

Proposal No. 2023M-008EN-001



CERTIFICATE OF LIABILITY INSURANCE

2/7/2024

DATE (MM/DD/YYYY)
7/25/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lockton Companies 1801 K Street NW, Suite 200 Washington DC 20006 (202) 414-2400	CONTACT NAME: _____ PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: _____
	INSURER(S) AFFORDING COVERAGE _____ NAIC # _____ INSURER A: The Cincinnati Specialty Underwriters Ins. Co. 13037 INSURER B: --- SEE ATTACHMENT --- INSURER C: _____ INSURER D: _____ INSURER E: _____ INSURER F: _____
INSURED 1501365 125 11th Ave Property Owner LLC c/o Tidal Real Estate Partners, Inc. 520 West 27th St New York NY 10001	

COVERAGES **CERTIFICATE NUMBER:** 18979796 **REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL	SUBR	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER: _____	Y	N	CSU0178741	2/7/2023	2/7/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ XXXXXXXX PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$ _____
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			NOT APPLICABLE			COMBINED SINGLE LIMIT (Ea accident) \$ XXXXXXXX BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX \$ XXXXXXXX
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED: _____ RETENTION \$: _____	N	N	See Attached	2/7/2023	2/7/2024	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$ XXXXXXXX
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/ MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	NOT APPLICABLE			<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ XXXXXXXX E.L. DISEASE - EA EMPLOYEE \$ XXXXXXXX E.L. DISEASE - POLICY LIMIT \$ XXXXXXXX

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
THIS CERTIFICATE SUPERSEDES ALL PREVIOUSLY ISSUED CERTIFICATES FOR THIS HOLDER, APPLICABLE TO THE CARRIERS LISTED AND THE POLICY TERM(S) REFERENCED.
Re: 125-129 11th Avenue North, Nashville, TN 37203.

The Metropolitan Government of Nashville and Davidson County is included as Additional Insured on the General Liability as required by written contract.

CERTIFICATE HOLDER 18979796 The Metropolitan Government of Nashville and Davidson County Metro Legal & Claims C/O Insurance and Safety Division 222 3rd Avenue North, Ste #501 Nashville, TN 37201	CANCELLATION See Attachment SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--	--

© 1988-2015 ACORD CORPORATION. All rights reserved.

ACORD 25 (2016/03)

The ACORD name and logo are registered marks of ACORD

LICENSE AGREEMENT FOR PRIVATE ENCROACHMENTS
INTO THE PUBLIC RIGHT OF WAY

I/We, 125 11th Ave. Property Owner LLC, in consideration of the Resolution No. _____, to construct, maintain, install and/or operate an encroachment into, onto, over, or under the public right of way located at in Nashville, Davidson County, Tennessee, do hereby, for myself, my agents, customers, and assigns, waive and release and hold harmless The Metropolitan Government of Nashville and Davidson County, its agents, employees, and assigns from any and all claims, rights, or demands for damages that may arise from my/our use, construction and/or maintenance of the encroachment, to wit: (SEE ATTACHED DESCRIPTION OF ENCROACHMENT). I/We hereby certify to the Metropolitan Government of Nashville and Davidson County that I/We have executed a bond or liability insurance policy in such amount as agreed upon by the Director of Public Works and the Metropolitan Attorney, and in the form approved by the Metropolitan Attorney (per Metropolitan Code Section 38-1-1), which operates to indemnify and save The Metropolitan Government of Nashville and Davidson County harmless from all claims or demands that may result to persons or property by reason of the construction, operations or maintenance of the encroachment. I/We further agree that my/our obligations hereunder may not be assigned except upon approval of the Director of Public Works and the Metropolitan Attorney. I/We further acknowledge that any action that results in a failure to maintain said bond or liability insurance for the protection of The Metropolitan Government of Nashville and Davidson County shall operate to the granting of a lien to The Metropolitan Government of Nashville and Davidson County in the amount of the last effective bond/insurance policy. Said insurance or bond may not be cancelable or expirable except on 30 days notice to the Director of Public Works.

