

12-23-2022  
 R1-01-18-2023  
 R2-02-20-2023  
 R3-03-01-2023  
 R4-03-17-2023

# BELLE MEADE PLAZA - MIXED-USE PROJECT

PRELIM. SP# 2023SP-018-001

**4500 HARDING PIKE, NASHVILLE, TN**

PURPOSE STATEMENT

THE PURPOSE OF THIS SP IS TO REZONE BELLE MEADE PLAZA'S 10.53 ACRES FROM MUL TO SP TO ALLOW FOR A MIXED-USE DEVELOPMENT INCLUDING:

	UNITS	GROSS AREA
CONDO UNITS	101	326,080 SF
MULTIFAMILY UNITS	287	282,125 SF
HOTEL KEYS	78	51,705 SF
RETAIL		80,000 SF

TOTAL GROSS SF: 785,885 SF GBA  
 TOTAL FAR = 775,280 SF

PROPOSED ZONING BULK REQUIREMENTS

FAR - 1.69 MAX (PARKING EXCLUDED)  
 MAXIMUM HEIGHT- PER DRAWINGS  
 SETBACKS - PER DRAWINGS  
 FALLBACK ZONING - MUL

SITE AREA: 458,746 SF - 10.53 ACRES  
 APN: 11603000500

COUNCIL DISTRICT #: 24  
 COUNCIL MEMBER: KATHLEEN MURPHY

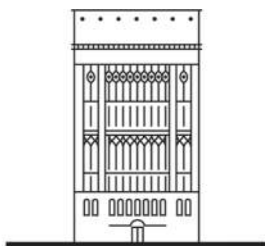
PROPERTY OWNER:  
 BMP PARTNERSHIP 2  
 4535 HARDING ROAD, SUITE 309  
 NASHVILLE, TN 37205  
 615-292-5967

DESIGN PROFESSIONALS:  
 BARGE CAUTHEN & ASSOCIATES (615-356-9911)  
 6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TN 37209

HAWKINS PARTNERS (615-255-5218)  
 110 S 10TH ST. NASHVILLE, TN 37206

HASTINGS ARCHITECTURE (615-329-1399)  
 225 POLK AVE. NASHVILLE, TN 37203

HARTSHORNE PLUNKARD ARCHITECTURE (312-226-4488)  
 315 W. WALTON CHICAGO, IL 60610



**A D V E N T U R O U S  
 J O U R N E Y S**



# ORIGINAL SP SUBMITTAL: 12-28-22

F.A.R.: 2.00 MAX. - 917,712 SF MAX.

**BUILDING HEIGHTS:**

RESIDENTIAL BUILDING A:	12-STORY - 212 FT
RESIDENTIAL BUILDING B:	11-STORY - 140 FT
RESIDENTIAL BUILDING C:	14-STORY - 160 FT
RESIDENTIAL BUILDING D:	15-STORY - 170 FT

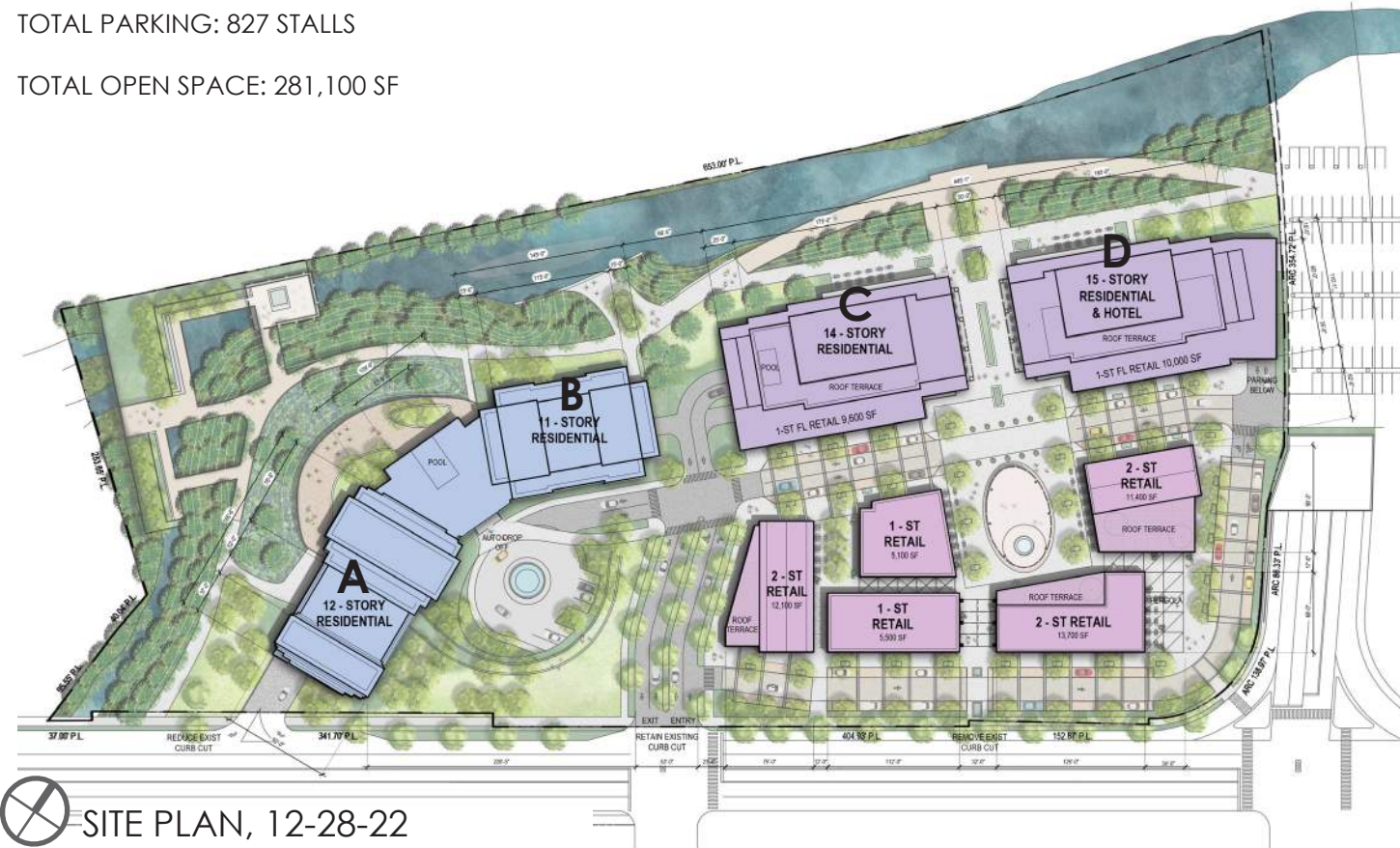
**UNITS:**

CONDO UNITS	90 (MAX. 120)
MULTIFAMILY UNITS	350 (MAX. 380)
HOTEL KEYS	90 (MAX. 120)

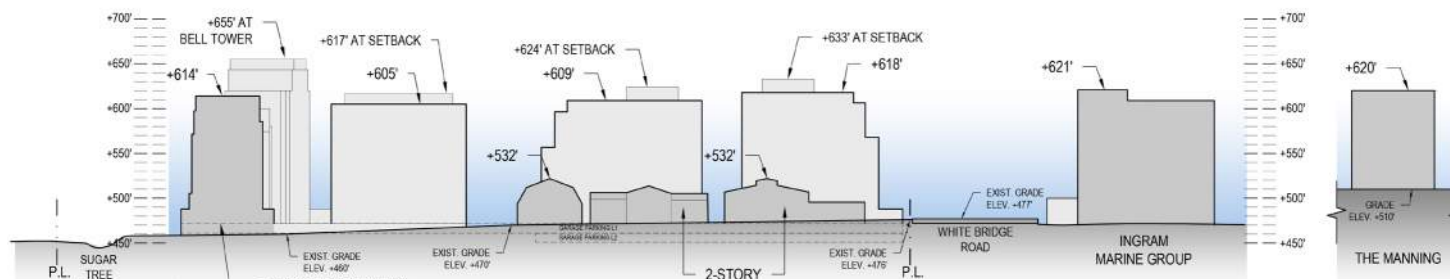
RETAIL SF: 60,000 SF (MAX. 75,000 SF)

TOTAL PARKING: 827 STALLS

TOTAL OPEN SPACE: 281,100 SF



⊗ SITE PLAN, 12-28-22



HEIGHT DIAGRAM, 12-28-22

# CURRENT SP SUBMITTAL: R4-03-17-23

F.A.R.: 1.69 - 775,280 SF

**BUILDING HEIGHTS:**

RESIDENTIAL BUILDING A:	8-STORY - 100 FT
RESIDENTIAL BUILDING B:	10-STORY - 131 FT
RESIDENTIAL BUILDING C:	11-STORY - 125 FT
RESIDENTIAL BUILDING D:	13-STORY - 149 FT

