

# 751 SOUTH 5TH STREET

## NASHVILLE, TN

PRELIMINARY SP SUBMITTAL: 03/27/2024  
PRELIMINARY SP RESUBMITTAL #1: 04/17/2024  
PRELIMINARY SP RESUBMITTAL #2: 05/30/2024  
PRELIMINARY SP RESUBMITTAL #3: 07/11/2024

SITE DATA TABLE		
SITE ADDRESS	751 SOUTH 5TH STREET NASHVILLE, TN 37206	
TAX MAP	MAP 093.08 PARCEL 092.00	
OVERALL AREA	EXISTING	PROPOSED
SITE AREA	1.41 AC	1.34 AC
DISTURBED AREA	1.41 AC	1.41 AC
DEDICATED R.O.W. AREA	N/A	0.07 AC
IMPERVIOUS AREA	1.21 AC	1.07 AC
PERVIOUS AREA	0.20 AC	0.27 AC
BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT BUILD-TO	0 FT	0-15 FT
REAR	10 FT	10 FT
SIDE	0 FT	0 FT

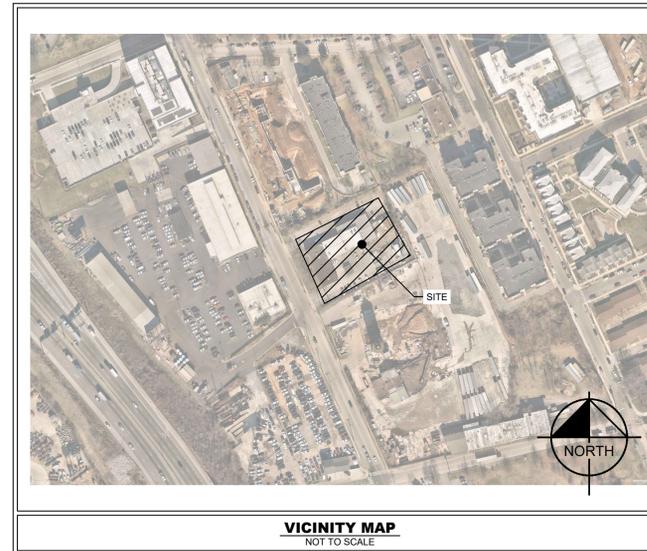
BUILDING DATA	REQUIRED	PROVIDED
AVERAGE HEIGHT	95' MAX	95' MAX
MAX. HEIGHT PRIOR TO BUILDING STEP-BACK	-	31'
BUILDING STEPBACK (S 5TH ST)	10' MIN.	10' MIN.
STORIES	8 MAX	8
TOTAL AREA	280,000 SF	
RETAIL	8,000 SF	
PARKING DECK	92,000 SF	
HOTEL	180,000 SF	
TOTAL KEYS	265	
F.A.R.	4.5 MAX	4.5

PARKING	MINIMUM	PROVIDED
STANDARD SPACES (STRUCTURE)	0	160
STANDARD SPACES (ON STREET)	0	N/A
BICYCLE PARKING (PRIVATE)	PER CODE	
BICYCLE PARKING (PUBLIC)	PER CODE	

EXISTING PROPERTY SUMMARY	
PROPERTY ADDRESS:	751 SOUTH 5TH STREET NASHVILLE, TN
MAP AND PARCEL ID:	MAP 093.08, PARCEL 092.00
U.S. FEMA FIRM PANEL:	47037C0242H DATED 04/05/2017
EXISTING ZONING:	CS, OV-FLD, OV-UZO
EXISTING LAND USE:	COMMERCIAL

METRO PERMITTING REFERENCE	
SP CASE NO.:	<b>2024SP-016-001</b>
BUILDING PERMIT:	<b>TBD</b>
GRADING PERMIT:	<b>TBD</b>
WATER PERMIT:	<b>WATERCAP T2024023476</b>
SEWER PERMIT:	<b>WSAVAIL 2024015861</b>

GENERAL DEVELOPMENT NOTES	
1.	ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF ANS1 117.1, 2009 EDITION AND THE FAIR HOUSING ACT.  U.S. Justice Department: <a href="http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm">http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm</a>
2.	PART OF THE SUBJECT PROPERTY IS LOCATED IN AREAS DESIGNATED AS "ZONE AE" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 47037C0242H.
3.	ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
4.	METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



