein (the "Greenway").

B. Owner, is the owner of that certain parcel of real property more particularly described on **Exhibit "B"**, attached hereto and incorporated herein ("Owner's Property").

C. Pursuant to the terms and conditions of this Agreement, Owner proposes to assist Metro in the construction of improvements within a portion of the Greenway (the "Greenway Improvements"), as such improvements are shown on the plans and specifications attached hereto as **Exhibit "C"** (the "Plans") and the ongoing care and maintenance of the Greenway Improvements.

For good and valuable consideration, the receipt, adequacy and sufficiency of which are hereby acknowledged, the Parties do hereby covenant and agree as follow:

1. **Right of Entry**. Owner is hereby granted the right to enter the Greenway to perform the construction of the Greenway Improvements and to perform any and all activities necessary to operate and maintain the Greenway Improvements.

2. **Duties of Construction and Maintenance**. Owner agrees to construct the Greenway Improvements in accordance with the Plans. From and after the completion of the Greenway Improvements, Owner will keep, maintain, repair and replace, as necessary, the Greenway Improvements in good order, condition and state of repair, at the expense of Owner. Whenever Owner performs any construction or maintenance required under this Agreement, the work will be done expeditiously and in a good, lien free and workmanlike manner and in accordance with all applicable laws, codes, rules, statutes and regulations. The work will be carried out in a manner so as to cause the least amount of disruption to any business operations being conducted on the surrounding land as is reasonably practicable.

All materials and methods used to construct the Greenway Improvements shall be in keeping with Metro standards and specifications and shall be subject to the reasonable approval of Metro. Owner will notify Metro of the date the Greenway Improvements are initiated, and Metro will have the right to inspect the improvements to ensure compliance with Metro's standards.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed as of this 30 day of March, 2022.

METRO:  
METROPOLITAN GOVERNMENT OF  
NASHVILLE AND DAVIDSON COUNTY

CRP/WP ALTA METRO CENTER OWNER,  
L.L.C.

By:  
Name:  
Title:

By:   
Name: ANDREW STEFFENS  
Title: VP

STATE OF TENNESSEE     )  
  )  
COUNTY OF DAVIDSON    )

On this the \_\_\_\_ day of \_\_\_\_\_, 2022, before me personally appeared \_\_\_\_\_, who acknowledged himself to be the \_\_\_\_\_ of **THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**, and that he, as such \_\_\_\_\_, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_

3. Insurance. During the life of this Agreement, Owner shall obtain and furnish to Metro an insurance certificate, evidencing a policy or policies of Commercial General Liability Insurance that is in effect providing coverage for injuries to persons as well as damage to property in an amount not less than One Million and 00/100 dollars (\$1,000,000.00) combined single limit, which shall name Metro as an additional insured.

4. Notices. All notices required or permitted to be given under this Agreement will be given personally, by overnight courier, or by certified mail, return receipt requested. Such notices will be deemed effectively received upon receipt, if personally delivered, one (1) day after the deposit with a reputable overnight courier, or three (3) days after the deposit with the United States mail, postage prepaid.

All notices given to Metro will be at the following address:

and to Owner at the following address:

CRP/WP ALTA METRO CENTER OWNER, L.L.C. 15 Music Square West  
Nashville, TN 37203  
Attn: Andrew Steffens

with a copy to:

Josh Lynch  
Director  
Wood Partners  
636 W. Yale Street  
Orlando, FL 32804

5. Run with the Land; Governing Law. This Agreement will be recorded in the real property records of Davidson County, Tennessee. The rights, easements and obligations established in this Agreement will run with the Greenway Improvement maintenance area. This Agreement is and will be binding upon Metro, its successors in title and upon Owner, and its successors and assigns and successors in title. This Agreement will be governed by and construed in accordance with the laws of the State of Tennessee.

6. List of Exhibits. The following exhibits are attached to and made a part of this Agreement:

Exhibit A: The Greenway  
Exhibit B: Owner's Property  
Exhibit C: The Plans

[Signatures begin on the following page]

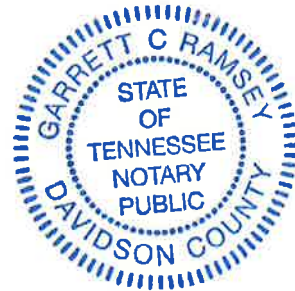
STATE OF TENNESSEE     )  
COUNTY OF DAVIDSON    )

Personally appeared before me, Garrett Ramsey, a Notary Public of said county and state, Andrew Stebbins, the VP of CRP/VP Rth. Motor Center - owner, LLC, a \_\_\_\_\_ limited liability company, the within named owner, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that he executed the within instrument for the purposes therein contained by signing the name of the company by himself as VP.

Witness my hand and seal, at office, this 30 day of March, 2022.

  
\_\_\_\_\_  
Notary Public

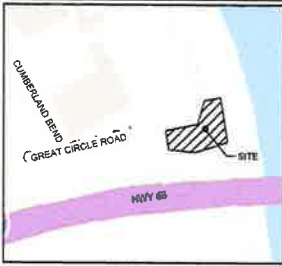
My Commission Expires: 7/2/24



**EXHIBIT "A"**  
**THE GREENWAY**

# TOPOGRAPHIC SURVEY

OF THE  
**ALTA RIVER WALK SIGHT**  
 115 GREAT CIRCLE RD  
 PARCEL ID: 0711300600  
 AS RECORDED IN 2021027-0012195  
 2ND COUNCIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE  
 DATE: OCTOBER 27, 2021