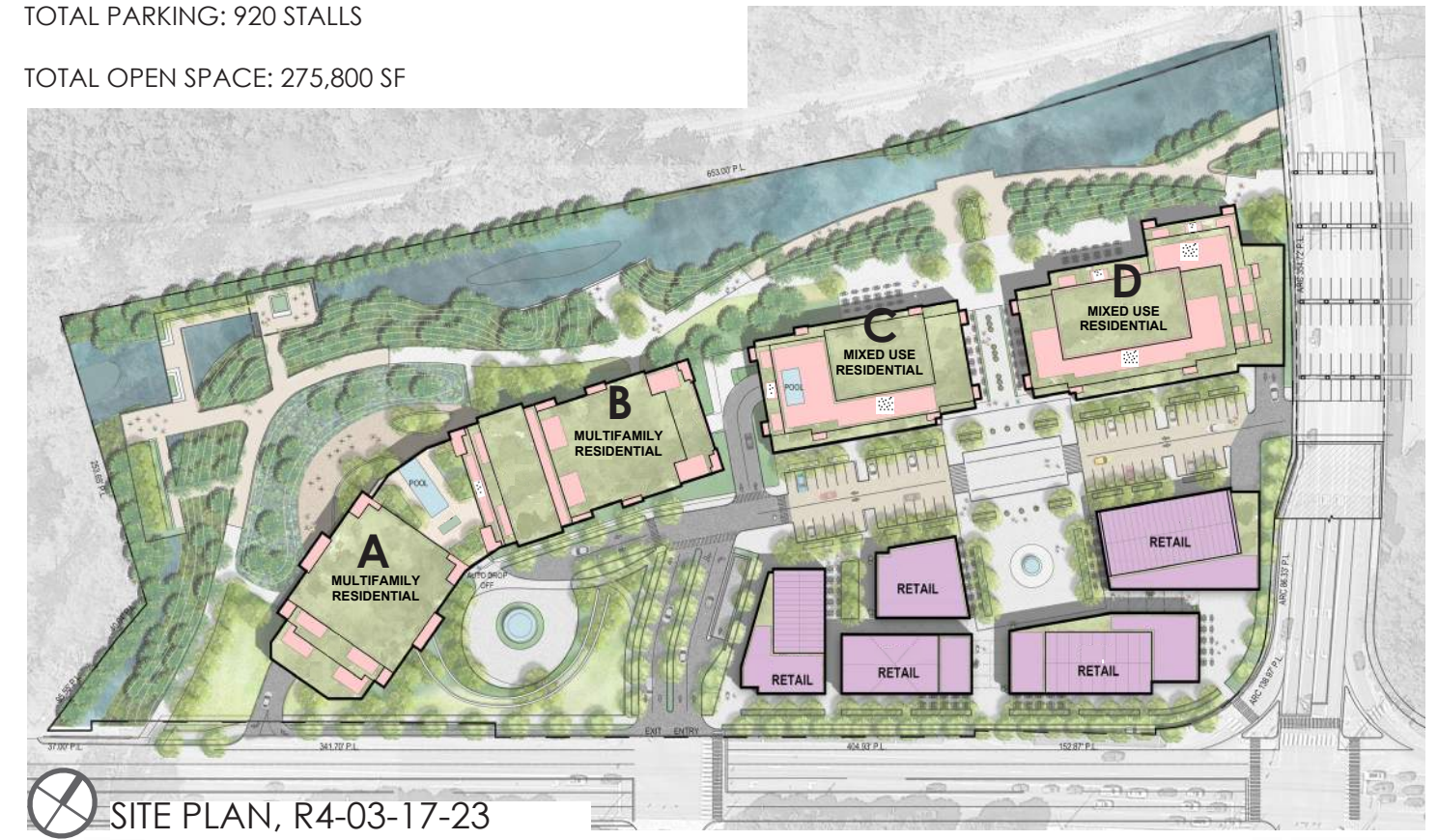
**UNITS:**

CONDO UNITS	101
MULTIFAMILY UNITS	287
HOTEL KEYS	78

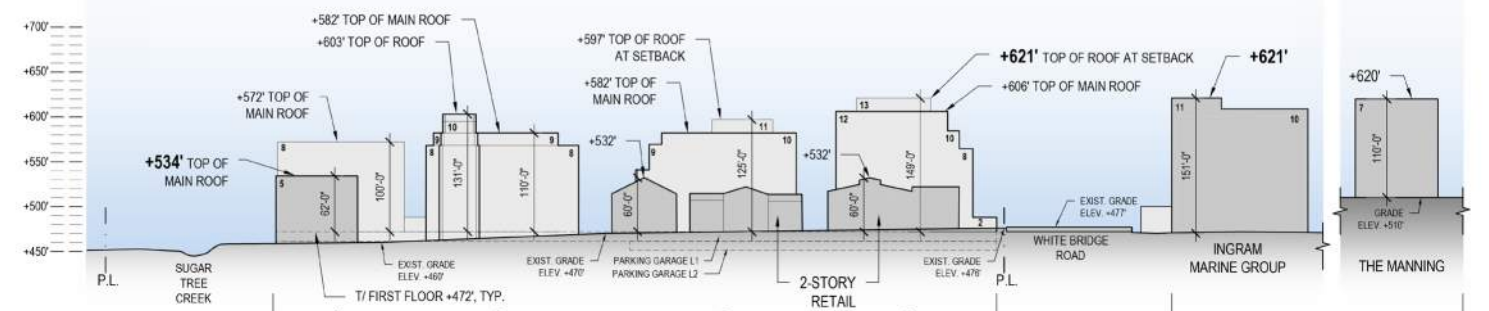
RETAIL SF: 80,000 SF

TOTAL PARKING: 920 STALLS

TOTAL OPEN SPACE: 275,800 SF

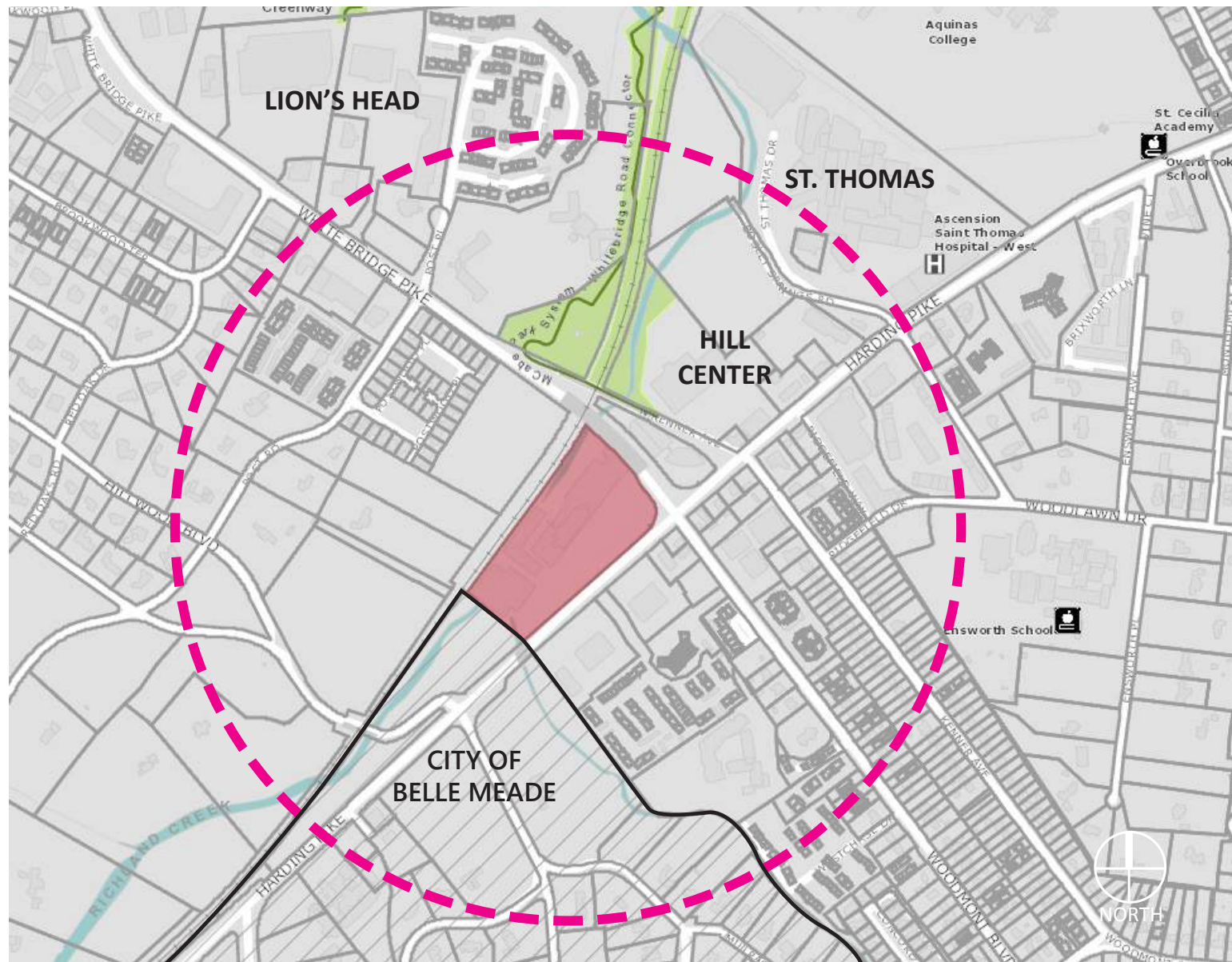


⊗ SITE PLAN, R4-03-17-23



HEIGHT DIAGRAM, R4-03-17-23

## SP SUBMITTAL COMPARISON



Source: Metro Nashville-Davidson County Mapping

**SITE**
 **1/4 Mile Walking Radius**



## SITE CONTEXT



Source: Google Streetviews

### WHITE BRIDGE PIKE

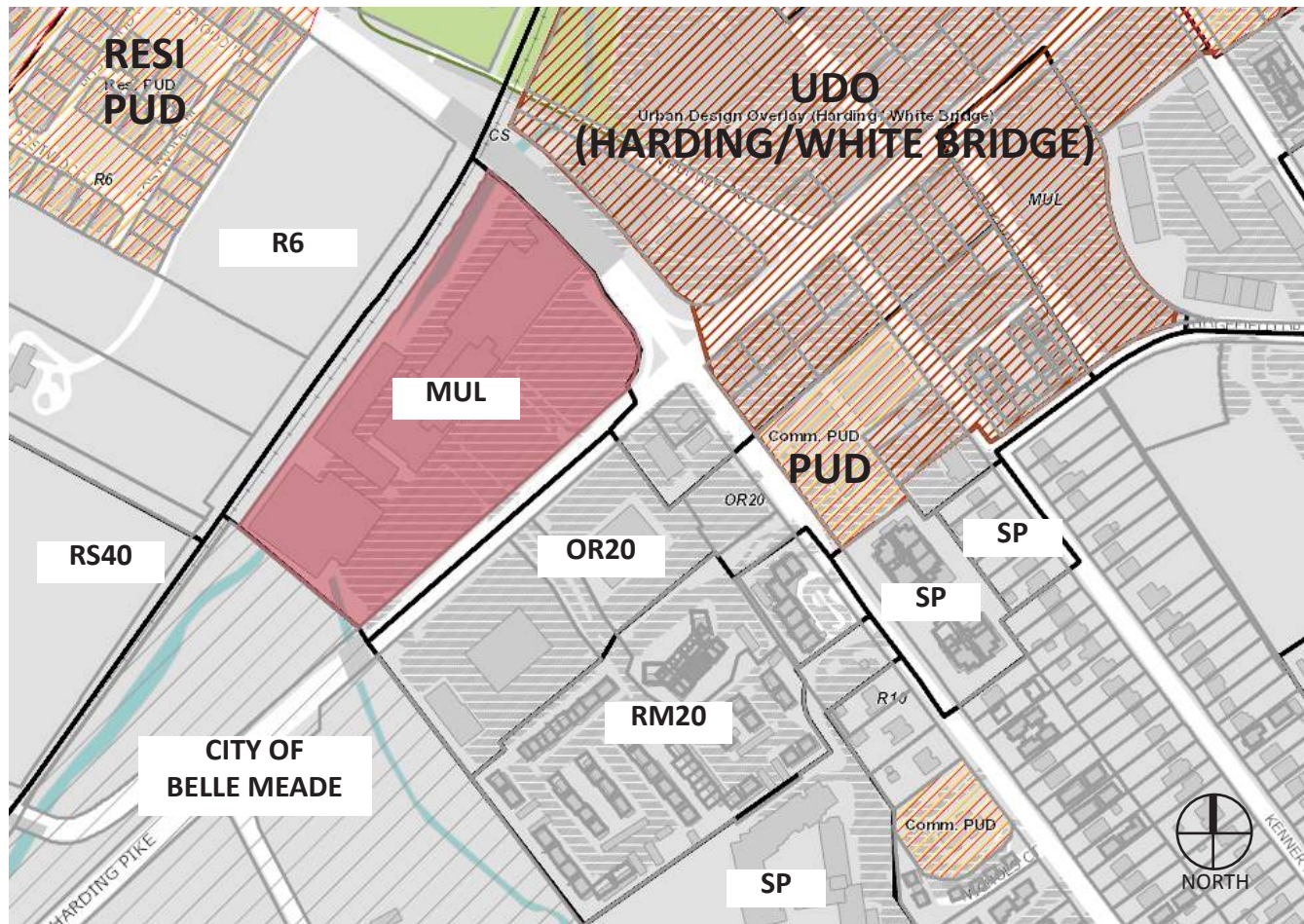
EXISTING			
Lanes	5	Sidewalks	Both Sides
On-Street Parking	No	Bicycle Facilities	No
MAJOR COLLECTOR STREET PLAN (MCSP)			
Right-of-Way	100 ft	Planting Strip (Both Sides)	4 ft
Median	0 ft	Sidewalk (Both Sides)	10 ft
Bikeway	0 ft		
Frontage	4 ft		



Source: Google Streetviews

### HARDING PIKE

EXISTING			
Lanes	6 (Central turning lane)	Sidewalks	Both Sides
On-Street Parking	No	Bicycle Facilities	No
MAJOR COLLECTOR STREET PLAN (MCSP)			
Right-of-Way	117 ft	Planting Strip (Both Sides)	4 ft
Median	0 ft	Sidewalk (Both Sides)	8 ft
Bikeway	5 ft		
Frontage	0 ft		