**COUNCIL DISTRICT 06  
COUNCIL MEMBER CLAY CAPP  
CITY OF NASHVILLE  
DAVIDSON COUNTY COUNTY, TN**

### PROJECT DESIGN TEAM

**ARCHITECT**  
ODA ARCHITECTURE  
CHARLOTTE, NC  
CONTACT: ERICA KENNEDY  
PHONE: (704) 926-3358

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
10 LEA AVENUE, SUITE 400  
NASHVILLE, TENNESSEE 37210  
CONTACT: BRENDAN BOLES  
PHONE: (615) 564-2701

**SURVEY**  
CLINT ELLIOTT SURVEY  
P.O. BOX 331875  
NASHVILLE, TN 37203  
CONTACT: JOHN S. PATTESON  
PHONE: (615) 490-3236

### PERMITTING / UTILITY CONTACTS

**BUILDING CODES**  
METRO NASHVILLE CODES  
BRADY RICH  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6520

**STORMWATER**  
METRO WATER SERVICES  
KAITLYN DEWALD  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**WATER**  
METRO WATER SERVICES  
EVAN LOW  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**SANITARY SEWER**  
METRO WATER SERVICES  
EVAN LOW  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 881-6808

**PLANNING**  
METRO NASHVILLE PLANNING DEPARTMENT  
DUSTIN SHANE  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6608

**FIRE MARSHAL**  
JOSEPH ALMON  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6242

**URBAN FORESTER**  
METRO NASHVILLE  
STEPHAN KIVETT  
800 SECOND AVE. SOUTH  
NASHVILLE, TN 37210  
PHONE: (615) 862-6488

**ELECTRIC**  
NASHVILLE ELECTRIC SERVICE  
JOSHUA PIKE  
1214 CHURCH STREET  
NASHVILLE, TN 37246  
PHONE: (615) 747-3688

Sheet List Table	
Sheet Number	Sheet Title
C0-00	COVER
C0-01	GENERAL NOTES
C0-02	SURVEY (BY OTHERS)
C2-00	SITE LAYOUT - OVERALL
C4-00	GRADING AND DRAINAGE PLAN - OVERALL
C6-00	UTILITY PLAN - OVERALL
L1-00	LANDSCAPE PLAN
L1-50	LANDSCAPE DETAILS
A-100	FLOOR PLANS
A-101	FLOOR PLANS
A-102	BUILDING ELEVATIONS
A-103	EXTERIOR RENDERINGS

### OWNER / DEVELOPER

DREAM CAPITAL  
40 WALL ST, 28TH FLOOR  
NEW YORK, NEW YORK 10005  
PHONE: (212) 382-2214  
CONTACT: ANKIT GOVAN

### PLANS PREPARED BY



10 Lea Avenue, Suite 400, Nashville, TN 37210  
Main: (615) 564-2701 | [www.kimley-horn.com](http://www.kimley-horn.com)  
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LAND USE POLICY NOTE	
THE PROPOSED RE-DEVELOPMENT SITE IS WITHIN THE T5-MU COMMUNITY CHARACTER POLICY. THE PROPOSED HOTEL USE WILL PROVIDE FOR A MIXTURE OF USES IN THE NEIGHBORHOOD INCLUDING GROUND FLOOR RETAIL AND WILL PROVIDE ADDITIONAL HOTEL ROOMS TO SUPPORT THE GROWTH OF NASHVILLE, THE EAST BANK, AND THE METRO'S NEW TITANS STADIUM THAT IS BEING PLANNED TO HOST MAJOR ENTERTAINMENT AND SPORTING EVENTS IN THE FUTURE. S. 5TH STREET IS ON A COLLECTOR STREET ADJACENT TO THE CAYCE HOMES REDEVELOPMENT BEING COMPLETED BY MDHA.	

MAJOR AND COLLECTOR STREET PLAN (MSCP)	
THE PROPOSED SITE IS LOCATED ALONG S. 5TH STREET WHICH IS THE PRIMARY ROAD FRONTAGE. THE MSCP DESIGNATION IS T5-M-CA2A COLLECTOR STREET. THE PROPOSED ROW WIDTH FOR THE ROADWAY IS 88' WITH A 9' PLANTING STRIP AND A 10' SIDEWALK. THE PROPOSED DEVELOPMENT IS DEDICATING THE ROW AND CONSTRUCTING THE SIDEWALK AS REQUIRED BY THE MSCP.	

SP PURPOSE	
THE PURPOSE OF THIS SP IS TO PERMIT UP TO 265 HOTEL ROOMS, ANCILLARY USES, UP TO 8,000 SQ. FT OF NONRESIDENTIAL USES AND TELECOMMUNICATIONS FACILITIES (SEE NOTES FOR FURTHER INFO ON USES AND TELECOMMUNICATIONS FACILITY REQUIREMENTS).	



Know what's below.  
Call before you dig.

PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
FILE NUMBER	SHEET NUMBER	TOTAL SHEETS
<b>118613000</b>	<b>C0-00</b>	<b>11</b>





VICINITY MAP  
1" = 1000'

**TOTAL LOT AREA**

61,550 SF OR 1.413 ACRES±

**MAP REFERENCE**

Parcel ID for subject property is ( 09308009200 ) on Davidson County Property Map.

**DEED REFERENCE**

Owner: PROFESSIONAL SERVICES INDUSTRIES, INC., as of record in DB-00008341 0000992 Register's Office, Davidson County, Tennessee.

**PLAT REFERENCE**

Being Lot # 2 on the Re-Subdivision of Lot 1, Harrison Subdivision, Crutcher Street, as of record in Book 7900, Page 273, Register's Office for Davidson County, TN.

**SURVEYOR'S NOTES**

- This Property is located in the 6th Council District of Davidson County Tennessee.
- Bearings, Elevations and Coordinates shown are based on Tennessee State Plane NAD83 (NAVD88)
- The property is located in areas designated as "Zone X" (areas determined to be outside the 0.2 % annual chance floodplain) as noted on the current FEMA Firm Community Panel # 47037C0242H, effective on 4-5-2017.
- Utilities shown hereon were taken from visible structures and other sources available to me at this time. Verification of existence, size, location and depth should be confirmed with the appropriate utility sources.
- A Title Report was not provided for the preparation of this survey. Therefore this survey is subject to the findings of an accurate title search.
- No Stream determinations were provided to this surveyor, therefore this survey does not address the existence or non-existence of any water of the state, jurisdictional stream buffers or wetlands.
- This survey does not address the owner of any fence nor address any adverse claim of ownership of any adjoining property. Removal of any property line fence should be coordinated with adjacent owner.
- Property is currently Zoned CS. Setbacks per current zoning, verify with Metro Codes Administration. Front Building Setback = 15' Minimum Rear Building Setback = 20' Minimum Side Building Setback = None Required
- This survey was prepared for the exclusive use of the persons or entities named on the certification hereon. Said certificate does not extend to any unnamed person or entity without an express re-certification by the surveyor.

**GPS NOTES**

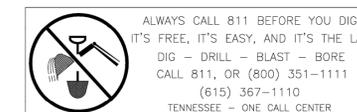
- The (TDOT) Tennessee Geodetic Reference Network was used for this survey.
- GPS locations used for this survey were established using a VRS network consisting of multiple reference stations.
- GPS data was collected with a Spectra Precision 80 receiver.
- This survey was prepared without the use of a scale factor. Except in the instance of initial survey control, all distances or coordinates were derived from measurements taken by a total station. Coordinates used for the initial survey control were generated with the use of GPS observations and used as the basis for the coordinate system used for this survey.
- The date of the field work for this survey was: 08/17/2023.

**SURVEYOR'S CERTIFICATE**

To: Regal Homes Co

I hereby certify that this survey was actually made on the ground under my direct supervision, using the latest recorded deeds, and other information, that there are no encroachments or projections other than those shown; and that this survey exceeds the minimum requirements for a Category 1 Urban Land Survey pursuant to Chapter 0820-3, Section .05 of the Department of Insurance Standards of Practice for Land Surveyors; and that this survey is true and correct to the best of my knowledge and belief.

John S. Patteson, TN RLS # 1829



P.O. Box 331875  
Nashville, TN 37203  
clintelliotts@survey.com  
(615) 490-3236