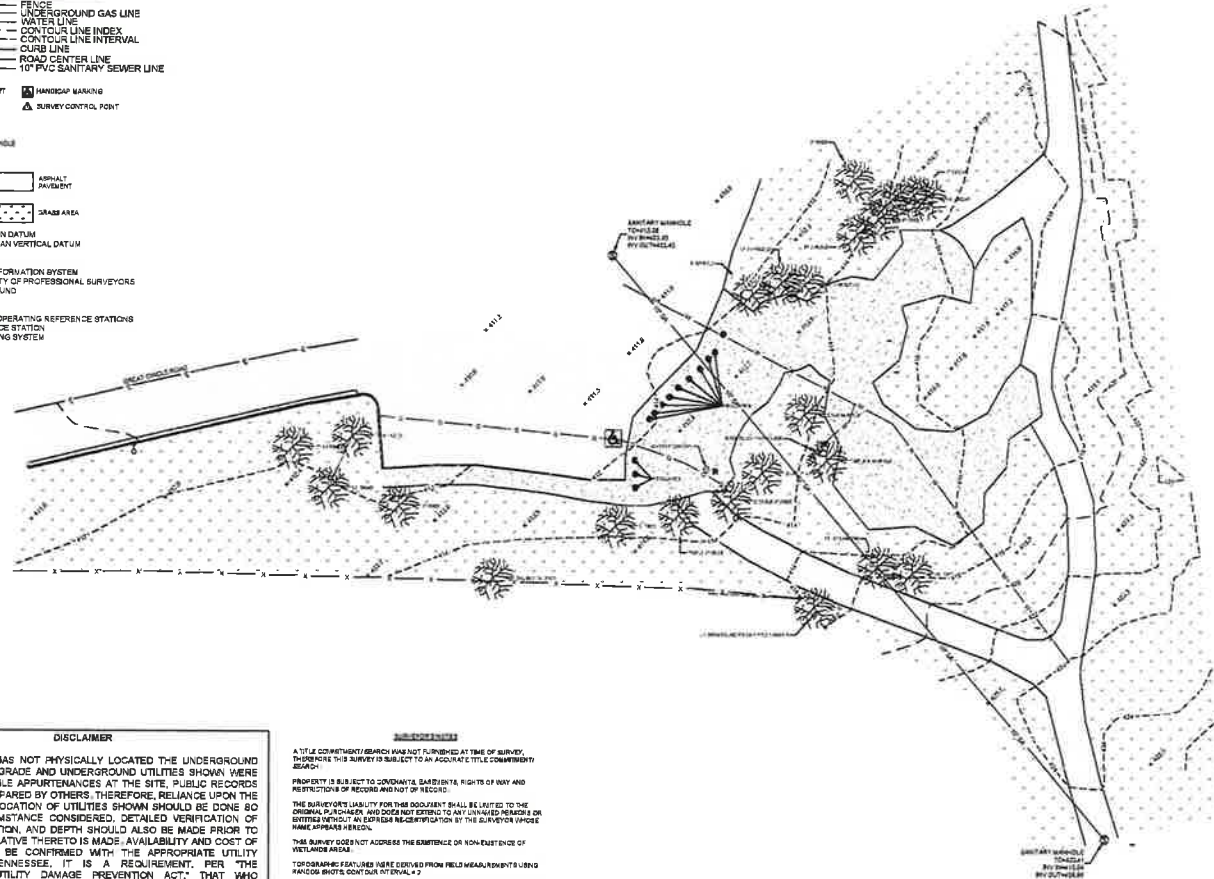
VICINITY MAP  
(NOT TO SCALE)

### SITE LEGEND

- A — FENCE
  - G — UNDERGROUND GAS LINE
  - W — WATER LINE
  - S10 — CONTOUR LINE INDEX
  - S12 — CONTOUR LINE INTERVAL
  - C — CURB LINE
  - 17 SA — ROAD CENTER LINE
  - 10" PVC — SANITARY SEWER LINE
  - UTILITY POLE WITH LIGHT
  - SPOT ELEVATION
  - WATER METER
  - MANHOLE
  - SANITARY SEWER MANHOLE
  - TREE
  - ASPHALT PAVEMENT
  - CONCRETE
  - GRADE AREA
- N.A.D. = NORTH AMERICAN DATUM  
 N.A.V. = NORTH AMERICAN VERTICAL DATUM  
 SA = SANITARY SEWER  
 TYP. = TYPICAL  
 G.I.S. = GEOGRAPHICAL INFORMATION SYSTEM  
 NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS  
 TNS = TERMINUS NOT FOUND  
 TO = TOP OF CURB/TO  
 IN = INVERT ELEVATION  
 CO = CONTINUOUSLY OPERATING REFERENCE STATIONS  
 VR = VIRTUAL REFERENCE STATION  
 GPS = GLOBAL POSITIONING SYSTEM



NORTH BASED ON  
 TENNESSEE STATE PLANE COORDINATES  
 N.A.S. 83/80D NORTH  
 VERTICAL DATUM: N.A.V. 83/80D



TOPOGRAPHIC SURVEY  
 OF THE  
**ALTA RIVER WALK SITE**  
 DATE: 10-27-2021

This site does not lay within a Special Flood Hazard Area of the Federal Emergency Management Agency according to the Flood Insurance Rate Map (47037, C 0233 h Zone X) of the City of Nashville, Davidson County, Tennessee, Dated: April 05, 2017, unless otherwise noted on survey.

I hereby certify that this is a Category-I survey, and that the Closure of the Unadjusted Traverse is better than 1:10,000. This survey was done in compliance with current Tennessee minimum standards of practice.



JOSHUA A. MEEKS TN RLS # 2780  
 TTL, INC

**DISCLAIMER**  
 THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES; ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (2) THREE OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL, 1-800-851-5111.

**ASSURANCE**  
 A TITLE COMMITMENT SEARCH WAS NOT FURNISHED AT TIME OF SURVEY. THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT SEARCH.  
 PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.  
 THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PLANNING AND DOES NOT EXTEND TO ANY UNLabeled REMEDIATION OR OTHER REVISIONS OR EXPANSION REVISIONS BY THE SURVEYOR UNLESS NAME APPEARS HEREON.  
 THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF VESTIGIOUS AREAS.  
 TOPOGRAHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS, CONTOUR INTERVAL 4'.  
 THE PROJECT IS SUBJECT TO A BLUE LINE STRIKE AS SHOWN ON SURVEY. BASED ON U.S. & ONLINE MAPPING.  
 SITE MAY BE IN AREA OF REDUCED FLOOD RISK DUE TO LEVEL PER FEMA ONLINE FLOOD HAZARD PANEL 4730 C 0233 H DATED 04/05/2017.