Source: Metro Nashville-Davidson County Mapping

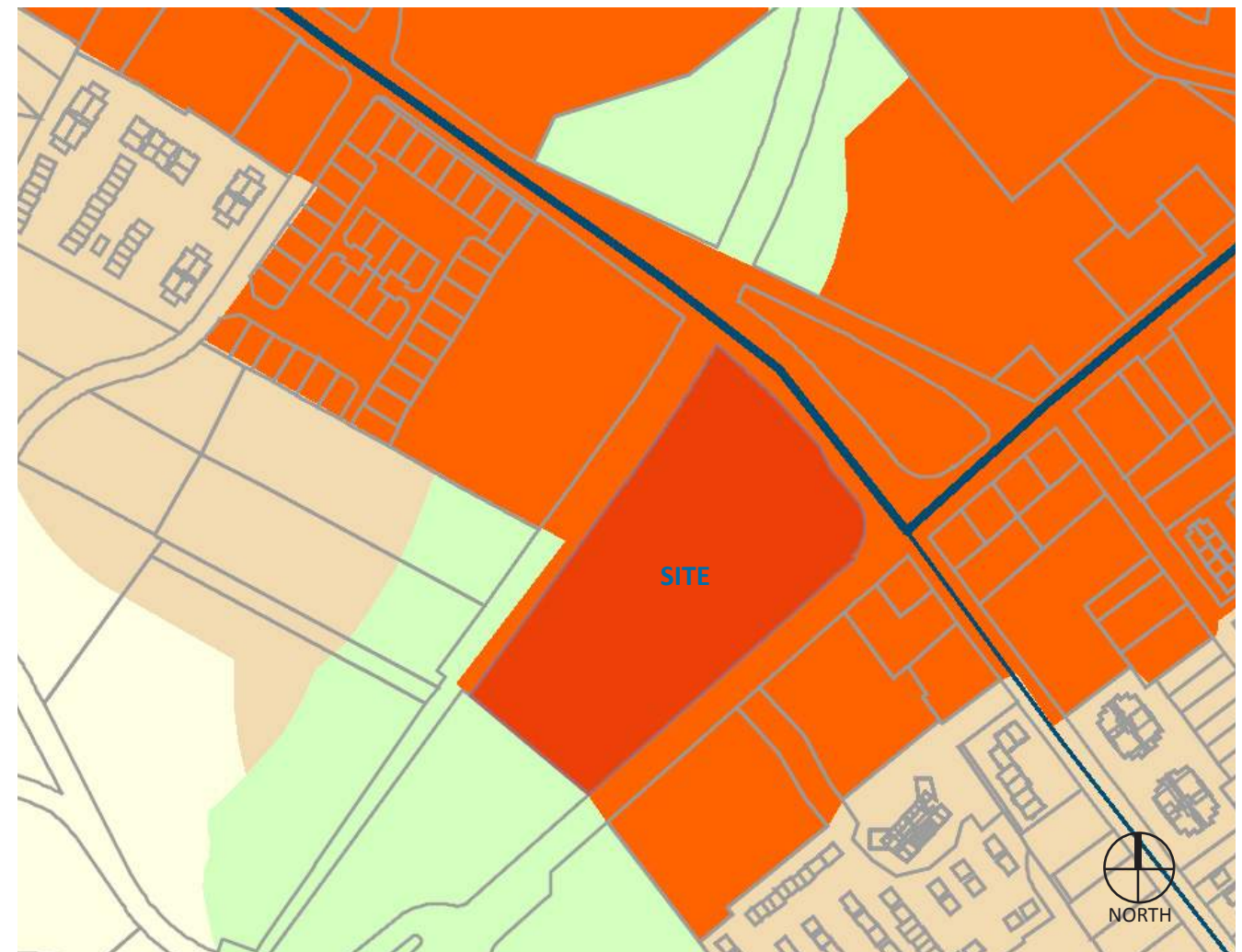
**OVERLAYS**

According to Metro Maps, there are currently no easements or overlays on this site. A number of parcels in the vicinity are considered either National Register Eligible or Worthy of Conservation, but this site falls into neither of those categories.

**ZONING:**

The parcel is zoned MUL (Mixed Use Limited). MUL is defined in the Metro Zoning Code Section 17.08.020:

- MUL, Mixed-Use Limited District, MUL-NS, Mixed Use Limited District No STRP, MUL-A, Mixed-Use Limited District Alternative, and MUL-A-NS, Mixed-Use Limited District Alternative No STRP. The MUL and MUL-A districts are intended to implement the moderate intensity mixed-use policies of the general plan. These districts also may be used in areas policed for concentrations of mixed commercial uses and for existing areas of commercial arterial development that are located in the vicinity of major intersections. The bulk standards permitted by this district, along with the range of allowable uses, are designed to promote the preservation and adaptive reuse of larger structures that contribute to the historical or architectural character of an area. These districts should be applied to areas that have good access to collector or arterial streets and public transportation service. MUL-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. MUL-NS, and MUL-A-NS are designed to allow the same standards and uses of the MUL and MUL-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.*



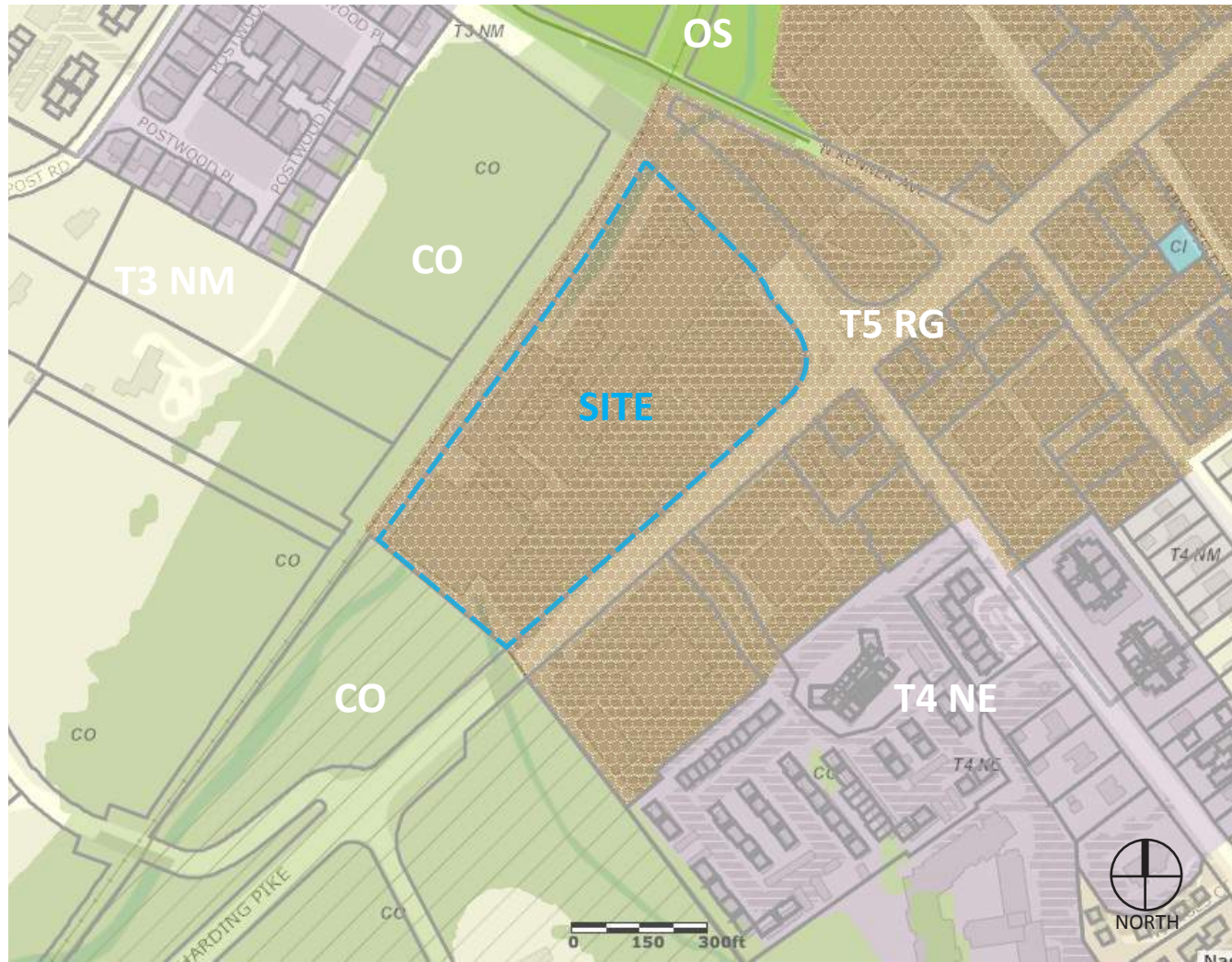
Source: Metro Nashville-Davidson County Mapping



According to the Nashville Next Concept Map, this site is located within the **Tier 1 development zone along White Bridge Pike**, which is identified as a priority corridor with immediate need. Harding Pike to the west of White Bridge Pike is not identified as a priority corridor.



**LAND USE REGULATIONS & NASHVILLE NEXT MAP**



Source: Metro Nashville-Davidson County Mapping

This site falls within a **T5 RG (Regional Community Center)** designation. The intent of T5RG is to “Enhance or create regional centers, encouraging their development as intense mixed use areas that serve the region with supporting land uses that create opportunities to live, work, and recreate.” According to the Community Character Manual, the following uses are listed as appropriate in **T5 RG**

PERMITTED LAND USES (T5 RG)	
Mixed Use	Residential
Commercial	Institutional
Office	

PERMITTED BUILDING TYPES (T5 RG)	
Low-Rise Townhouse	Low-Rise Mixed Use
Mid-Rise Townhouse	Mid-Rise Mixed Use
Courtyard Flat	High-Rise
Low-Rise Flat	Stepped High-Rise

Source: Metro Nashville Community Character Manual

PERMITTED BUILDING TYPES (T5 RG)	
Low-Rise Townhouse	Low-Rise Mixed Use
Mid-Rise Townhouse	Mid-Rise Mixed Use
Courtyard Flat	High-Rise
Low-Rise Flat	Stepped High-Rise

Source: Metro Nashville Community Character Manual

POLICY	ZONING PERMITTED	BULK REGULATIONS				
		Max. FAR	Max. ISR	Max. Height in Build-to Zone	Min. Stepback or Slope of HCP	Max. Height
T5-RG (Regional Center)	RM20-A	0.80	0.70	30'	15'	45'
	RM40-A	1.00	0.75	45'	15'	60'
	RM60-A	None	0.80	65'	15'	90'
	OR20-A	0.80	0.70	30'	15'	45'
	OR40-A	1.00	0.75	45'	15'	60'
	ORI-A	3.00	0.90	65'	15'	150'
	MUI-A	5.00	1.00	7 stories (105')	15'	15 Stories (150')
	MUG-A	3.00	0.90	5 stories (75')	15'	7 stories (105')

**POTENTIAL FALLBACK ZONING:**

Above is a list of permitted zoning designations within the existing **T5RG** policy and their associated bulk regulations. Below are descriptions of both MUI-A and ORI-A zonings for reference:

*MUI, Mixed-Use Intensive District, Mixed-Use Intensive District No STRP, MUI-A, Mixed-Use Intensive District Alternative, Mixed-Use Intensive District Alternative No STRP. The MUI and MUI-A districts permit a mixture of high intensity residential, office and compatible commercial uses in areas characterized by the highest levels of accessibility, mass transit opportunities and essential support services. The bulk standards for this district permit large scale buildings, and include incentives to locate off-street parking within structures. It is intended that this district be applied to areas near downtown in a manner consistent with the general plan and other adopted redevelopment plans, to selected segments of major traffic arteries extending from the downtown core area, or for selected portions of activity centers designated by the general plan. MUI-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. MUI-NS, and MUI-A-NS are designed to allow the same standards and uses of the MUI and MUI-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.*

*\*NOTE: Straight MUI zoning (vs. MUI-A) only has a max. height at the setback line of 7 stories (105') and then a 1.5 to 1 Slope of Height Control Plane, whereas MUI-A does have a max. overall height of 15 Stories (150').*

*ORI, Office/Residential Intensive District, ORI-NS, Office/Residential Intensive District No STRP, ORI-A, Office Residential Intensive District Alternative, ORI-A-NS, Office/Residential Intensive District Alternative No STRP. The ORI district is designed to provide adequate and suitable space in appropriate locations for high intensity office uses mutually compatible with high-density residential uses. A selective list of retail trade, business service and personal care service uses are permitted if the principal purpose is to serve the recurring needs of the occupants or employees of other permitted uses in these districts. These districts are appropriately located between districts characterized by less intense residential and office development and areas of more intensive commercial uses, or they are extensions along major traffic arteries from areas used for more intensive commercial purposes. ORI-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. ORI-NS and ORI-A-NS are designed to allow the same standards and uses of the ORI and ORI-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.*