**Boundary & Topographic Survey**  
751 South 5th Street  
Nashville, Davidson County, Tennessee

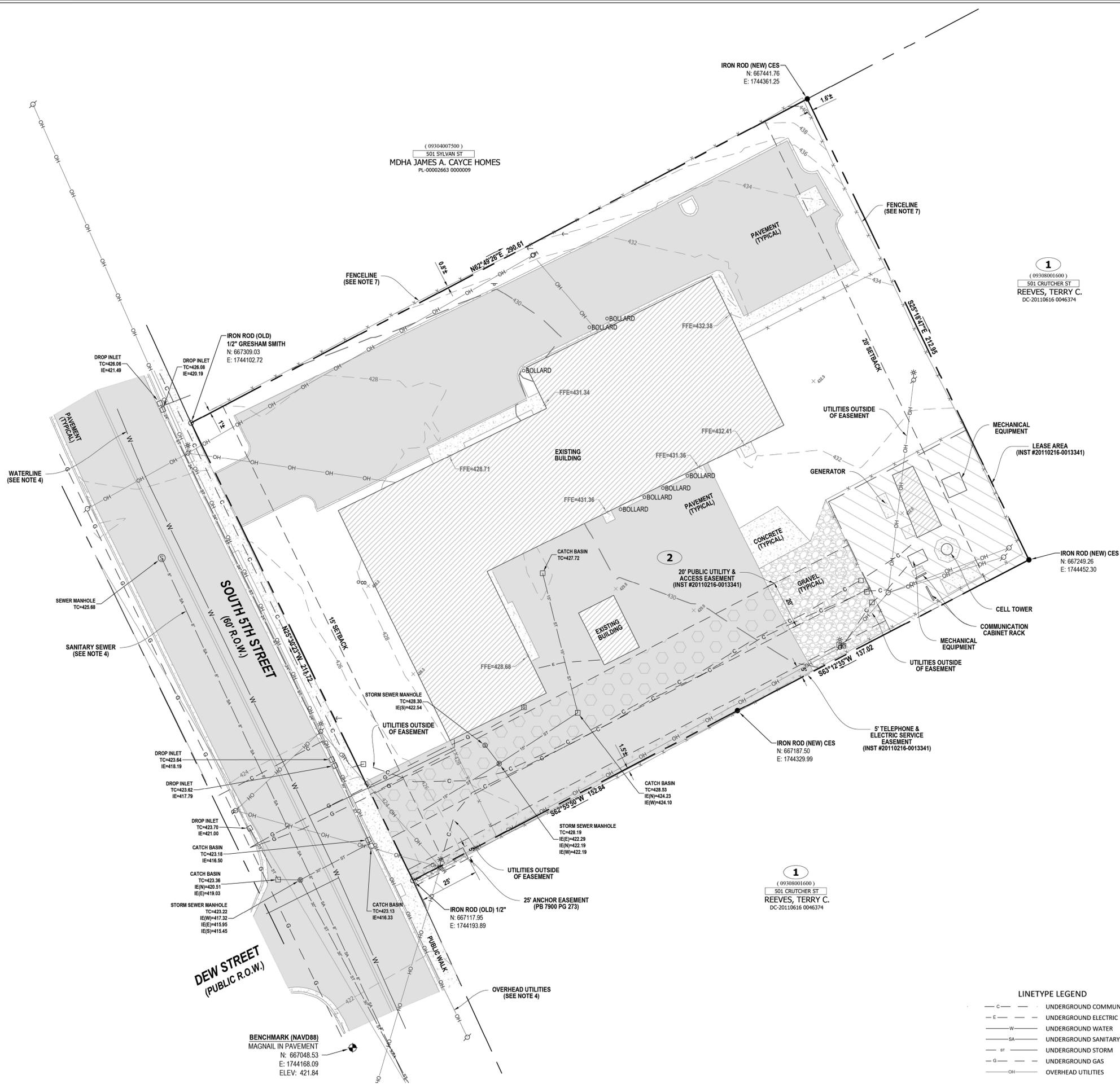
Rev.	Date	Revision Description



Issue Date: 8-29-2023  
Project ID: S 5TH ST 751  
Drafted By: MJB  
Field Crew: JL  
Checked By: JP

Sheet Title:  
**Boundary & Topographic Survey**

Sheet No.  
**V-1.00**

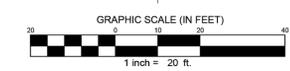


**LINETYPE LEGEND**

C	UNDERGROUND COMMUNICATIONS
E	UNDERGROUND ELECTRIC
W	UNDERGROUND WATER
SA	UNDERGROUND SANITARY SEWER
ST	UNDERGROUND STORM
G	UNDERGROUND GAS
OH	OVERHEAD UTILITIES

**Symbol Legend**

Symbol	Denotes
(Circle with dot)	IRON ROD (OLD)
(Circle with cross)	BENCHMARK
(Circle with X)	CATCH BASIN
(Circle with H)	FIRE HYDRANT
(Circle with S)	SEWER MANHOLE
(Circle with T)	EXISTING TREE
(Circle with V)	WATER VALVE
(Circle with M)	WATER METER
(Circle with N)	IRON ROD (NEW)
(Circle with U)	UTILITY POLE
(Circle with M)	STORM MANHOLE
(Square with X)	CONCRETE
(Square with /)	ASPHALT
(Square with .)	GRAVEL