REVISIONS

FIELD CREW: JR  
 DRAWN BY: WG  
 CHECKED BY: J. MEEKS

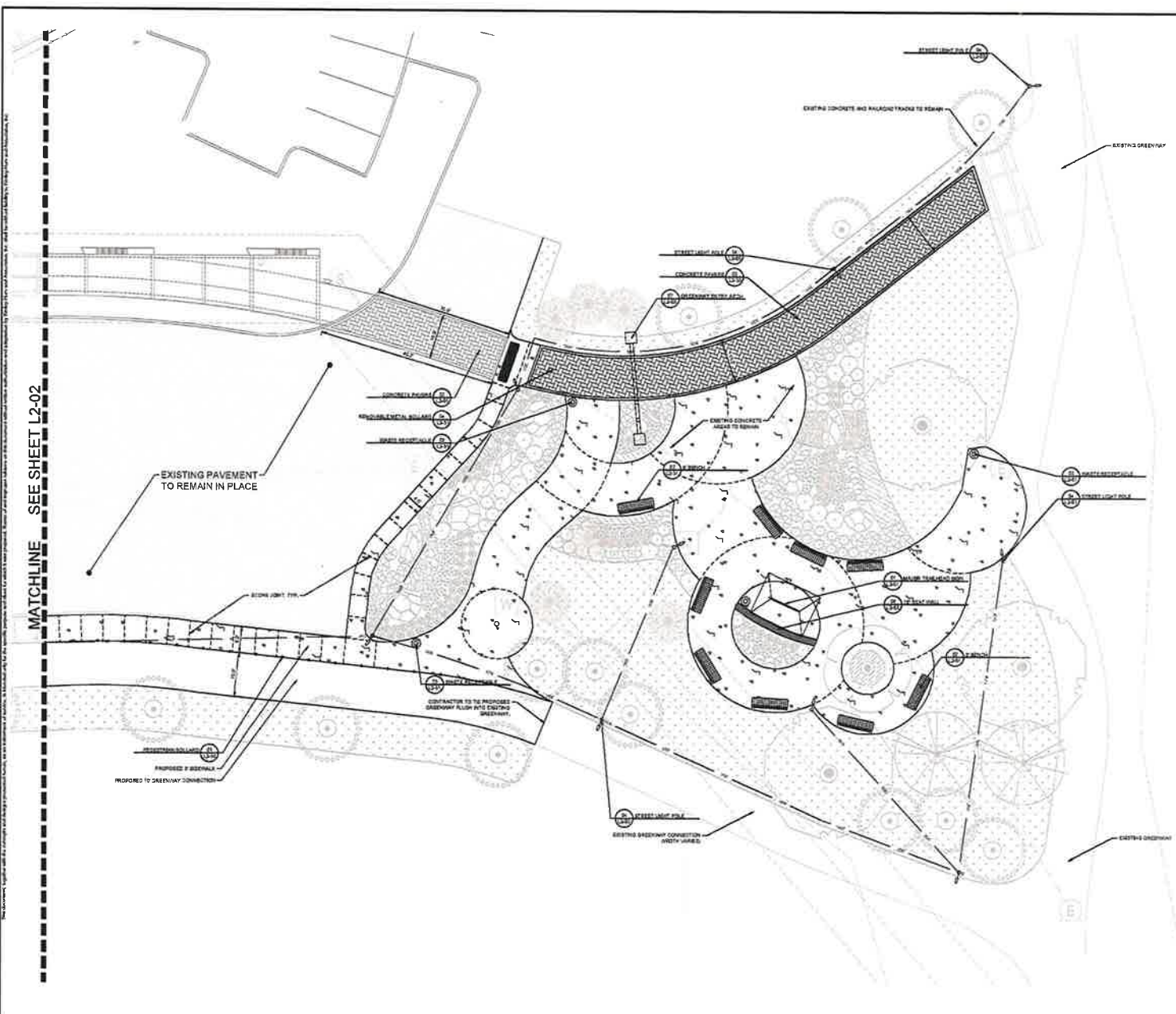
**EXHIBIT "A"**  
 SHEET  
 1 OF 1

**EXHIBIT "B"**

**CRP/Alta |Metro Center| Owner , L.L.C.**

**HARDSCAPE MATERIAL LEGEND**

	600 1 1/4 AT
	EXISTING ASPHALT
	LIGHT DUTY ASPHALT
	STANDARD CONCRETE
	CONCRETE PAVERS
	CONCRETE STONE JOINT



The information contained on this drawing was prepared by the Professional Engineer or Professional Architect registered in the State of Tennessee. The information is intended for the use of the client and is not to be construed as a recommendation or endorsement of any product or manufacturer. The user of this drawing is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The information is provided for the use of the client and is not to be construed as a recommendation or endorsement of any product or manufacturer.

**Kimley»Horn**  
 214 Chesapeake Drive, Nashville, TN 37204  
 Main: 615.564.2700 | www.kimley-horn.com  
 a manitex landscape and terrain, inc. company