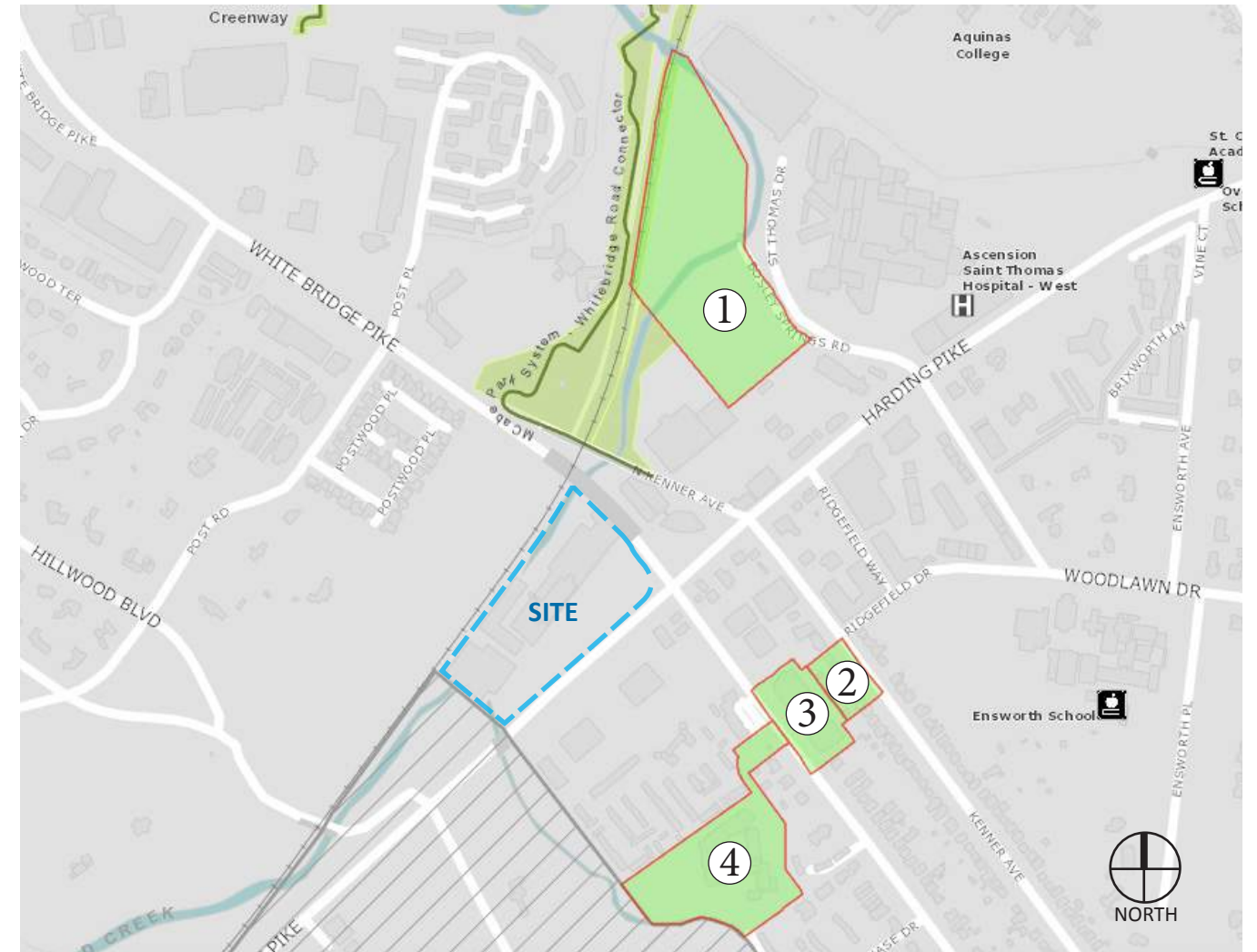


# COMMUNITY CHARACTER POLICY



Above is a map of buildings 7 stories and taller within 1 mile of the site

	NAME	MAX. HEIGHT
1	VILLA MARIA	7 STORIES
2	ST. THOMAS HOSPITAL	5-10 STORIES
3	WINDSOR TOWER	13 STORIES
4	WELLINGTON ARMS	7 STORIES
5	INGRAM	10 STORIES
6	WOODMONT CENTRE	9 STORIES
7	ROYAL OAKS TOWER	8 STORIES
8	PARK MANOR	7 STORIES



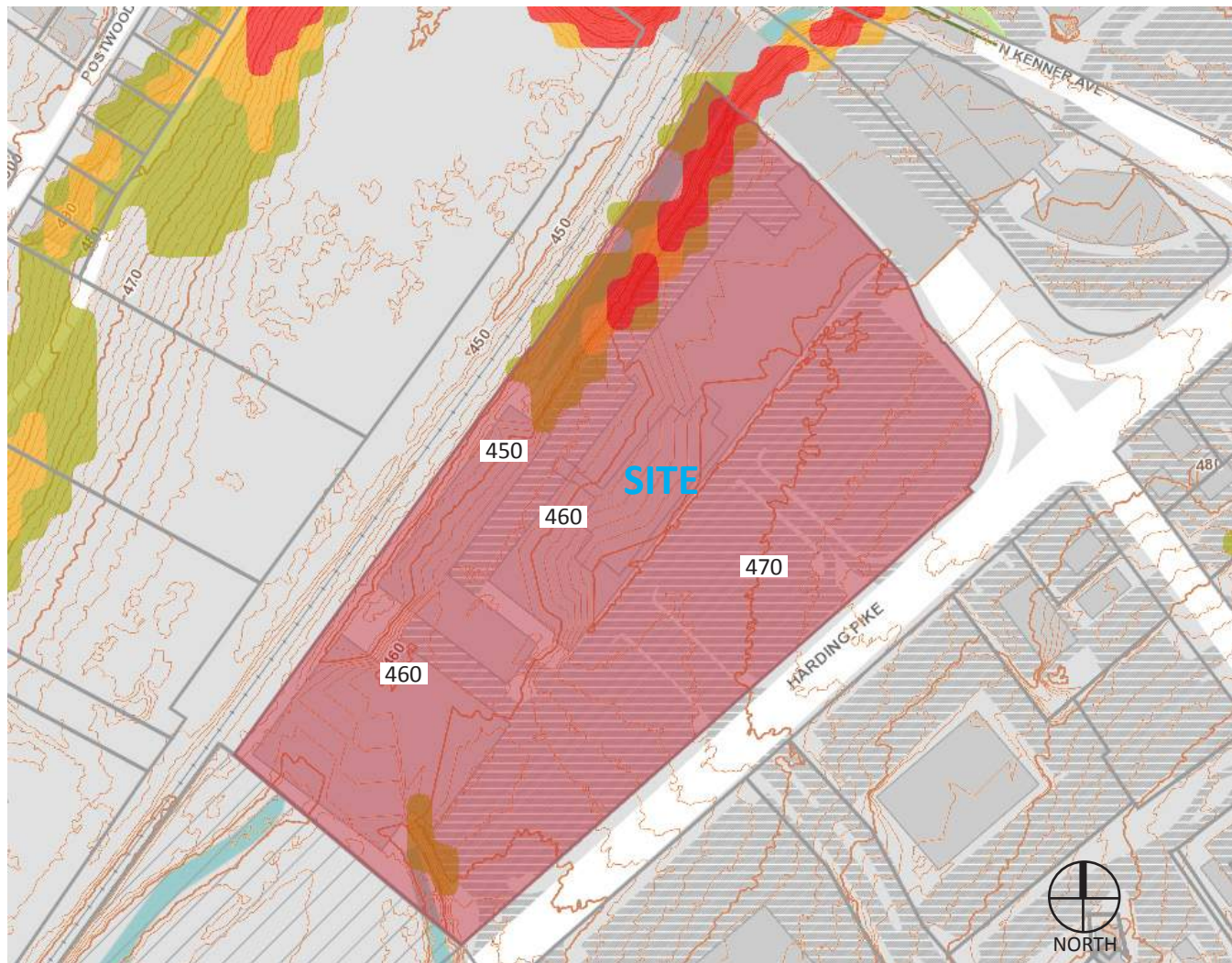
Source: Metro Nashville-Davidson County Mapping

According to Metro Maps, there are several existing Specific Plans (SPs) in the area.

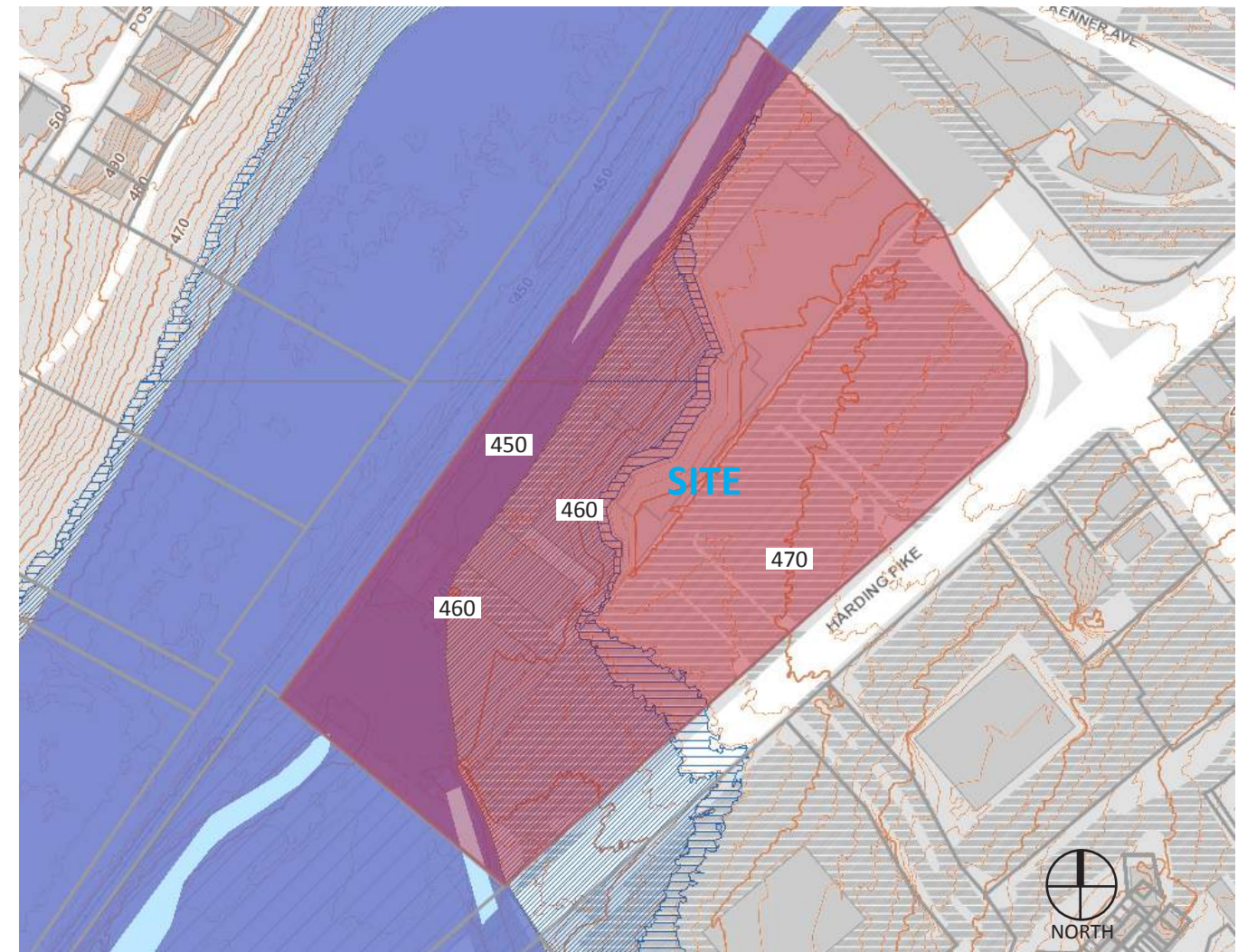
	NAME	YEAR	FAR	MAX. HEIGHT	FALLBACK ZONING
1	ST. THOMAS HOSPITAL	2017	1.5	3 story stepback w/ 1.5:1 HCP	OG
2	WOODMONT CONDOS	2007	N/A	65' stepback with 1.5:1 HCP	RM60
3	THE MANNING AT BELLE MEADE	2015	N/A	7 stories	RM20
4	ABE'S GARDEN AT PARK MANOR	2009	1.3	150'	RM20



## LOCAL HEIGHT PRECEDENTS & SPECIFIC PLAN MAP



Source: Metro Nashville-Davidson County Mapping



Source: Metro Nashville-Davidson County Mapping

TOPOGRAPHY

There is a fairly significant amount of grade change over the site, from a high point at the corner of Harding and White Bridge of 476' to a low point on the bank of Richland Creek of 444'. The area surrounding Richland Creek in the northern portion of the site has significant slopes exceeding 20-25% in some cases.