1  
(09308001600)  
501 CRUTCHER ST  
REEVES, TERRY C.  
DC-20110616 0046374

(09304007500)  
501 SYLVAN ST  
MDHA JAMES A. CAYCE HOMES  
PL-00002663 0000009

1  
(09308001600)  
501 CRUTCHER ST  
REEVES, TERRY C.  
DC-20110616 0046374

BENCHMARK (NAVD88)  
MAGNAIL IN PAVEMENT  
N: 667048.53  
E: 1744168.09  
ELEV: 421.84

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- ### 715 S 5TH STREET SP DEVELOPMENT STANDARDS
1. THE PURPOSE OF THIS SPECIFIC PLAN IS TO PERMIT UP TO 265 HOTEL ROOMS, ANCILLARY USES, UP TO 8,000 SF OF NON RESIDENTIAL USES AND TELECOMMUNICATIONS FACILITY (SEE NOTES FOR FURTHER INFO ON USES AND TELECOMMUNICATIONS FACILITY REQUIREMENTS).
  2. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  3. ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
  4. THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METRO FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  5. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
  6. MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL, THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
  7. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE **MUG-A-NS** ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OF APPLICATION.
  8. STORMWATER FEATURES SHOWN ARE PRELIMINARY AND ILLUSTRATE THE PROPOSED STORMWATER MANAGEMENT APPROACH. THE FINAL DESIGN MUST MEET ALL APPLICABLE STORMWATER REGULATIONS AT THE TIME OF PERMITTING.
  9. APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
  10. ACCORDING TO THE NRCS SOIL MAP, THE SOIL ON THE PROPERTY IS LINDELL-URBAN AND STIVERSVILLE-URBAN.
  11. THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
  12. SIGNAGE SHALL MEET METRO ZONING REQUIREMENTS OF MUG-A AND WILL BE REVIEWED WITH ANY FINAL SITE PLAN, AND/OR BUILDING PERMITS OR CHANGES IN USE.
  13. ALL DEVELOPMENTS WITHIN THE BOUNDARIES OF THIS PLAN SHALL BE BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT, AS APPLICABLE.
  14. THE REQUIREMENTS OF METRO FIRE MARSHAL'S OFFICE ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
  15. ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
  16. THE OWNER/DEVELOPER AGREES TO MAINTAIN PRIVATE TRASH AND RECYCLING SERVICE FOR THE DEVELOPMENT AS LONG AS THE DEVELOPMENT REMAINS IN PLACE.
  17. BUILDING FACADES SHALL BE CONSTRUCTED OF BRICK, BRICK VENEER, STONE, CAST STONE, CEMENTITIOUS SIDING, AND GLASS, OR MATERIALS SUBSTANTIALLY SIMILAR IN FORM AND FUNCTION, UNLESS OTHERWISE APPROVED ON DETAILED BUILDING ELEVATIONS INCLUDED WITH THIS PRELIMINARY SP.
  18. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN ANY REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF ANY REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE.
  19. WITH THE FINAL SP SUBMITTAL, THE ROAD FRONTAGES WILL BE REQUIRED TO MEET THE MAJOR AND COLLECTOR STREET PLAN. FINAL DESIGN AND STREETScape DETAILS WILL BE REVIEWED BY PLANNING AND NDOT WITH THE FINAL SP.
  20. HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF FOUR MOST EXTERIOR CORNERS) AT THE FINISHED GRADE (THE FINAL GROUND ELEVATION) TO THE MIDPOINT OF THE PRIMARY ROOF PITCH (VERTICAL DISTANCE FROM THE EVE OF THE MIDPOINT) OR TO THE TOP OF THE PARAPET FOR A FLAT ROOF.
  21. LANDSCAPING AND TREE DENSITY REQUIREMENTS PER THIS PRELIMINARY SP PLAN.
  22. SETBACKS PER THIS PRELIMINARY SP PLAN.
  23. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.

COMMERCIAL USES	UP TO 8,000 GSF MAX
HOTEL USES	265 ROOMS MAX
MAXIMUM FAR	4.5
MAXIMUM ISR	1.0
MAXIMUM BUILDING HEIGHT AT BUILD-TO ZONE (S 5TH ST)	95 FT
BUILD-TO-ZONE (S 5TH ST)	0-15 FT
MAXIMUM HEIGHT PRIOR TO BUILDING STEP-BACK ZONE	31 FT
BUILDING STEPBACK (S 5TH ST)	10 FT (MIN.)
MAX BUILDING HEIGHT	95 FT
PARKING SPACES	MAX PARKING PER UZO STANDARDS

METRO PERMITTING REFERENCE	PERMITTED USES
SP CASE NO.: <b>20024SP-016-001</b>	THE FOLLOWING USES ARE TO BE PERMITTED WITHIN THE SP: HOTEL/MOTEL, RETAIL, RESTAURANT (FULL SERVICE AND TAKE OUT), GENERAL OFFICE, MEDICAL OFFICE, ATM, FINANCIAL INSTITUTION, GROCERY STORE, LIQUOR SALES, PERSONAL CARE SERVICE, TELECOMMUNICATION FACILITY.
BUILDING PERMIT: <b>TBD</b>	
GRADING PERMIT: <b>SWGR TBD</b>	
WATER PERMIT: <b>WATERCAP T2024023476</b>	
SEWER PERMIT: <b>WSAVAL 2024015861</b>	