**ALTA RIVERWALK - TRAILHEAD**  
**WOOD PARTNERS**  
 115 GREAT CIRCLE ROAD  
 NASHVILLE, TN

**DRAFT**  
**PRELIMINARY**  
**PLANS**  
 FOR REVIEW ONLY

NO.	REVISION

DESIGNED BY:	CSJ
DRAWN BY:	CSJ
CHECKED BY:	JJA
DATE:	09/15/2023

**DETAIL LAYOUT AND  
 GRADING PLAN**  
 SHEET NUMBER  
**L2-01**

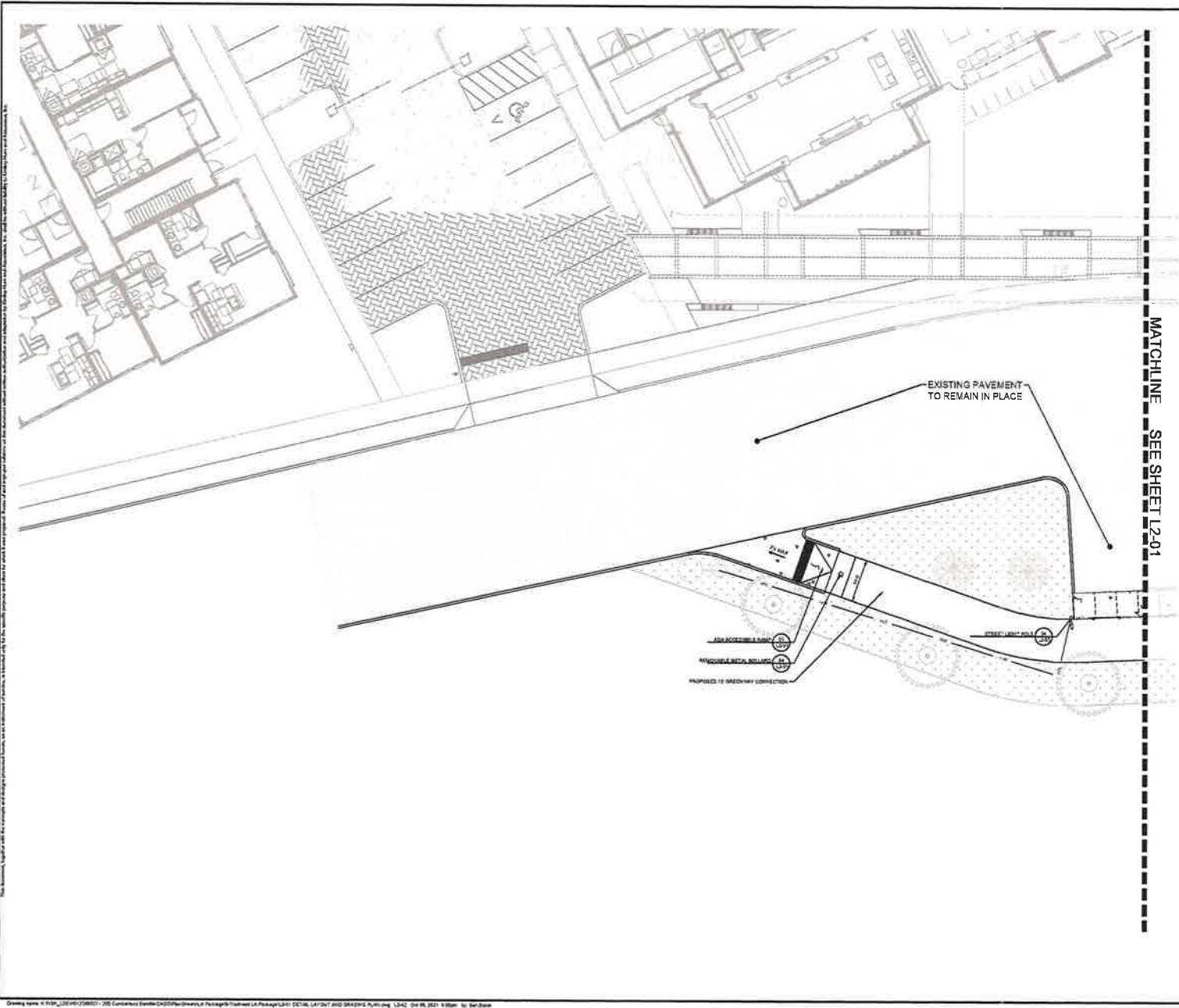
**EXHIBIT "B"**  
 Page 1



Drawing Name: K:\TRIP\2023\230027 - 300 Commercial Center\0202\Pre\020214 - Final\0214-01 DETAIL L2-01 DETAIL LAYOUT AND GRADING PLAN.dwg    05/16/2023 4:46pm    by Jim.Egan



HARDSCAPE MATERIAL LEGEND	
	SOIL DUMP
	EXISTING ASPHALT
	LIGHT DUTY ASPHALT
	STANDARD CONCRETE
	CONCRETE PAVERS
	CONCRETE CURBS



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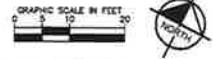
**Kimley»Horn**  
214 Cassadale Drive, Nashville, TN 37204  
Main: 615.564.2701 | www.kimley-horn.com  
© 2010 Kimley-Horn and Associates, Inc.

**ALTA RIVERWALK - TRAILHEAD**  
WOOD PARTNERS  
115 GREAT CIRCLE ROAD  
NASHVILLE, TN

**DRAFT  
PRELIMINARY  
PLANS**  
FOR REVIEW ONLY

DATE	REVISIONS	BY	CHK

**EXHIBIT "B"**  
Page 2



Drawing Name: K:\104\_12249\712121 - 225 Crosswalk (South Side) Through Trailhead LA Package\1201 DETAIL LAYOUT AND GRADING PLAN.dwg, L2-02.dwg, 12/14/2011 10:04:31 AM, by: [redacted]