SOILS

The soils in the area are Maury-Urban land complex (McB) with 2-7% slopes.

Typical Profile

- H1 - 0 to 7 inches: silt loam
- H2 - 7 to 24 inches: silty clay loam
- H3 - 24 to 65 inches: silty clay

FLOODWAY

Most of the western portion of this site is located within the FEMA designated Floodway of Richland Creek. This includes some of the existing buildings on site.

FLOODPLAIN

A little less than half of this site is located within the FEMA designated 100 Year Floodplain. It appears that the elevation for the 100 Year Flood in this area is roughly 463', but further discussion with Metro Water Services will be required to confirm this elevation as it relates to Richland Creek.

Stream daylighting and stormwater variance process and regulations for the floodway and floodplain with MWS should be guided and confirmed by the Civil Engineer.



# TOPOGRAPHY & HYDROLOGY MAPS



## MODIFICATIONS TO THE SP

Pursuant to the Metropolitan Zoning Code minor modifications to the SP Plan may be approved by the Planning Commission or its designee based on final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this exacting ordinance, or add vehicular access points not currently present or approved.

## DISTRICT REGULATIONS

**Maximum FAR = 1.69**

- Residential area is to be Included as Floor Area within the SP Boundary.
- Structured parking shall not be counted as Floor Area for the purpose of calculating FAR.

**Maximum ISR = .90**

**Maximum Height =** Stories, Building Elevations And Setbacks Per SP Proposal Site Plan, Elevations And Sections.

**Residential Uses =** Per SP Proposal Site Plan, Elevations And Sections.

**Build To Zone =** Per SP Proposal Site Plan.

**Side And Rear Setback =** Per SP Proposal Site Plan .

**Permitted Uses =** Reference Permit Use Tables On The Following Pages.

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

## SITE ZONING & REGULATIONS














## ARCHITECTURAL STANDARDS

1. The architectural design of the buildings within the SP development sites is to be consistent with these standards as well as the general fabric and development pattern of the existing neighborhood.
2. All buildings shall provide a functional entry onto the street/sidewalk network or other public open space at frequent intervals to promote activity at the street level. All buildings shall have at least one pedestrian entrance on a Principal Building Frontage fronting the street or central plaza. This entrance may be access to a lobby shared by individual tenants.
3. A significant portion of the street level facade (ie doors and windows) shall be transparent to provide visual interest and pedestrian access. At ground floor locations along street frontage of all buildings a minimum of 40% glazing is required from grade to 14 ft.
4. Masonry, stone, and metal materials will primarily be used in the construction of the new development within the SP.
5. Door and window openings in masonry facades should be recessed (2" minimum) rather than flush with the rest of the wall.
6. Large expanses of featureless materials are not appropriate. For building facades fronting streets and public open space, the width of any blank facade (without glazing) shall not exceed 30 feet. Masonry pilasters, masonry wall recesses or projections, and/or variations in material and color may be used to achieve this massing standard.
7. Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, and glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.
8. Refuse collection, recycling and ground level mechanical equipment shall be fully screened from public view by the combination of fences, walls and landscaping.
9. Roof-top equipment, skylights and roof penetrations located on or attached to the roof shall be located as to minimize their visibility from the street. Typically, screening does not meet the requirement for "minimal visibility".
10. Architectural style will substantially match the imagery provided herein.

## SITE ZONING & REGULATIONS

### SITE ACCESS AND PARKING DIAGRAM LEGEND

-  VEHICULAR FOUR WAY INTERSECTION AT HARDING PIKE (TWO WAY)
-  PARKING GARAGE ENTRY/EXIT (TWO WAY)
-  PARKING GARAGE ENTRY (ONE WAY)
-  OFF STREET LOADING AREA
-  BIKE PARKING
-  CURB CUT LOADING ZONE FOR DROP OFF
-  PEDESTRIAN CROSSWALK
-  PRIMARY BUILDING USE ENTRY LOCATION
-  PUBLIC PARKING ACCESS

### ACCESS & PARKING STANDARDS

11. Site access to be provided per SP plan, civil plans and the site access diagram.
12. Loading to occur off street at the locations highlighted. Loading access via curb cuts highlighted.
13. Minimum 920 shared parking spaces to be provided amongst the project site. Parking garage use is to be shared and available for public use as required for the occupancies provided within the SP development. Ref. shared parking analysis for additional information.
14. Bicycle parking per zoning code 17.20.135.

	USE ALLOWED	USE PROHIBITED
<b>RESIDENTIAL USES</b>		
Single-family	Y	
Two-family	Y	
Multi-family	Y	
Elderly housing	Y	
Mobile home dwelling		X
Accessory apartment		X
Accessory dwelling, detached		X
Boarding house	Y	
Consignment sale	Y	
Domesticated hens		X
Garage sale	Y	
Historic bed and breakfast homestay		X
Historic home events	Y	
Home occupation	Y	
Rural bed and breakfast homestay		X
Security residence		X
Short term rental property (STRP) Owner occupied		X

<b>INSTITUTIONAL USES</b>		
Correctional facility		X
Cultural center	Y	
Day care center (Up to 75)	Y	
Day care center (Over 75)		X
Day care home		X
Day care—Parent's day out	Y	
School day care	Y	
Monastery or convent	Y	
Orphanage		X
Religious institution		X

<b>EDUCATIONAL USES</b>		
Business school	Y	
College or university		X
Community education	Y	
Dormitory		X
Fraternity/sorority house		X
Personal instruction	Y	
Vocational school	Y	

	USE ALLOWED	USE PROHIBITED
<b>OFFICE USES</b>		
Alternative financial services		X
Financial institution	Y	
General office	Y	
Leasing/sales office	Y	

<b>MEDICAL USES</b>		
Animal hospital		X
Assisted-care living	Y	
Hospice	Y	
Hospital		X
Medical appliance sales		X
Medical office	Y	
Medical or scientific lab	Y	
Nonresidential drug treatment facility		X
Nursing home		X
Outpatient clinic	Y	
Rehabilitation services	Y	
Residence for handicapped, more than eight individuals		X
Veterinarian	Y	

<b>COMMUNICATION USES</b>		
Amateur radio antenna	Y	
Audio/video tape transfer	Y	
Communications hut	Y	
Multi-media production	Y	
Printing and publishing	Y	
Radio/TV studio	Y	
Satellite dish	Y	
Telecommunication facility	Y	

	USE ALLOWED	USE PROHIBITED
<b>COMMERCIAL USES</b>		
Animal boarding facility	Y	
ATM	Y	
Auction house	Y	
Automobile convenience		X
Automobile parking	Y	
Automobile repair		X
Automobile sales, new		X
Automobile sales, used		X
Automobile service		X
Bar or nightclub	Y	
Bed and breakfast inn	Y	
Beer and cigarette market		X
Boat storage		X
Business service	Y	
Carpet cleaning		X
Car wash		X
Community gardening (commercial)	Y	
Community gardening (noncommercial)	Y	
Custom assembly	Y	
Donation center, drop-off		X
Flea market		X
Funeral home		X
Furniture store	Y	
Grocery store	Y	
Home improvement sales	Y	
Hotel/motel	Y	
Inventory stock		X
Kennel/stable	Y	
Laundry plants		X
Liquor sales	Y	
Major appliance repair		X
Mobile storage unit		X
Mobile vendor		X
Nano brewery	Y	
Personal care services	Y	
Restaurant, fast-food	Y	
Restaurant, full-service	Y	
Restaurant, take-out	Y	
Retail	Y	
Self-service storage		X
Short term rental property (STRP)—Not owner occupied		X
Vehicular rental/leasing		X
Vehicular sales and service, limited		X
Wrecker service		X

	USE ALLOWED	USE PROHIBITED
<b>INDUSTRIAL USES</b>		
Artisan distillery	Y	
Asphalt plant		X
Building contractor supply		X
Compressor station		X
Concrete plant		X
Distributive business/wholesale		X
Fuel storage		X
Heavy equipment, sales and service		X
Hazardous operation		X
Manufacturing, Artisan	Y	
Manufacturing, heavy		X
Manufacturing, medium		X
Manufacturing, light		X
Microbrewery	Y	
Research service		X
Scrap operation		X
Tank farm		X
Tasting room	Y	
Warehouse		X

<b>TRANSPORTATION USES</b>		
Airport, medium or large commercial service		X
Airport/heliport		X
Boat dock (commercial)		X
Bus station/landport		X
Bus transfer station		X
Commuter rail		X
Helistop		X
Motor freight		X
Park and ride lot		X
Railroad station		X
Railroad yard		X
Water taxi station		X

<b>UTILITY USES</b>		
Power/gas substation		X
Power plant		X
Reservoir/water tank	Y	
Safety services	Y	
Waste water treatment		X
Water/sewer pump station		X
Water treatment plant		X
Wind energy facility (small)		X
Wind energy facility (utility)		X

	USE ALLOWED	USE PROHIBITED
<b>RECREATION &amp; ENTERTAINMENT USES</b>		
Adult entertainment		X
After hours establishment		X
Camp		X
Club	Y	
Commercial amusement (inside)	Y	
Commercial amusement (outside)	Y	
Country club		X
Drive-in movie		X
Driving range	Y	
Fairground		X
Golf course	Y	
Greenway	Y	
Park	Y	
Racetrack		X
Recreation center	Y	
Rehearsal hall	Y	
Sex club		X
Small outdoor music event	Y	
Stadium arena/convention center	Y	
Temporary festival	Y	
Theater	Y	
Theatre	Y	
Zoo		X

<b>OTHER USES</b>		
Agricultural activity		X
Cemetery		X
Domestic animals/wildlife		X
Mineral extraction		X
On-site agricultural sales		X
Pond/lake	Y	