**TELECOMMUNICATION FACILITY NOTE**

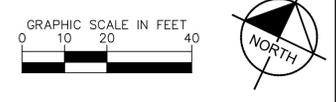
TELECOMMUNICATION FACILITY SHALL INCLUDE THE EXISTING CELL TOWER USE AND UPON CONVERSION TO A ROOFTOP TELECOMMUNICATION USE. IN ADDITION TO ZONING CODE REQUIREMENTS FOR TELECOMMUNICATIONS FACILITY THE FOLLOWING REQUIREMENTS SHALL APPLY:

1. ROOFTOP EQUIPMENT SHALL NOT BE VISIBLE FROM PEDESTRIAN VIEW ALONG S. 5TH STREET.
2. ROOFTOP EQUIPMENT SHALL BE SCREENED CONSISTENT WITH THE BUILDING ARCHITECTURE.

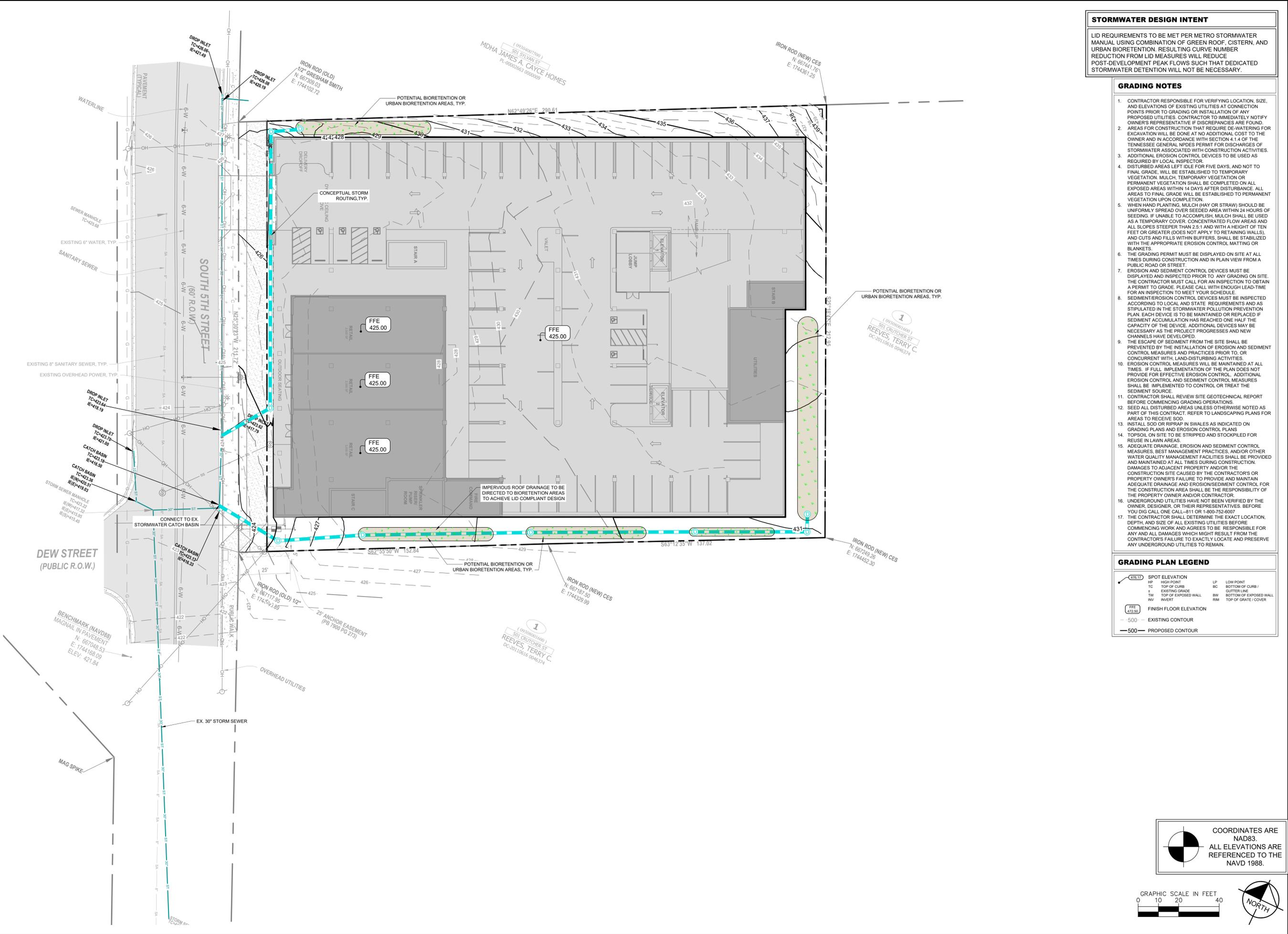
PAVEMENT LEGEND
HEAVY DUTY ASPHALT PAVEMENT
LIGHT DUTY CONCRETE PAVEMENT
HEAVY DUTY CONCRETE PAVEMENT
MILLING AND REPAVING
FURNISHING ZONE