DETAIL LAYOUT AND  
GRADING PLAN  
SHEET NUMBER  
**L2-02**

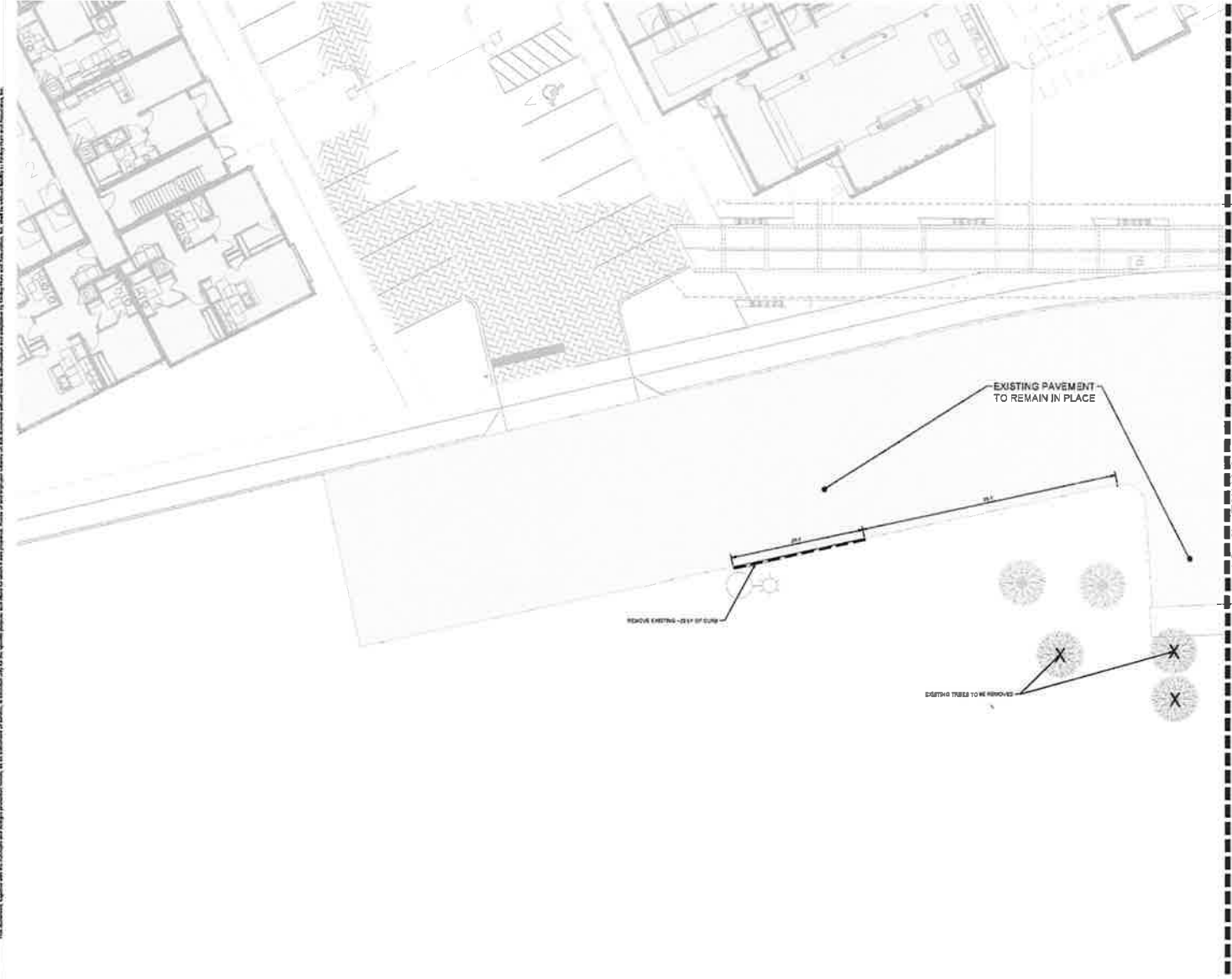
**EXHIBIT "C"**

**THE PLANS**





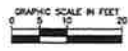
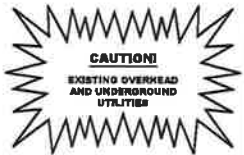




**DEMOLITION LEGEND**  
 [Hatched Box] REMOVE CONCRETE AND PAVEMENT  
 [X in Circle] REMOVE SELECT  
 [Circle with Pattern] REMOVE SELECT FOUND UTILITIES

**EXISTING UTILITIES NOTE**  
 CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

**BASE INFO PROVIDED BY KHA SURVEY**  
 KIMBLE HORN & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE INFORMATION PROVIDED.



**Kimley»Horn**  
 214 Commodore Drive, Nashville, TN 37204  
 Main: 615.866.2761 | www.kimley-horn.com  
 Fax: 615.866.2760

**ALTA RIVERWALK - TRAILHEAD**  
 WOOD PARTNERS  
 115 GREAT CIRCLE ROAD  
 NASHVILLE, TN

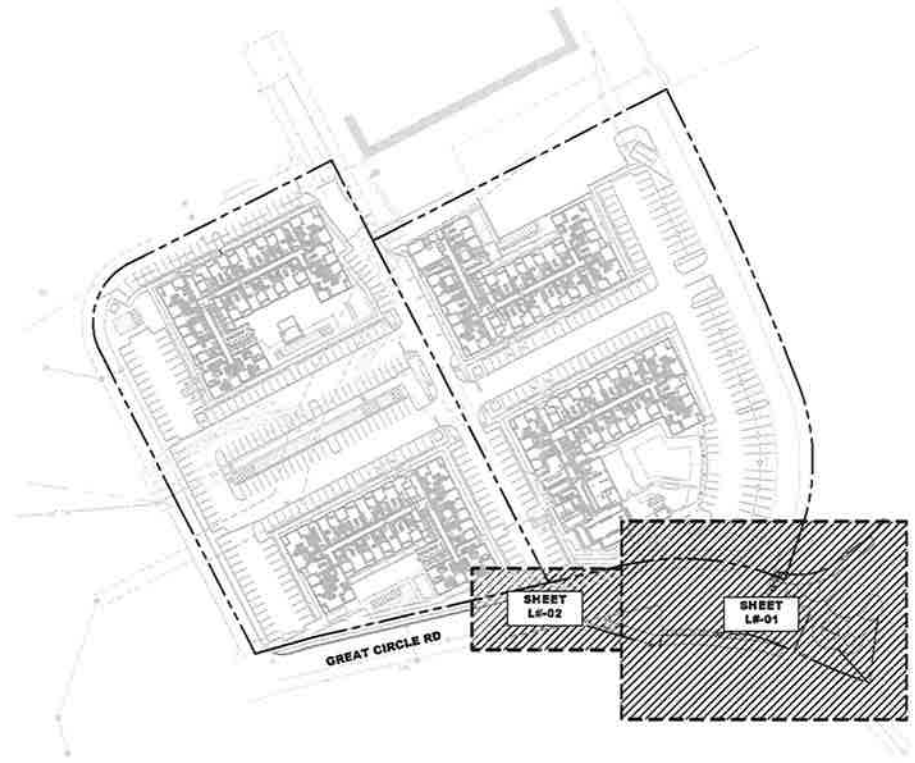
**DRAFT PRELIMINARY PLANS**  
 FOR REVIEW ONLY