I/We further recognize that the license granted hereby is revocable by The Metropolitan Government upon recommendation of the Director of Public Works and approval by resolution of the Metropolitan County Council if it is determined to be necessary to the public welfare and convenience. In the event the Metropolitan Government revokes this license as contemplated by this paragraph, licensee will not be entitled to any compensation of any kind. This license shall also be strictly subject to the right of way easement owned by The Metropolitan Government. I/We agree to maintain, construct and use the encroachment in such a way as will not interfere with the rights and duties of the Metropolitan Government

as owner of the right of way. Said interference shall be additional grounds for revocation of the license for encroachment. I/We agree to pay the cost of construction, maintenance, use, as well as relocations cost of said encroachment. Licensee's failure to complete construction of the contemplated encroachment within 36 months of the date of approval by the Metropolitan Council will cause this license to terminate automatically. In the event the encroachment contemplated by this license is substantially destroyed, this license shall terminate unless fully restored by licensee within 36 months from the date of such destruction. In the event this license is revoked or terminated for any reason, licensee shall restore all public property to the condition obtaining at the time the license became effective at licensee's sole cost and expense.

DATE: 2.21.23

Ken Copeland
(Owner of Property)

125 11th Avenue
(Address of Property)

Nashville, TN 37203
(City and State)

STATE OF ~~TENNESSEE~~ New York
COUNTY OF ~~DAVIDSON~~ New York

Sworn to and subscribed before

Me this 21st day of February, 2023

Barbara S. Massler
(NOTARY PUBLIC)

My Commission Expires: 10-06-2023

BARBARA S. MASSLER
NOTARY PUBLIC-STATE OF NEW YORK
No. 01MA6099778
Qualified in New York County
My Commission Expires 10-06-2023



RaganSmith

Nashville - Murfreesboro - Chattanooga
ragansmith.com



125 11th AVENUE N.

NASHVILLE DAVIDSON COUNTY TENNESSEE

HATCH LEGEND:

[Hatch]	EXISTING ASPHALT
[Hatch]	PROPOSED ASPHALT
[Hatch]	CONCRETE WALK
[Hatch]	CONCRETE PAVEMENT
[Hatch]	PROPOSED BUILDING
[Hatch]	GREEN SPACE
[Hatch]	CONC PAVT SHELLING

Scale: 1" = 40'

Date: JULY 20, 2022

Approved By: J. HUNTER

Revisions:

- 10-07-2022 PER AHS COMMENTS
- 10-27-2022 PER AHS COMMENTS
- 10-31-2022 1005 DO SET
- 11-10-2022 ERP OF FOUNDATIONS
- 12-08-2022 PUBLIC UTILITY MARK
- 1-16-2023 30% CONSTRUCTION DOCUMENTS
- 3-29-2023 PER AHS COMMENTS