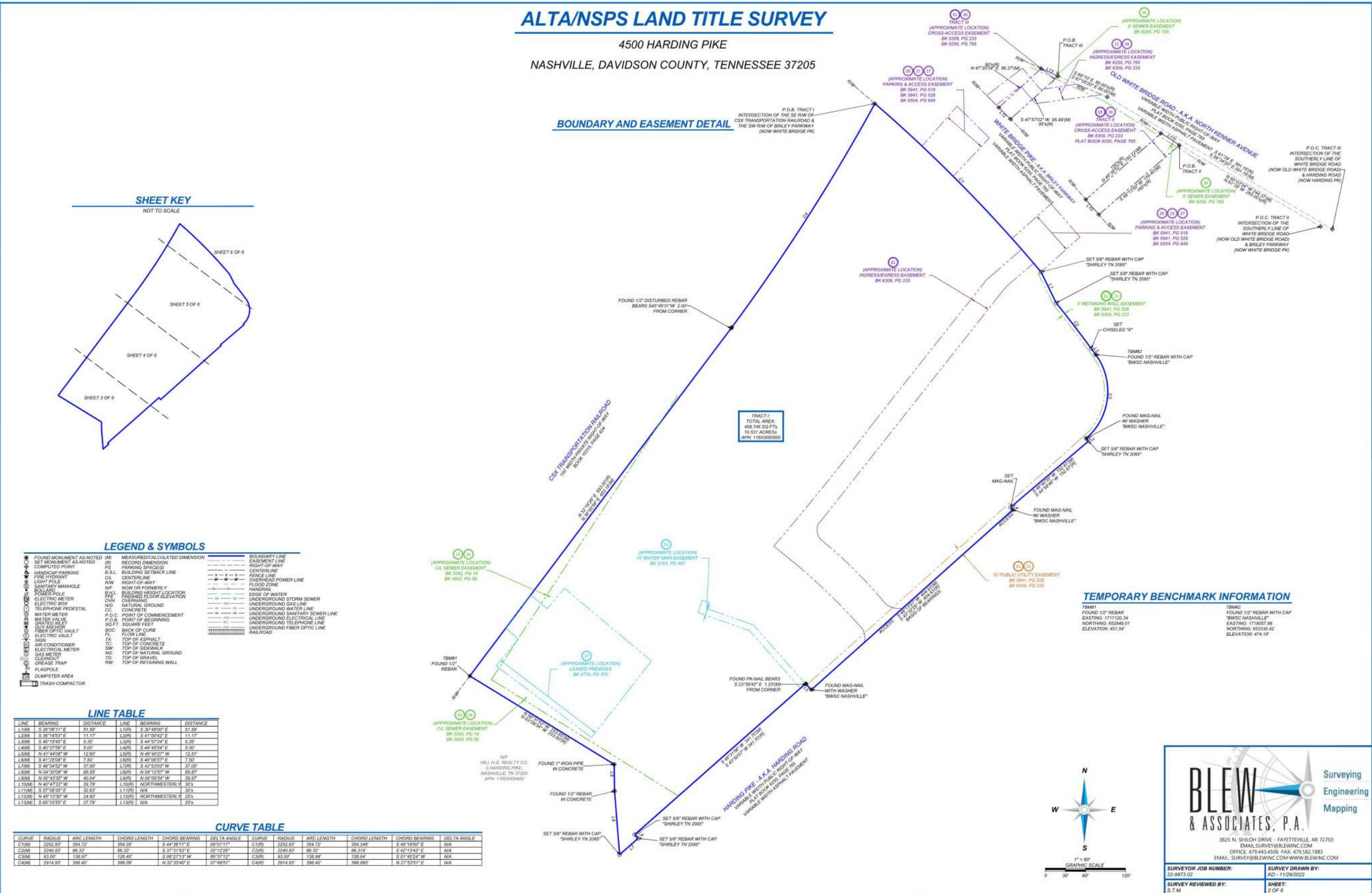
<b>WASTE MANAGEMENT USES</b>		
Collection center		X
Construction/demolition landfill		X
Construction/demolition waste processing (project specific)		X
Medical waste		X
Recycling collection center		X
Recycling facility		X
Sanitary landfill		X
Waste transfer		X

# PERMITTED USES TABLE

# ALTA/NSPS LAND TITLE SURVEY

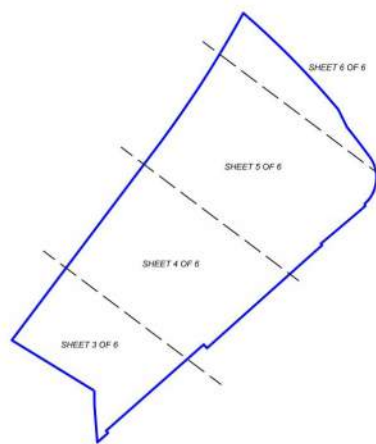
4500 HARDING PIKE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

## BOUNDARY AND EASEMENT DETAIL



### SHEET KEY

NOT TO SCALE



### LEGEND & SYMBOLS

● FOUND MONUMENT AS-NOTED	IM RECORD DIMENSION	— BOUNDARY LINE
○ COMPUTED POINT	PS RECORD DIMENSION	- - - EASEMENT LINE
⊕ HANDICAP PARKING	BL BUILDING SETBACK LINE	— RIGHT-OF-WAY
⊕ FIRE HYDRANT	CL CENTERLINE	— CENTERLINE
⊕ LIGHT POLE	RW RIGHT-OF-WAY	— FENCE LINE
⊕ SANITARY MANHOLE	N/F NOW OR FORMERLY	— OVERHEAD POWER LINE
⊕ SOLAR	B/LF BUILDING FOOT LOCATION	— FLOOD ZONE
⊕ POWER POLE	CHS CHANGING POINT LOCATION	— HANDRAIL
⊕ ELECTRIC METER	CHS CHANGING POINT ELEVATION	— EDGE OF WATER
⊕ TELEPHONE PEDestal	CHS CHANGING POINT SQUARE FEET	— UNDERGROUND STORM SEWER
⊕ WATER METER	P.O.C. POINT OF COMMENCEMENT	— UNDERGROUND GAS LINE
⊕ WATER VALVE	P.O.B. POINT OF BEGINNING	— UNDERGROUND WATER LINE
⊕ GUY WIRE	SQ.FT. SQUARE FEET	— UNDERGROUND SANITARY SEWER LINE
⊕ FIBER OPTIC VAULT	BOC BACK OF CURB	— UNDERGROUND ELECTRICAL LINE
⊕ ELECTRIC VAULT	FL FLOOR LINE	— UNDERGROUND TELEPHONE LINE
⊕ SIGN	TA TOP OF ASPHALT	— UNDERGROUND FIBER OPTIC LINE
⊕ AIR CONDITIONER	TC TOP OF CONCRETE	— RAILROAD
⊕ ELECTRICAL METER	SW TOP OF SIDEWALK	
⊕ GAS METER	NG TOP OF NATURAL GROUND	
⊕ CLEANOUT	GG TOP OF GRAVEL	
⊕ GREASE TRAP	RW TOP OF RETAINING WALL	
⊕ FLAGPOLE		
⊕ DUMPSTER AREA		
⊕ TRASH COMPACTOR		

### LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L18M	S 20°06'11" E	51.58'	L19S	S 30°48'00" E	81.38'
L20M	S 36°18'33" E	11.17'	L20S	S 41°00'24" E	11.17'
L21M	S 40°19'45" E	8.35'	L21S	S 44°57'34" E	8.35'
L44M	S 40°17'26" E	9.00'	L44S	S 44°45'34" E	9.00'
L64M	N 41°46'08" W	12.60'	L64S	N 46°46'22" W	12.61'
L74M	S 41°33'58" E	7.20'	L74S	S 46°16'57" E	7.20'
L75M	S 48°34'58" W	37.60'	L75S	S 47°53'07" W	37.00'
L84M	N 04°32'08" W	95.55'	L84S	N 09°12'57" W	95.87'
L94M	N 00°42'32" W	40.04'	L94S	N 08°09'34" W	39.97'
L104M	N 40°42'22" W	29.78'	L104S	N 04°08'12" W	30.1'
L114M	S 57°08'25" E	32.63'	L114S	N/A	30.1'
L124M	N 45°12'30" W	24.60'	L124S	N 04°08'12" W	25.1'
L134M	S 65°33'58" E	27.79'	L134S	N/A	25.1'

### CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C18M	2262.83'	354.72'	86.32'	S 44°06'11" E	09°11'11"	C19S	2262.83'	354.72'	86.32'	S 49°18'00" E	N/A
C20M	2240.83'	86.32'	86.32'	S 37°31'33" E	03°12'28"	C20S	2240.83'	86.32'	86.32'	S 42°13'42" E	N/A
C21M	83.00'	138.97'	126.46'	S 08°27'13" W	89°37'12"	C21S	83.00'	138.98'	126.04'	S 51°45'24" W	N/A
C44M	2914.82'	388.40'	388.40'	N 32°34'42" E	07°49'21"	C44S	2914.82'	388.40'	388.40'	N 27°52'31" E	N/A

### TEMPORARY BENCHMARK INFORMATION

TBM#1 FOUND 1/2" REBAR EASTING: 171726.04 NORTHING: 63386.01 ELEVATION: 451.54'	TBM#2 FOUND 1/2" REBAR WITH CAP "BWSO NASHVILLE" EASTING: 171857.88 NORTHING: 63330.42 ELEVATION: 474.15'
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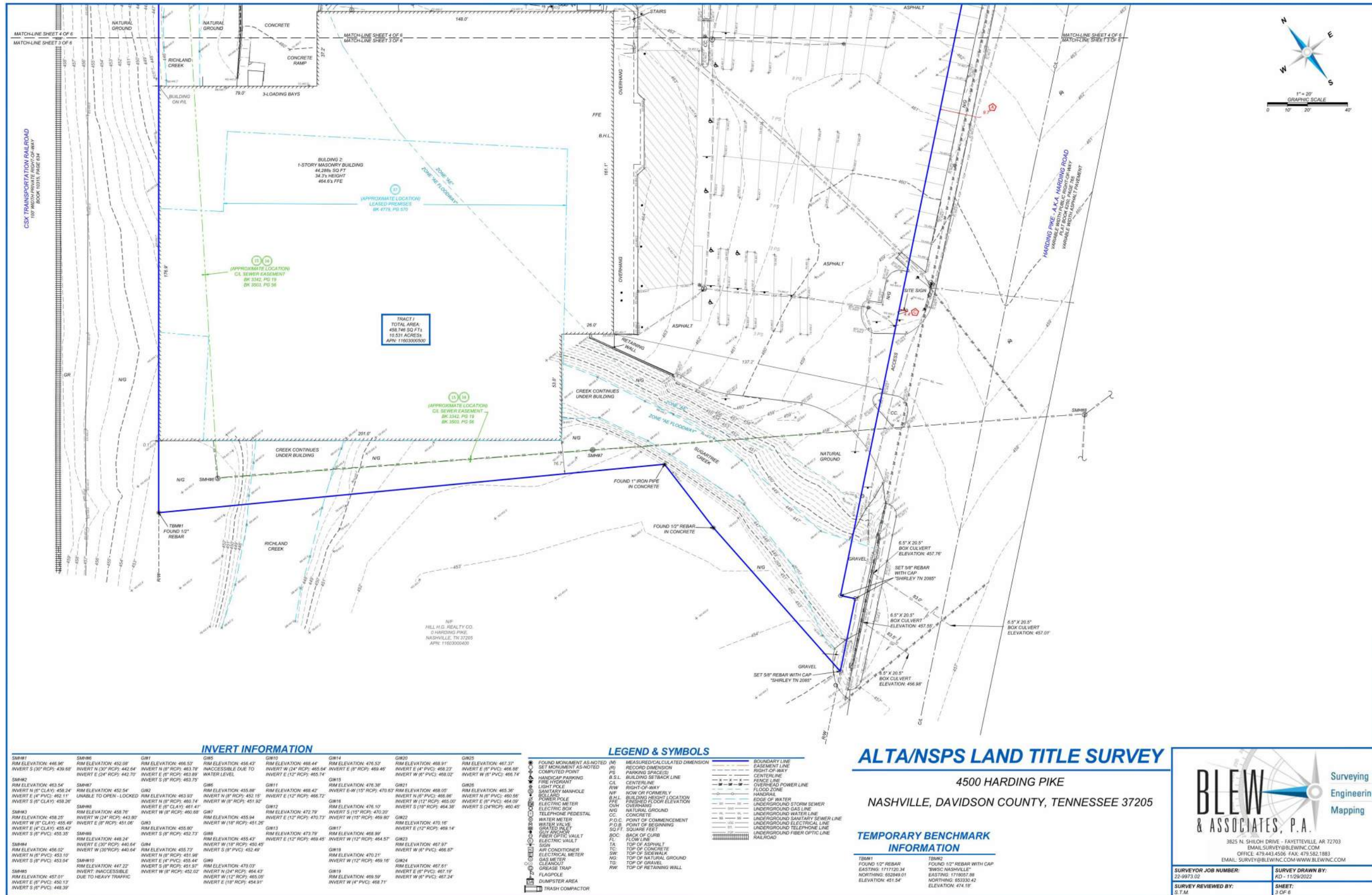