NO.	DATE	REVISIONS

DEMOLITION PLAN  
 SHEET NUMBER  
**L1-02**

Drawing Name: R:\2024\20240107\20240107 - 000 GreatCircle TrailHead - 0101.dwg  
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 Plot Size: 11x17  
 Plot Orientation: Landscape  
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 Plot Lineweight: 0.20 mm  
 Plot Linetype: Solid  
 Plot Linecolor: Black  
 Plot Fillcolor: Black  
 Plot Filltype: Solid  
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REV	DATE	DESCRIPTION

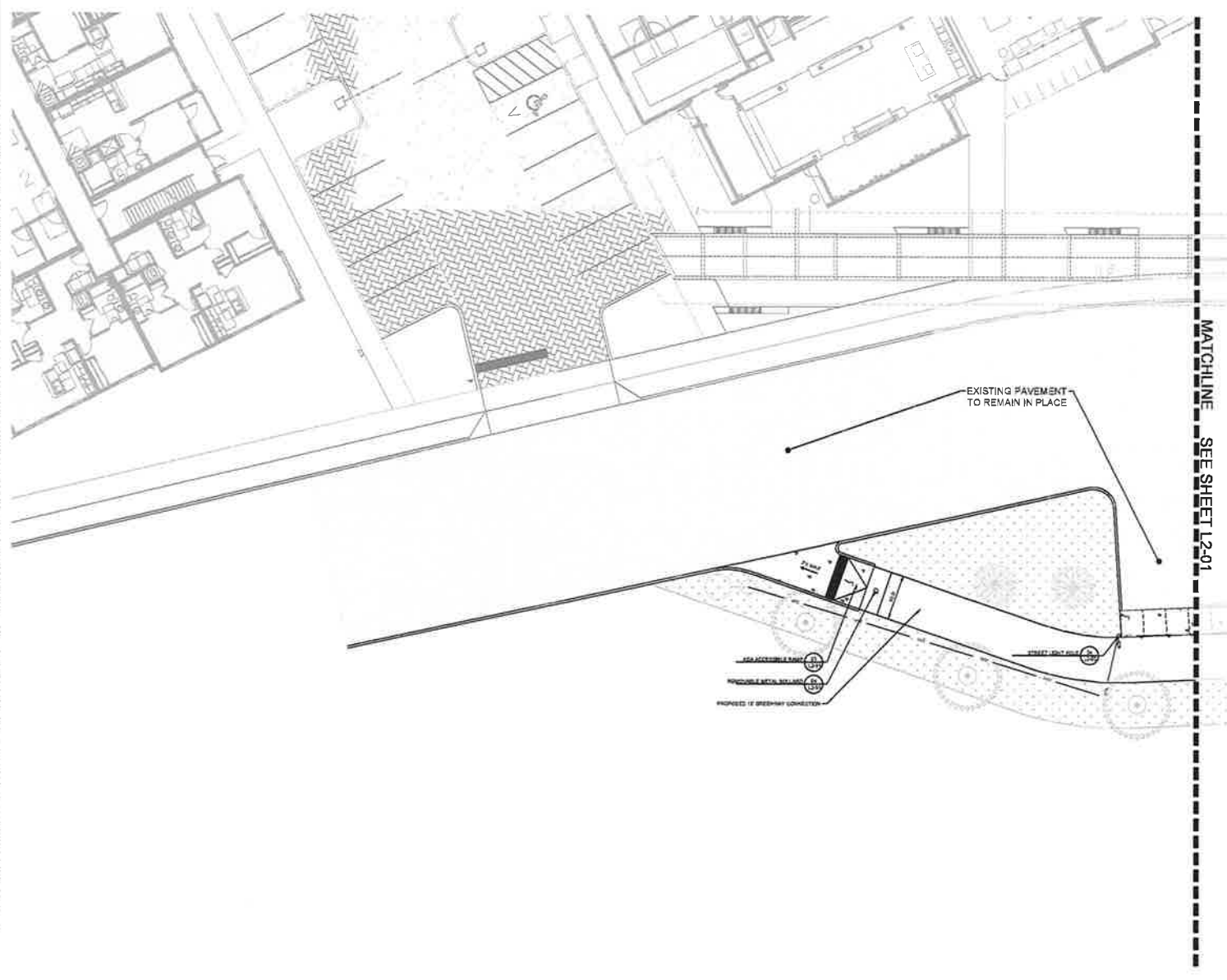
DESIGNED BY:	CU
DRAWN BY:	CU
CHECKED BY:	JJA
DATE:	08/12/2011
SCALE:	AS SHOWN

**HARDSCAPE  
SPECIFICATIONS**










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**HARDSCAPE MATERIAL LEGEND**

-  SOD TURF
-  EXISTING ASPHALT
-  LIGHT DUTY ASPHALT
-  BIOHARC CONCRETE
-  CONCRETE SLABS
-  CONCRETE SCORE JOINT

**Kimley»Horn**  
 214 Oxmoor Drive, Nashville, TN 37204  
 Main: 615.258.2701 | www.kimley-horn.com  
 Fax: 615.259.1979

**ALTA RIVERWALK - TRAILHEAD**  
 WOOD PARTNERS  
 115 GREAT CIRCLE ROAD  
 NASHVILLE, TN

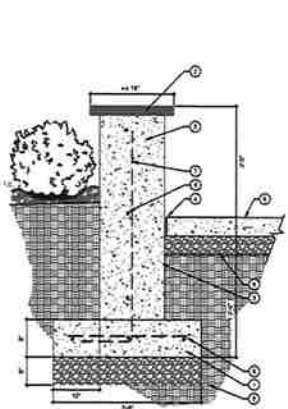
**DRAFT  
 PRELIMINARY  
 PLANS**  
 FOR REVIEW ONLY