Drawing Title:
SITE LAYOUT PLAN -
LOWER LEVEL

Drawing No:
C4.1

Project No:
21-0359



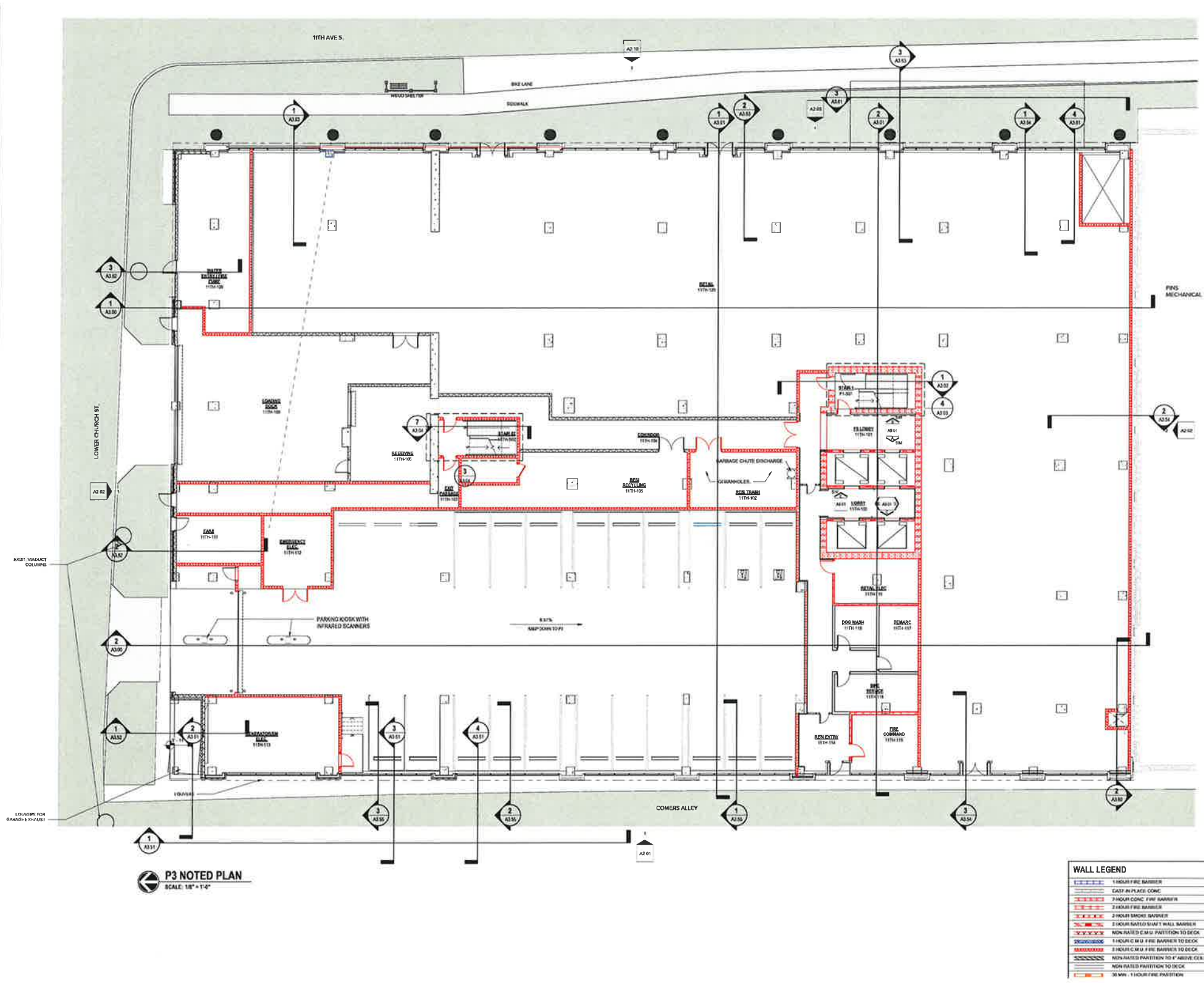
The drawings are made from the property of the architect. The reproduction, copying or use of the drawings without the written consent is prohibited and any infringement will be subject to legal action.
© Earl Swenson Associates, Inc. 2020