**BLEW & ASSOCIATES, P.A.**

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SURVEYOR JOB NUMBER: 22-9973.02	SURVEY DRAWN BY: KD - 11/29/2022
SURVEY REVIEWED BY: S.T.M.	SHEET: 2 OF 6



**INVERT INFORMATION**

SM#17 RIM ELEVATION: 448.90' INVERT S (20" RCP): 439.80'	SM#18 RIM ELEVATION: 452.08' INVERT N (20" RCP): 442.64' INVERT E (24" RCP): 442.70'	SM#19 RIM ELEVATION: 452.54' INVERT N (8" RCP): 452.15' INVERT W (8" RCP): 451.92'	SM#20 RIM ELEVATION: 452.76' INVERT W (24" RCP): 443.80' INVERT E (8" RCP): 451.06'	SM#21 RIM ELEVATION: 455.79' INVERT W (8" RCP): 450.89'	SM#22 RIM ELEVATION: 455.84' INVERT W (12" RCP): 451.25'	SM#23 RIM ELEVATION: 455.87' INVERT S (8" RCP): 452.73'	SM#24 RIM ELEVATION: 455.94' INVERT E (30" RCP): 440.64' INVERT W (8" RCP): 451.84'	SM#25 RIM ELEVATION: 456.02' INVERT N (8" PVC): 453.11' INVERT S (8" PVC): 453.04'	SM#26 RIM ELEVATION: 456.24' INVERT W (20" RCP): 440.64' INVERT E (4" PVC): 455.44'	SM#27 RIM ELEVATION: 457.22' INVERT S (8" RCP): 451.97'	SM#28 RIM ELEVATION: 457.01' INVERT E (8" PVC): 450.17' INVERT S (8" PVC): 448.33'	SM#29 RIM ELEVATION: 458.52' INVERT N (8" RCP): 453.78' INVERT E (8" RCP): 453.88'	SM#30 RIM ELEVATION: 458.88' INVERT N (8" RCP): 452.15' INVERT W (8" RCP): 451.41'	SM#31 RIM ELEVATION: 459.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#32 RIM ELEVATION: 460.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#33 RIM ELEVATION: 461.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#34 RIM ELEVATION: 462.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#35 RIM ELEVATION: 463.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#36 RIM ELEVATION: 464.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#37 RIM ELEVATION: 465.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#38 RIM ELEVATION: 466.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#39 RIM ELEVATION: 467.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#40 RIM ELEVATION: 468.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#41 RIM ELEVATION: 469.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#42 RIM ELEVATION: 470.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#43 RIM ELEVATION: 471.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#44 RIM ELEVATION: 472.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#45 RIM ELEVATION: 473.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#46 RIM ELEVATION: 474.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#47 RIM ELEVATION: 475.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#48 RIM ELEVATION: 476.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#49 RIM ELEVATION: 477.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#50 RIM ELEVATION: 478.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#51 RIM ELEVATION: 479.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#52 RIM ELEVATION: 480.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#53 RIM ELEVATION: 481.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#54 RIM ELEVATION: 482.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#55 RIM ELEVATION: 483.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#56 RIM ELEVATION: 484.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#57 RIM ELEVATION: 485.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#58 RIM ELEVATION: 486.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#59 RIM ELEVATION: 487.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#60 RIM ELEVATION: 488.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#61 RIM ELEVATION: 489.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#62 RIM ELEVATION: 490.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#63 RIM ELEVATION: 491.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#64 RIM ELEVATION: 492.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#65 RIM ELEVATION: 493.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#66 RIM ELEVATION: 494.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#67 RIM ELEVATION: 495.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#68 RIM ELEVATION: 496.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#69 RIM ELEVATION: 497.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#70 RIM ELEVATION: 498.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#71 RIM ELEVATION: 499.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#72 RIM ELEVATION: 500.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#73 RIM ELEVATION: 501.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#74 RIM ELEVATION: 502.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#75 RIM ELEVATION: 503.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#76 RIM ELEVATION: 504.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#77 RIM ELEVATION: 505.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#78 RIM ELEVATION: 506.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#79 RIM ELEVATION: 507.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#80 RIM ELEVATION: 508.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#81 RIM ELEVATION: 509.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#82 RIM ELEVATION: 510.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#83 RIM ELEVATION: 511.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#84 RIM ELEVATION: 512.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#85 RIM ELEVATION: 513.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#86 RIM ELEVATION: 514.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#87 RIM ELEVATION: 515.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#88 RIM ELEVATION: 516.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#89 RIM ELEVATION: 517.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#90 RIM ELEVATION: 518.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#91 RIM ELEVATION: 519.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#92 RIM ELEVATION: 520.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#93 RIM ELEVATION: 521.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#94 RIM ELEVATION: 522.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#95 RIM ELEVATION: 523.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#96 RIM ELEVATION: 524.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#97 RIM ELEVATION: 525.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#98 RIM ELEVATION: 526.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#99 RIM ELEVATION: 527.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'	SM#100 RIM ELEVATION: 528.88' INVERT N (8" RCP): 453.88' INVERT W (8" RCP): 450.89'
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**LEGEND & SYMBOLS**

FOUND MONUMENT AS NOTED	MEASURED/CALCULATED DIMENSION	BOUNDARY LINE
SET MONUMENT AS NOTED	RECORD DIMENSION	EASEMENT
COMPUTED POINT	PARKING SPACES	RIGHT-OF-WAY
HANDICAP PARKING	BUILDING SETBACK LINE	CENTRAL LINE
LIGHT POLE	C/L	FENCE LINE
FIRE HYDRANT	R/W	OVERHEAD POWER LINE
SANITARY MANHOLE	NOV OR FORMERLY	FLOOD ZONE
ISLAND	FRISHED FLOOR ELEVATION	HANDRAIL
POWER POLE	NATURAL GROUND	EDGE OF WATER
ELECTRIC METER	CONCRETE	UNDERGROUND STORM SEWER
ELECTRIC BOX	P.O.C.	UNDERGROUND GAS LINE
TELEPHONE PEDESTAL	POINT OF COMMENCEMENT	UNDERGROUND WATER LINE
WATER METER	SQ. FT.	UNDERGROUND SANITARY SEWER LINE
WATER VALVE	BACK OF CURB	UNDERGROUND ELECTRICAL LINE
GRAVEL	FLOW LINE	UNDERGROUND TELEPHONE LINE
PILE CAP	TOP OF ASPHALT	UNDERGROUND FIBER OPTIC LINE
PILE CAP VAULT	TOP OF CONCRETE	RAILROAD
ELECTRIC VAULT	TOP OF SIDEWALK	
SIEM	TOP OF NATURAL GROUND	
AIR CONDITIONER	TOP OF GRAVEL	
ELECTRICAL METER	TOP OF RETAINING WALL	
GAS METER		
CLEANOUT		
FLAGHOLE		
GREASE TRAP		
DUMPSTER AREA		
TRASH COMPACTOR		

**ALTA/NSPS LAND TITLE SURVEY**

4500 HARDING PIKE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

**TEMPORARY BENCHMARK INFORMATION**

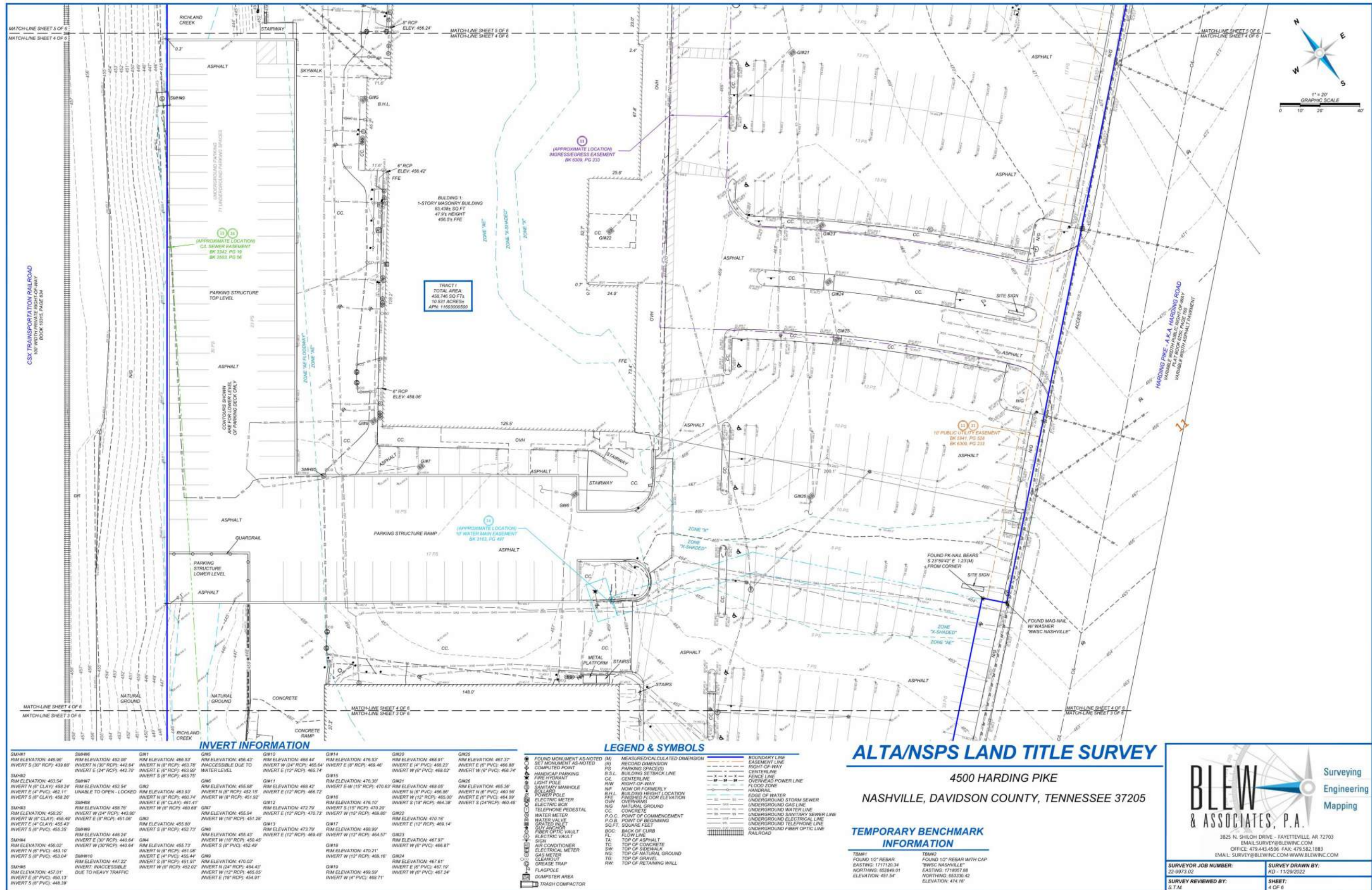
TBM#1 FOUND 12" REBAR EASTING: 171720.34 NORTHING: 65298.01 ELEVATION: 451.54'	TBM#2 FOUND 12" REBAR WITH CAP EASTING: 171807.98 NORTHING: 65330.42 ELEVATION: 474.18'
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SURVEYOR JOB NUMBER: 22-9973.02	SURVEY DRAWN BY: KD - 11/29/2022
SURVEY REVIEWED BY: S.T.M.	SHEET: 3 OF 6