REV	DATE	DESCRIPTION

DESIGNED BY	EA
DRAWN BY	EA
CHECKED BY	JAK
DATE	08/01/2017
SCALE: (INDICATED PREFIXES ARE DISREGARD)	

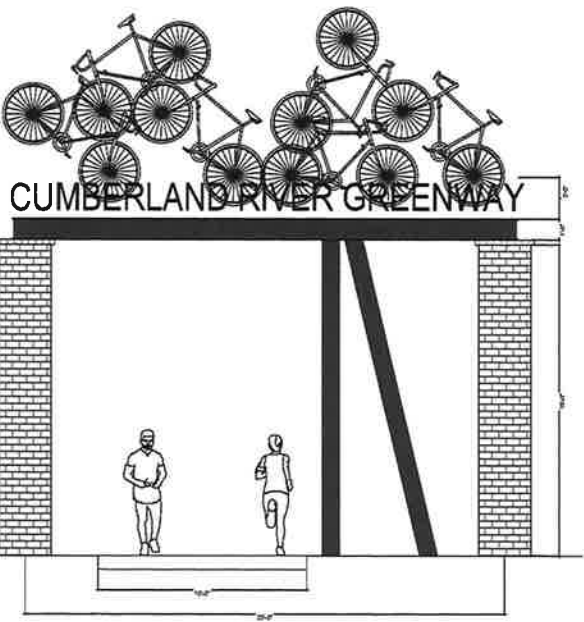


DETAIL LAYOUT AND GRADING PLAN  
 SHEET NUMBER  
**L2-02**

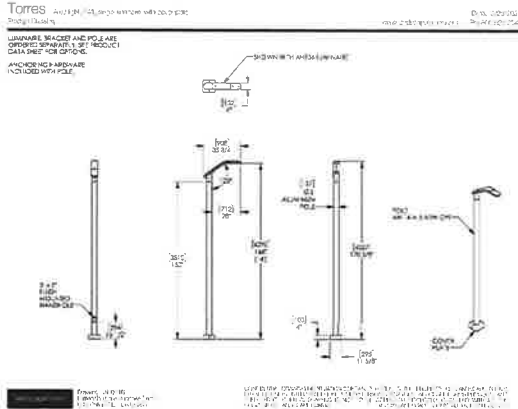


1. 4" CONC. SPREAD FOOTING (WIDTH 12" MIN)
  2. 1/2" GALV. METAL STONE COPING (HEIGHT 1 1/2") WITH 1/4" RADIUS PER OWNER'S STRUCTURAL ENGINEER.
  3. SEALANT EXPANSION JOINT WHERE CONCRETE PLATFORM MEETS WALL FACE. PROVIDE JOINT FILLER.
  4. CONCRETE PAV. PLATFORMS. SEE LANDSCAPE PLAN.
  5. BRICK VENEER ON EXTERIOR AND AGGREGATE BASE. VERIFY WITH SOILS ENGINEER, REPORT AND OWNER'S STRUCTURAL ENGINEER.
  6. REAR HORIZONTAL SET IN FOOTING SPACED BY 48" CONTINUOUS THROUGH WALL. TIE TO REBAR IN WALL. VERIFY WITH OWNER'S STRUCTURAL ENGINEER.
  7. REAR HORIZONTAL SPACED 18" O.C. CONTINUOUS THROUGH WALL. TIE TO VERTICAL REBAR. VERIFY WITH OWNER'S STRUCTURAL ENGINEER.
  8. REAR HORIZONTAL SPACED 18" O.C. CONTINUOUS THROUGH WALL. TIE TO VERTICAL REBAR. VERIFY WITH OWNER'S STRUCTURAL ENGINEER.
  9. REAR HORIZONTAL SPACED 18" O.C. CONTINUOUS THROUGH WALL. TIE TO VERTICAL REBAR. VERIFY WITH OWNER'S STRUCTURAL ENGINEER.
  10. REAR HORIZONTAL SPACED 18" O.C. CONTINUOUS THROUGH WALL. TIE TO VERTICAL REBAR. VERIFY WITH OWNER'S STRUCTURAL ENGINEER.
- GENERAL NOTES:**  
 A. JOINT FILLER COLOR SHALL MATCH COLOR OF ADJACENT PAVING.  
 B. BRICK AND MORTAR TYPE COLOR TO MATCH BRICK.  
 C. F.S. - FINISH GRADE SURFACE, SEE BRADING PLAN.
- EXPANSION JOINT NOTES:**  
 A. SET JOINT FILLER AND SET BACK AND RESILIENT FILLER (MILKMOULD TYPE) CONFORMING TO ASTM D1751.  
 B. JOINT SEALANT: REINFORCING SEALANT TWO PART MANUFACTURED BY SOMERSON/CONTECH, BUILDING PRODUCT DIVISION, CONTECH, INC. OR APPROVED EQUAL. BOND BEHINDER TAPE TO BE AS RECOMMENDED BY SEALANT MANUFACTURER. COLOR SHALL MATCH CONCRETE.  
 C. DO NOT INSTALL DOORS WHERE PAVING MEETS THE MINIMUM FOUNDATION OR PAVING LOT CURB.