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 07/11/2024  
 KIMLEY-HORN PROJECT NO. 118613000



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**STORMWATER DESIGN INTENT**

LID REQUIREMENTS TO BE MET PER METRO STORMWATER MANUAL USING COMBINATION OF GREEN ROOF, CISTERN, AND URBAN BIORETENTION. RESULTING CURVE NUMBER REDUCTION FROM LID MEASURES WILL REDUCE POST-DEVELOPMENT PEAK FLOWS SUCH THAT DEDICATED STORMWATER DETENTION WILL NOT BE NECESSARY.

**GRADING NOTES**

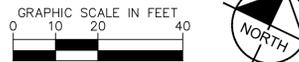
- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENTATION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

**GRADING PLAN LEGEND**

- SPOT ELEVATION
  - HP HIGH POINT
  - TC TOP OF CURB
  - BC BOTTOM OF CURB
  - TV TOP OF EXPOSED WALL
  - INV INVERT
  - BM BOTTOM OF EXPOSED WALL
  - RM TOP OF GRATE / COVER
- FINISH FLOOR ELEVATION
  - 500 - EXISTING CONTOUR
  - 500 - PROPOSED CONTOUR

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COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.



DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 07/11/2024  
 KIMLEY-HORN PROJECT NO. 118613000  
 GRADING AND DRAINAGE PLAN - OVERALL  
 SHEET NUMBER  
**C4-00**



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**PLANT SCHEDULE**

CODE	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
UNDERSTORY TREES						
CR 12	CORNUS X 'RUTGAN'	STELLAR PINK DOGWOOD	AS SHOWN	2" CAL. 6-8' HT.	B&B	4' CLEAR TRUNK, STRONG CENTRAL LEADER, FULL CAN

**TREE DENSITY UNIT (TDU) WORKSHEET** (Ordinance 94-1104) REV Sept-2019

Date	4/16/2024
Map 093	Parcel 08 0 092.00
Application Number	
Project Name	751 S 5th Street
Address	751 S 5th Street

Acreage (area of parcel including building site)	1.35
Minus Building Coverage Area	(-) 1.07
Equals Adjusted Acreage	(=) 0.28
Multiply by Required Tree Density Unit per acre	(x) 22
Required TDU for Project	(=) 6.16

All but Single Family and 1 & 2 Family	14	Single Family and 1 & 2 Family
	(=)	3.92

**HERITAGE TREE(S) RETAINED**

DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
*Greater than 24" equals DBH x .5 per inch			
total			0
add total to line 6			

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total			0
add total to line 6			

**REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES**

DBH	# of Trees	Value	TDU
2"		x .5	0
3"		x .6	0
4"		x .7	0
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total			0
add total to line 7			

**EXAMPLES but not limited to:**  
 Deciduous- Oak, Maple, Poplar, Planetree, Ginkgo  
 Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar  
 Mature height greater than 30'

Total TUD Retained on-site	0
Total TDU for Replacement Trees- On-site	(+) 3
Total Credits Paid to Tree Mitigation Bank*	(+) 4
Total Density Units Provided	(=) 7

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total			0
add total to line 6			

**RETAINED TREE(S)**

DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total			0
add total to line 6			

**REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES\***

DBH	# of Trees	Value	TDU
2"	12	x .25	3
3"		x .3	0
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
total			3
add total to line 7			

**EXAMPLES but not limited to:**  
 Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo  
 Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple  
 Understory Evergreen- Dwarf Magnolia, Hybrid Holly, Cherry Laurel (tree form)  
 Mature height avg. 30' or less.  
 Small Understory Columnar varieties receive no TDU credit

**LANDSCAPE REQUIREMENTS**

**STREET TREES:**  
 ONE CANOPY TREE PER EVERY 30 LF, OR ONE UNDERSTORY TREE PER EVERY 20 LF WHEN OVERHEAD POWERLINES ARE PRESENT.  
 SOUTH 5TH STREET  
 REQUIRED: 10.6 UNDERSTORY TREES (212 LF / 20) OR 7.1 CANOPY TREES PROVIDED: 12 UNDERSTORY TREES

**INTERIOR PARKING AREAS:**  
 INTERIOR PARKING AREAS LANDSCAPE IS NOT REQUIRED.

**REQUIRED BUFFERS:**  
 LANDSCAPE BUFFERS NOT REQUIRED.

**PERIMETER PARKING SCREENING:**  
 PERIMETER PARKING SCREENING IS NOT REQUIRED.

COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.