NOT VALID FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION OF ARCHITECT'S SEAL IS NOT PRESENT

125 11TH AVE
NASHVILLE, TN

Revision	Description	Date

11TH AVENUE NOTED PLAN
Sheet Number
A1.00N



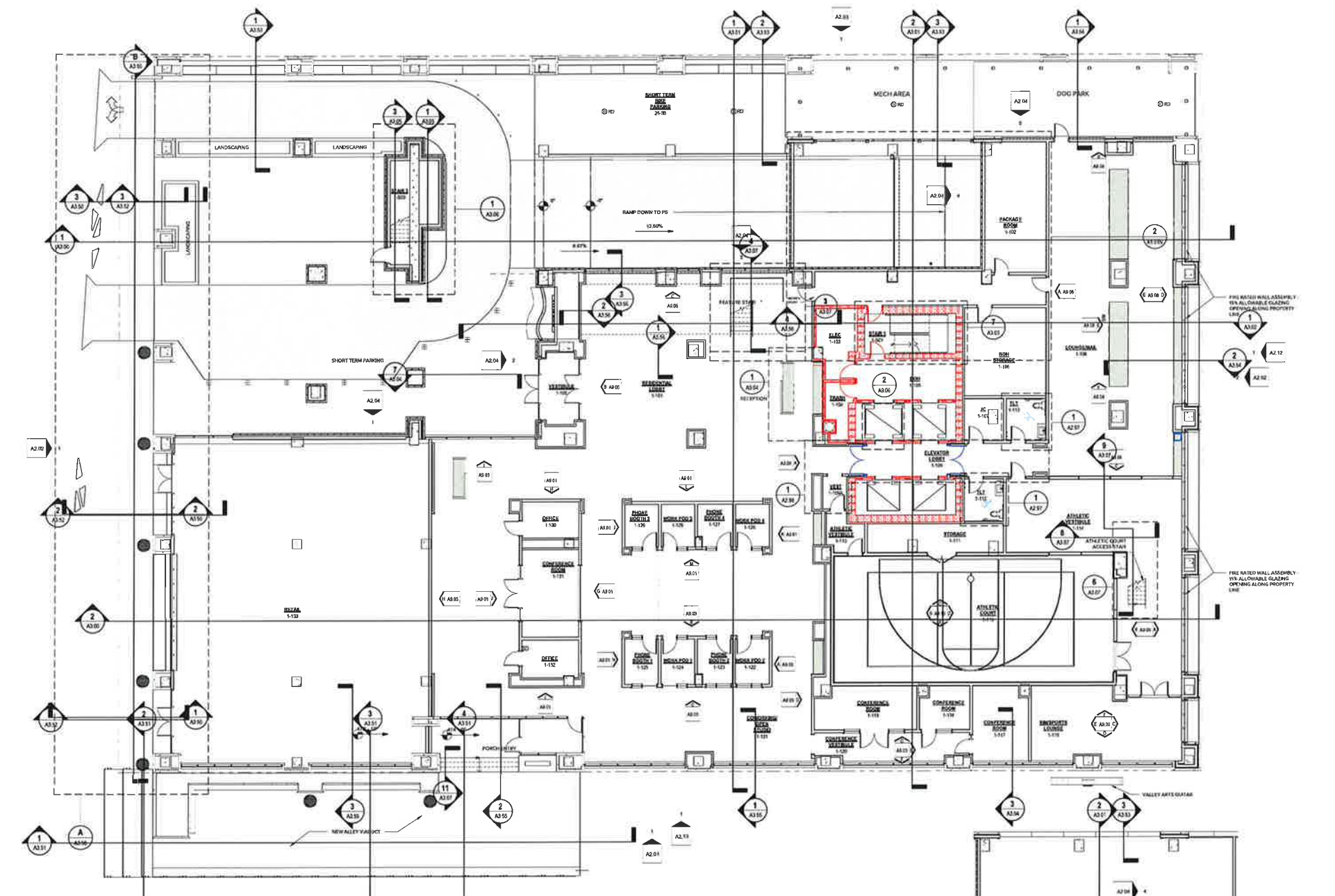
- GRAPHIC SCALE: 1/8" = 1'-0"
- GRAPHIC SCALE: 1/4" = 1'-0"
- GRAPHIC SCALE: 1/2" = 1'-0"
- GRAPHIC SCALE: 3/4" = 1'-0"
- GRAPHIC SCALE: 1" = 1'-0"
- GRAPHIC SCALE: 1 1/4" = 1'-0"
- GRAPHIC SCALE: 1 1/2" = 1'-0"
- GRAPHIC SCALE: 1 3/4" = 1'-0"
- GRAPHIC SCALE: 2" = 1'-0"
- GRAPHIC SCALE: 2 1/4" = 1'-0"
- GRAPHIC SCALE: 2 1/2" = 1'-0"
- GRAPHIC SCALE: 2 3/4" = 1'-0"
- GRAPHIC SCALE: 3" = 1'-0"
- GRAPHIC SCALE: 3 1/4" = 1'-0"
- GRAPHIC SCALE: 3 1/2" = 1'-0"
- GRAPHIC SCALE: 3 3/4" = 1'-0"
- GRAPHIC SCALE: 4" = 1'-0"
- GRAPHIC SCALE: 4 1/4" = 1'-0"
- GRAPHIC SCALE: 4 1/2" = 1'-0"
- GRAPHIC SCALE: 4 3/4" = 1'-0"
- GRAPHIC SCALE: 5" = 1'-0"
- GRAPHIC SCALE: 5 1/4" = 1'-0"
- GRAPHIC SCALE: 5 1/2" = 1'-0"
- GRAPHIC SCALE: 5 3/4" = 1'-0"
- GRAPHIC SCALE: 6" = 1'-0"
- GRAPHIC SCALE: 6 1/4" = 1'-0"
- GRAPHIC SCALE: 6 1/2" = 1'-0"
- GRAPHIC SCALE: 6 3/4" = 1'-0"
- GRAPHIC SCALE: 7" = 1'-0"
- GRAPHIC SCALE: 7 1/4" = 1'-0"
- GRAPHIC SCALE: 7 1/2" = 1'-0"
- GRAPHIC SCALE: 7 3/4" = 1'-0"
- GRAPHIC SCALE: 8" = 1'-0"
- GRAPHIC SCALE: 8 1/4" = 1'-0"
- GRAPHIC SCALE: 8 1/2" = 1'-0"
- GRAPHIC SCALE: 8 3/4" = 1'-0"
- GRAPHIC SCALE: 9" = 1'-0"
- GRAPHIC SCALE: 9 1/4" = 1'-0"
- GRAPHIC SCALE: 9 1/2" = 1'-0"
- GRAPHIC SCALE: 9 3/4" = 1'-0"
- GRAPHIC SCALE: 10" = 1'-0"