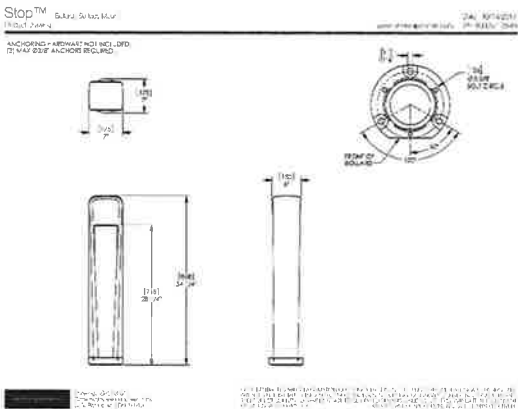
6 18" SEAT WALL  
Scale: 1/4" = 1'-0"



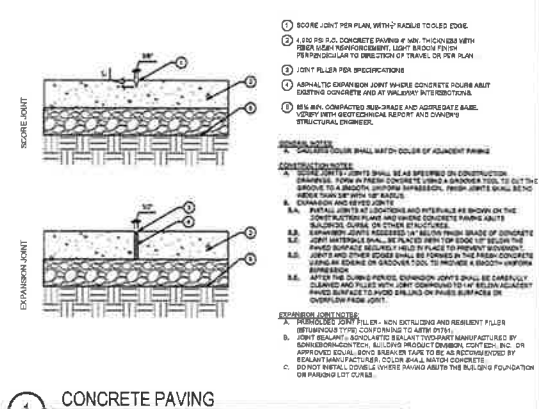
7 GREENWAY ENTRY ARCH  
Scale: 3/8" = 1'-0"



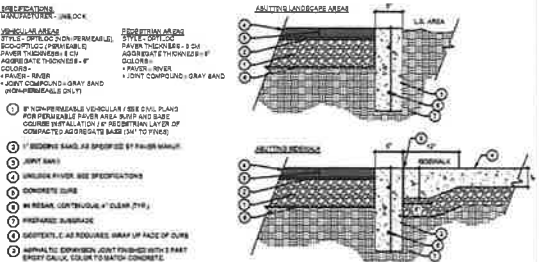
4 14' TORRES PEDESTRIAN LIGHT  
NTS



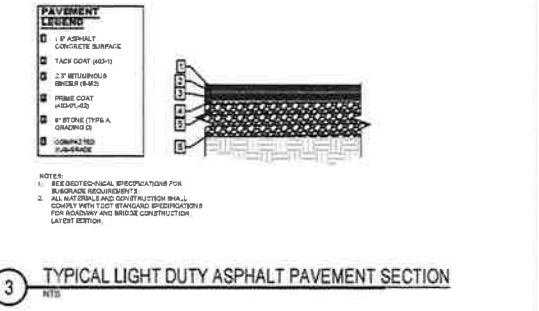
5 PEDESTRIAN STOP BOLLARD  
NTS



1 CONCRETE PAVING  
Scale: 1 1/2" = 1'-0"



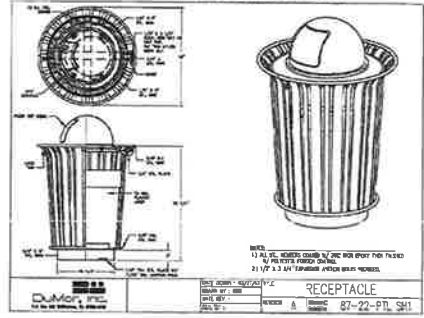
2 PAVER SECTIONS  
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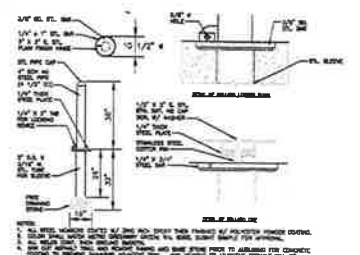
3 TYPICAL LIGHT DUTY ASPHALT PAVEMENT SECTION  
NTS

DATE:	
REVISIONS:	
DESIGNED BY:	SKS
DRAWN BY:	SKS
CHECKED BY:	JMP
DATE:	08/13/2013
SHEET NUMBER:	12-50

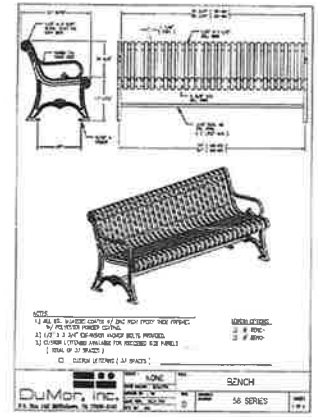
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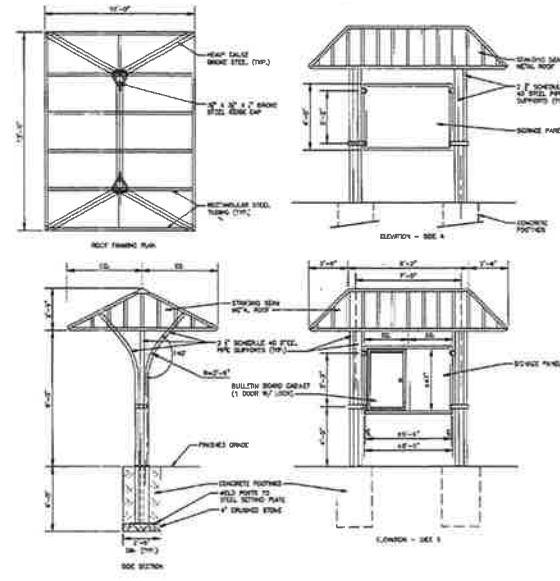
**3 TRASH RECEPTACLE**  
 NTS



**4 REMOVABLE METAL BOLLARD**  
 NTS



**2 BENCH**  
 NTS



**1 MAJOR TRAILHEAD SIGN**  
 NTS

DETAIL A: BI-DIRECTIONAL, NON-PERPENDICULAR CURB RAMP WITH CROSS SLOPE

DETAIL B: BI-DIRECTIONAL, NON-PERPENDICULAR CURB RAMP WITHOUT CROSS SLOPE

DETAIL C: BI-DIRECTIONAL, NON-PERPENDICULAR CURB RAMP WITH CROSS SLOPE AND GRADE BREAK + F

DETAIL D: BI-DIRECTIONAL, NON-PERPENDICULAR CURB RAMP WITH CROSS SLOPE AND GRADE BREAK + F

LEGEND

GENERAL NOTES

DUMOR, INC.  
 87-22-PT. SM1

**5 ADA ACCESSIBLE RAMP**  
 NTS

NO.	DATE	DESCRIPTION

DESIGNED BY: BWS  
 DRAWN BY: JWP  
 CHECKED BY: BWS  
 DATE: 05/21/2013