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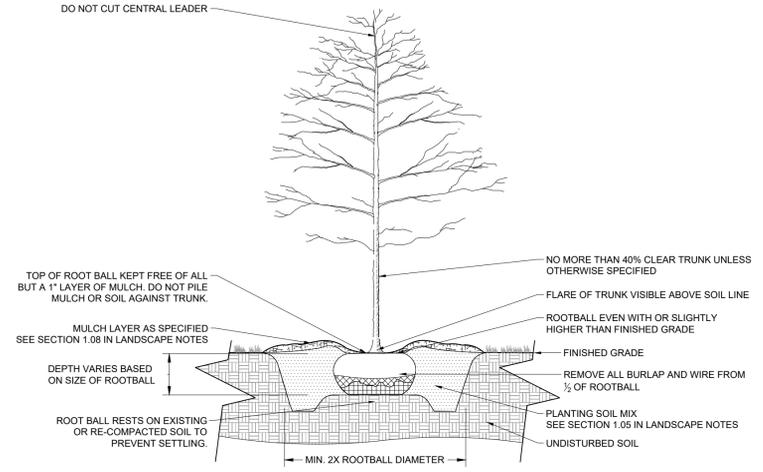
DESIGNED BY:	KHA
DRAWN BY:	KHA
CHECKED BY:	SJS
DATE:	07/11/2024
KIMLEY-HORN PROJECT NO.	118613000

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- 1.01 SCOPE OF WORK
A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
C. THE CONTRACTOR SHALL CONTACT THE OWNER AND TENNESSEE ONE CALL AT (615) 351-1111, TWO (2) FULL BUSINESS DAYS PRIOR TO THE BEGINNING OF WORK.
D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUAL(S) INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A TDD APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK.
E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.
1.02 PROTECTION OF EXISTING STRUCTURES
A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO TDDOT, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURIED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS NOTED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
1.04 MATERIALS
A. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
MATERIAL SAMPLE SIZE
MULCH ONE (1) CUBIC FOOT
TOPSOIL MIX ONE (1) CUBIC FOOT
PLANTS ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
B. PLANT MATERIALS
1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS SET FORTH IN ANSI Z60.1-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS. INSPECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE. AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 3/4 LOOSE COMPOST (NO GREATER THAN 1" SIV), 1/4 PEAT AND 1/4 SAND, AS DESCRIBED BELOW.
B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.
D. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
1.06 WATER
A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
1.07 FERTILIZER
A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
1.08 MULCH
A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD.
1.09 DIGGING AND HANDLING
A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.
B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
C. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.
1.10 CONTAINER GROWN STOCK
A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.
C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
1.11 MATERIALS LIST
A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
1.12 FINE GRADING
A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

- 1.13 PLANTING PROCEDURES
A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL, WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" AND DEEP EXCAVATION BY THE CONTRACTOR AND POSITIVE DRAINAGE CANNOT BE ACHIEVED, THE CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT TENNESSEE ONE CALL AT (615) 351-1111 TO LOCATE ALL UTILITIES.
D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
E. GENERAL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 - AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.
J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE, EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).
K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAIL FOR EXACT DEPTH. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
L. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO HAVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
1.14 LAWN SODDING
A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
C. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
D. SODDING
1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SHEATING OR EXCESSIVE HEAT AND MOISTURE.
E. LAWN MAINTENANCE
1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADING IF NECESSARY).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
1.15 CLEANUP
A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
1.16 PLANT MATERIAL MAINTENANCE
A. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
1.17 FINAL INSPECTION AND ACCEPTANCE OF WORK
A. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
1.18 WARRANTY
A. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
B. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE, OR BETWEEN SEPTEMBER-NOVEMBER, MARCH-MAY. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
C. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.



1 B&B TREE PLANTING NOT TO SCALE

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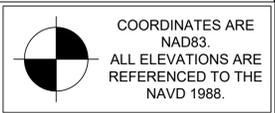


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LANDSCAPE DETAILS

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