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without the written consent is prohibited and any infringement will be held to legal action.
 © Earl Swanson Associates, Inc. 2020



125 11TH AVE
 NASHVILLE, TN

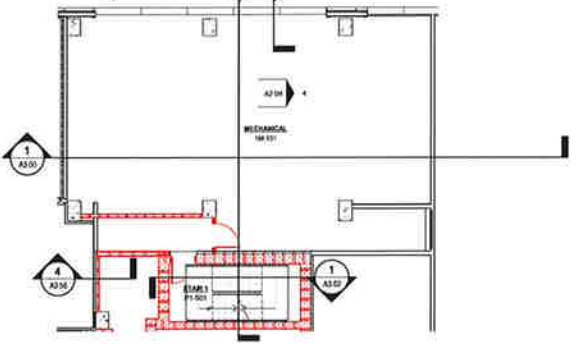
- GRAPHIC SCALE: 1/32" = 1'-0"
- GRAPHIC SCALE: 1/16" = 1'-0"
- GRAPHIC SCALE: 3/32" = 1'-0"
- GRAPHIC SCALE: 1/8" = 1'-0"
- GRAPHIC SCALE: 3/16" = 1'-0"
- GRAPHIC SCALE: 1/4" = 1'-0"
- GRAPHIC SCALE: 5/16" = 1'-0"
- GRAPHIC SCALE: 3/8" = 1'-0"
- GRAPHIC SCALE: 1/2" = 1'-0"
- GRAPHIC SCALE: 5/8" = 1'-0"
- GRAPHIC SCALE: 3/4" = 1'-0"
- GRAPHIC SCALE: 7/8" = 1'-0"
- GRAPHIC SCALE: 1" = 1'-0"



1ST FLOOR NOTED PLAN
 SCALE: 1/8" = 1'-0"

WALL LEGEND

	1 HOUR FIRE BARRIER
	CASI IN PLACE CONC
	3 HOUR FIRE BARRIER
	2 HOUR FIRE BARRIER
	7 HOUR PARAPET BARRIER
	2 HOUR RATED DRY WALL BARRIER
	NON RATED CMU PARTITION TO DECK
	1 HOUR CMU FIRE BARRIER TO DECK
	7 HOUR CMU FIRE BARRIER TO DECK
	NON RATED PARTITION TO ABOVE CEILING
	NON RATED PARTITION TO DECK
	30 MIN 1 HOUR FIRE PARTITION



1ST FLOOR MEZZ NOTED PLAN
 SCALE: 1/8" = 1'-0"

DOCUMENT CHANGES

Revision	Description	Date

PROJECT INFORMATION

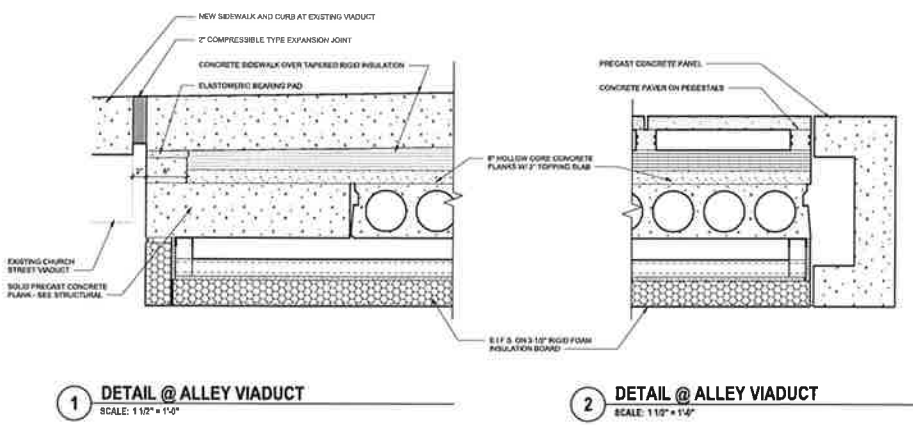
Issue Description	SUN CONSTRUCTION DOCUMENTS
Original Issue Date	07/18/2020
Project No.	20062-00
Drawn By	AJM
Checked By	
Drawn Title	

The drawings and the design shown are the property of the architect. The contractor, supplier or user of the drawings without the architect's consent is prohibited and any infringement will be subject to legal action.
© Erl Swenson Associates, Inc. 2020

NOT VALID FOR REGULATORY APPROVAL. PERMITTED FOR CONSTRUCTION IF ARCHITECT'S SEAL IS NOT PRESENT.

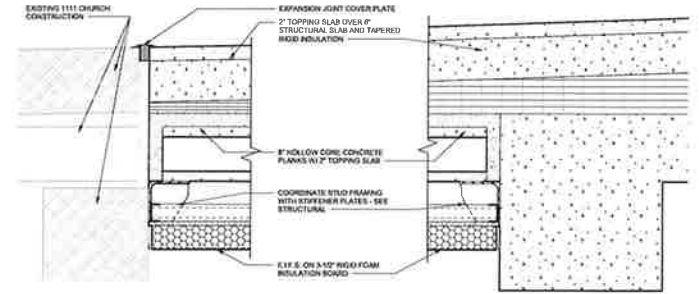
125 11TH AVE
NASHVILLE, TN

- GRAPHIC SCALE: 1/32" = 1'-0"
- GRAPHIC SCALE: 1/16" = 1'-0"
- GRAPHIC SCALE: 3/32" = 1'-0"
- GRAPHIC SCALE: 1/8" = 1'-0"
- GRAPHIC SCALE: 3/16" = 1'-0"
- GRAPHIC SCALE: 1/4" = 1'-0"
- GRAPHIC SCALE: 3/8" = 1'-0"
- GRAPHIC SCALE: 1/2" = 1'-0"
- GRAPHIC SCALE: 3/4" = 1'-0"
- GRAPHIC SCALE: 1" = 1'-0"



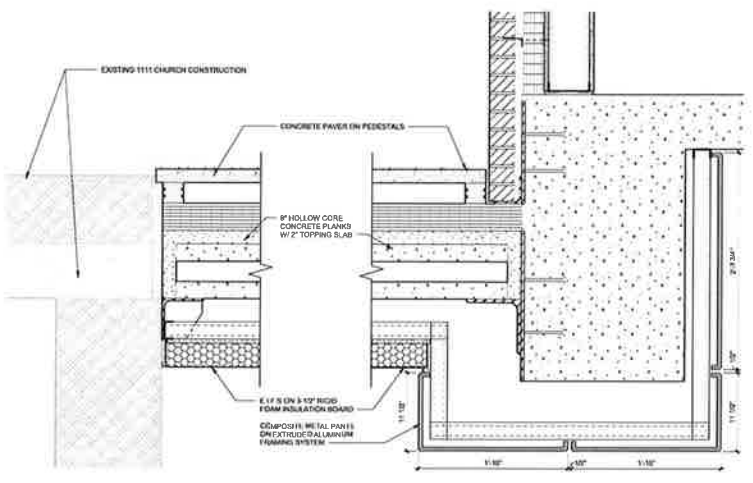
1 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"

2 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"



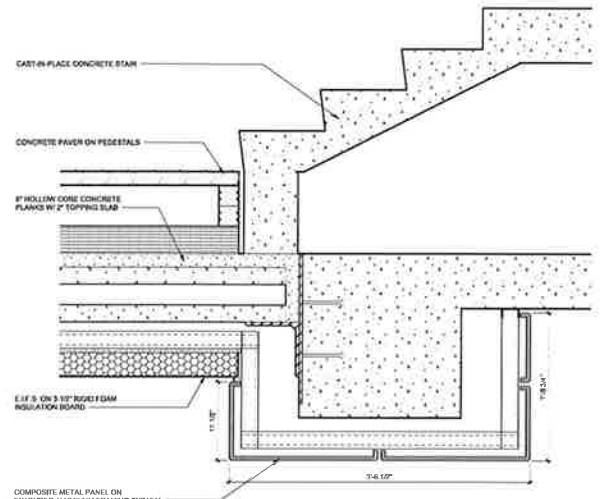
3 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"

4 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"



5 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"

6 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"



7 DETAIL @ ALLEY VIADUCT
SCALE: 1 1/2" = 1'-0"

DOCUMENT CHANGES

Number	Description	Date

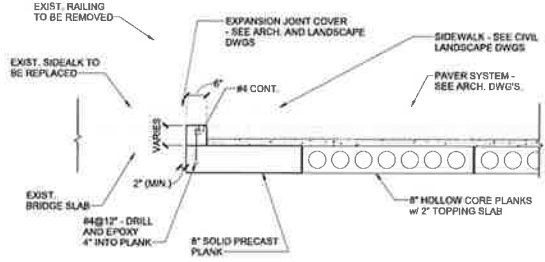
Issue Description
Original Issue Date
Project No. 22066-00
Drawn By: A.J. [unclear] Checked By: [unclear]
Drawing Title

The drawings and the design shown in the property of the architect. The reproduction, copying or use of the drawings without the written consent is prohibited and any infringement will be subject to legal action.
 © East Tennessee Associates, Inc. 2021

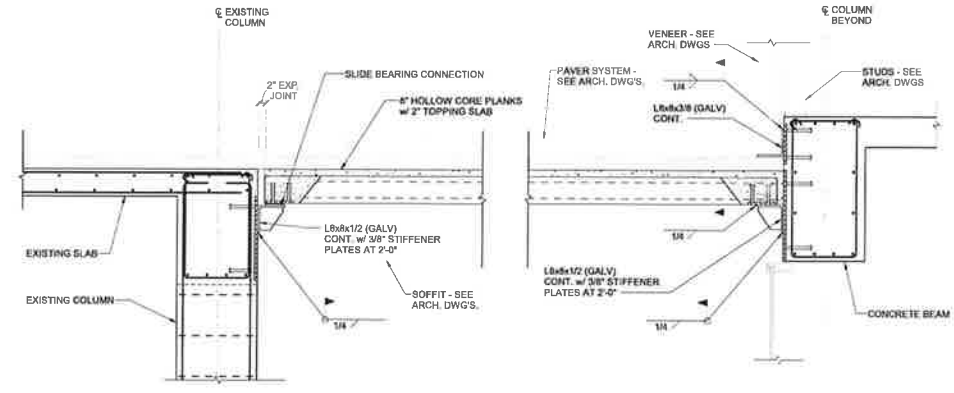
Scale

1/10/2022

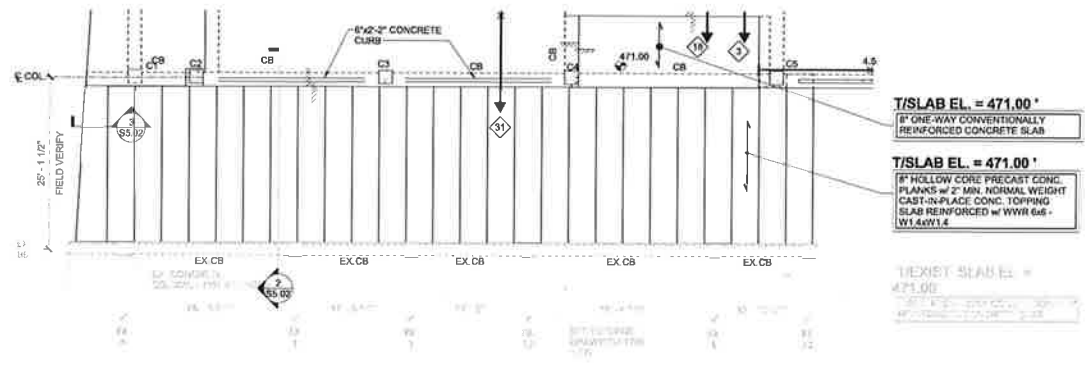
125 11TH AVE
 NASHVILLE, TN



3 SECTION AT BRIDGE



2 SECTION AT NEW CONNECTOR BETWEEN BUILDINGS



1 1ST FLOOR CONNECTION FRAMING PLAN
 1/8" = 1'-0"

DOCUMENT CHANGES	
Number	Date

Sheet Description	
Original Issue Date	10/20/20
Project No.	10000000
Drawn By	A.J.H.
Checked By	C.H.W.
Drawing Title	1ST FLOOR CONNECTION FRAMING PLAN & DETAILS

Sheet Number
S0.0

125 11TH AVE - 2021-06-09 - 125 11TH AVE - 2021-06-09 - 125 11TH AVE - 2021-06-09