**INVERT INFORMATION**

SMH1 RIM ELEVATION: 448.98' INVERT S (30" RCP): 439.88'	SMH6 RIM ELEVATION: 452.08' INVERT N (20" RCP): 442.64' INVERT E (24" RCP): 442.70'	SM7 RIM ELEVATION: 456.53' INVERT N (8" RCP): 463.78' INVERT S (8" RCP): 463.89'	SM8 RIM ELEVATION: 458.42' INVERT N (8" RCP): 465.64' INVERT E (12" RCP): 465.74'	SM9 RIM ELEVATION: 468.42' INVERT W (24" RCP): 465.64' INVERT E (12" RCP): 465.74'	SM10 RIM ELEVATION: 476.53' INVERT E (8" RCP): 469.48' INVERT W (6" PVC): 468.02'	SM11 RIM ELEVATION: 476.38' INVERT E-W (15" RCP): 470.63' INVERT E (12" RCP): 468.72'	SM12 RIM ELEVATION: 476.10' INVERT S (15" RCP): 470.20' INVERT E (12" RCP): 470.73'	SM13 RIM ELEVATION: 473.79' INVERT E (12" RCP): 469.48'	SM14 RIM ELEVATION: 488.99' INVERT W (12" RCP): 469.18'	SM15 RIM ELEVATION: 470.31' INVERT W (12" RCP): 469.18'	SM16 RIM ELEVATION: 487.61' INVERT E (8" PVC): 487.24'	SM17 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	SM18 RIM ELEVATION: 466.98' INVERT E (8" PVC): 466.88'	SM19 RIM ELEVATION: 465.36' INVERT N (8" PVC): 466.88'	SM20 RIM ELEVATION: 465.36' INVERT S (24" RCP): 480.45'
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**LEGEND & SYMBOLS**

<ul style="list-style-type: none"> <li>FOUND MONUMENT AS NOTED</li> <li>SET MONUMENT AS NOTED</li> <li>COMPUTED POINT</li> <li>HANDICAP PARKING</li> <li>FSB HYDRANT</li> <li>SAINTARY MANHOLE</li> <li>SCULLERY</li> <li>POWER POLE</li> <li>ELECTRIC METER</li> <li>ELECTRIC BOX</li> <li>TELEPHONE PEDESTAL</li> <li>WATER METER</li> <li>WATER VALVE</li> <li>GRATED INLET</li> <li>SALE PITCH</li> <li>ELECTRIC VAULT</li> <li>WATER VAULT</li> <li>AIR CONDITIONER</li> <li>ELECTRICAL METER</li> <li>GAS METER</li> <li>CLEANOUT</li> <li>GREASE TRAP</li> <li>FLAGPOLE</li> <li>COMPOSTER AREA</li> <li>TRASH COMPACTOR</li> </ul>	<ul style="list-style-type: none"> <li>MEASURED/CALCULATED DIMENSION</li> <li>RECORDED DIMENSION</li> <li>PARKING SPACES</li> <li>BUILDING SETBACK LINE</li> <li>S.S.L. CENTERLINE</li> <li>R.W. RIGHT-OF-WAY</li> <li>N.O.W. OR FORMERLY</li> <li>B.U.L. BUILDING HEIGHT LOCATION</li> <li>PANISHED FLOOR ELEVATION</li> <li>O.V.H. OVERHANG</li> <li>N.S. NATURAL GROUND</li> <li>CONCRETE</li> <li>P.O.C. POINT OF COMMENCEMENT</li> <li>P.O.B. POINT OF BEGINNING</li> <li>SQ.FT. SQUARE FEET</li> <li>B.O.C. BACK OF CURB</li> <li>F.L. FLOW LINE</li> <li>T.A. TOP OF ASPHALT</li> <li>T.C. TOP OF CONCRETE</li> <li>S.W.P. TOP OF SIDEWALK</li> <li>N.G. TOP OF NATURAL GROUND</li> <li>T.G. TOP OF GRAVEL</li> <li>R.W. TOP OF RETAINING WALL</li> </ul>
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**ALTA/NSPS LAND TITLE SURVEY**

4500 HARDING PIKE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

**TEMPORARY BENCHMARK INFORMATION**

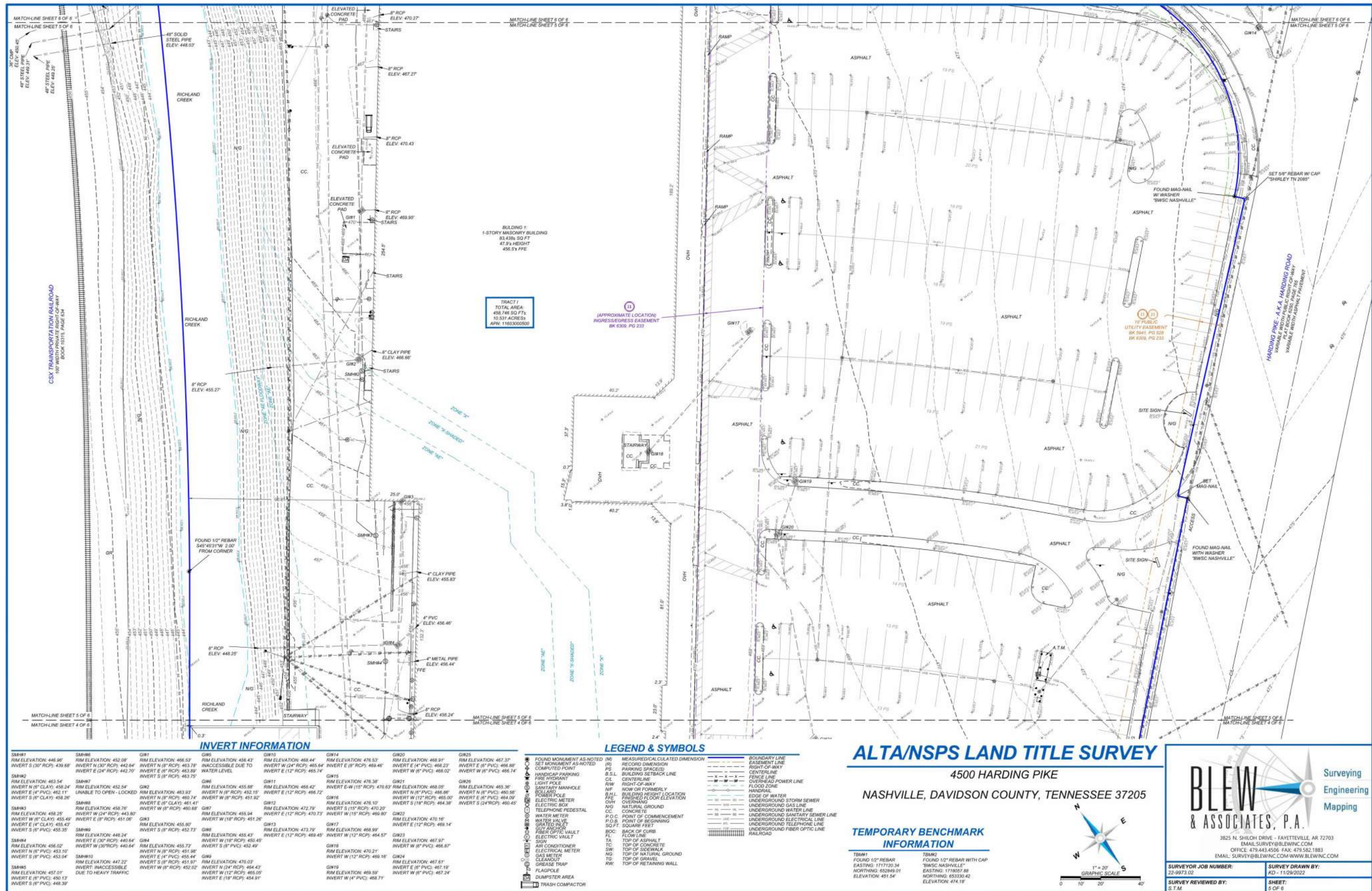
<p>BM1 FOUND 10" REBAR EASTING: 171720.34 NORTHING: 852849.01 ELEVATION: 451.54'</p>	<p>BM2 FOUND 10" REBAR WITH CAP "BWS" NASHVILLE" EASTING: 171807.88 NORTHING: 853336.42 ELEVATION: 474.18'</p>
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SURVEYOR JOB NUMBER: 22-9973.02	SURVEY DRAWN BY: KD - 11/29/2022
SURVEY REVIEWED BY: S.T.M.	SHEET: 4 OF 6



TRACT 1  
TOTAL AREA:  
458,748 SQ FTs  
10.537 ACRES±  
APN: 1180300000

**INVERT INFORMATION**

SMH17 RIM ELEVATION: 448.98 INVERT S (30" RCP): 439.88	SMH18 RIM ELEVATION: 452.58 INVERT N (30" RCP): 442.64 INVERT E (24" RCP): 442.70	GM1 RIM ELEVATION: 458.52 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM2 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM3 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM4 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM5 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM6 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM7 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM8 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM9 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM10 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM11 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM12 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM13 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM14 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM15 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM16 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM17 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM18 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM19 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM20 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM21 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM22 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM23 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM24 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75	GM25 RIM ELEVATION: 458.42 INVERT N (8" RCP): 463.78 INVERT S (8" RCP): 463.75
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**LEGEND & SYMBOLS**

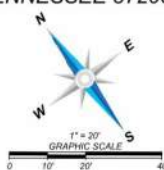
- FOUND MONUMENT AS NOTED (M)
- SET MONUMENT AS NOTED (S)
- COMPUTED POINT (C)
- HANDICAP PARKING (H)
- FIRE HYDRANT (F)
- LIGHT POLE (L)
- SANITARY MANHOLE (S)
- LAND (L)
- POWER POLE (P)
- ELECTRIC METER (E)
- ELECTRIC BOX (B)
- TELEPHONE PEDESTAL (T)
- WATER VALVE (V)
- GRATED WALK (G)
- FIBER OPTIC VAULT (F)
- ELECTRIC VAULT (E)
- SIGN (S)
- AIR CONDITIONER (A)
- ELECTRICAL METER (E)
- GAS METER (G)
- CLEANOUT (C)
- FLAGPOLE (F)
- DUMPSTER AREA (D)
- TRASH COMPACTOR (T)
- MEASURED/CALCULATED DIMENSION (M)
- RECORD DIMENSION (R)
- PARKING SPACES (P)
- BUILDING SETBACK LINE (B)
- CENTERLINE (C)
- RIGHT-OF-WAY (R)
- NOW OR FORMERLY (N)
- FINISHED FLOOR ELEVATION (F)
- OVERHANG (O)
- NATURAL GROUND (N)
- POINT OF COMMENCEMENT (P)
- POINT OF BEGINNING (P)
- SQUARE FEET (S)
- BACK OF CURB (B)
- FLOW LINE (F)
- TOP OF ASPHALT (T)
- TOP OF CONCRETE (C)
- TOP OF SIDEWALK (S)
- TOP OF NATURAL GROUND (N)
- TOP OF GRAVEL (G)
- TOP OF RETAINING WALL (R)
- BOUNDARY LINE (B)
- EASEMENT LINE (E)
- RIGHT-OF-WAY (R)
- CENTERLINE (C)
- FENCE LINE (F)
- FLOOD ZONE (F)
- HANDRAIL (H)
- EDGE OF WATER (E)
- UNDERGROUND STORM SEWER (S)
- UNDERGROUND GAS LINE (G)
- UNDERGROUND WATER LINE (W)
- UNDERGROUND SANITARY SEWER LINE (S)
- UNDERGROUND ELECTRICAL LINE (E)
- UNDERGROUND TELEPHONE LINE (T)
- UNDERGROUND FIBER OPTIC LINE (F)
- RAILROAD (R)

**ALTA/NSPS LAND TITLE SURVEY**

4500 HARDING PIKE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

**TEMPORARY BENCHMARK INFORMATION**

BM1 FOUND 12" REBAR EASTING: 171720.34 NORTHING: 652849.01 ELEVATION: 451.54'	BM2 FOUND 12" REBAR WITH CAP EASTING: 171857.88 NORTHING: 653330.42 ELEVATION: 474.18'
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**BLEW & ASSOCIATES, P.A.**  
Surveying  
Engineering  
Mapping

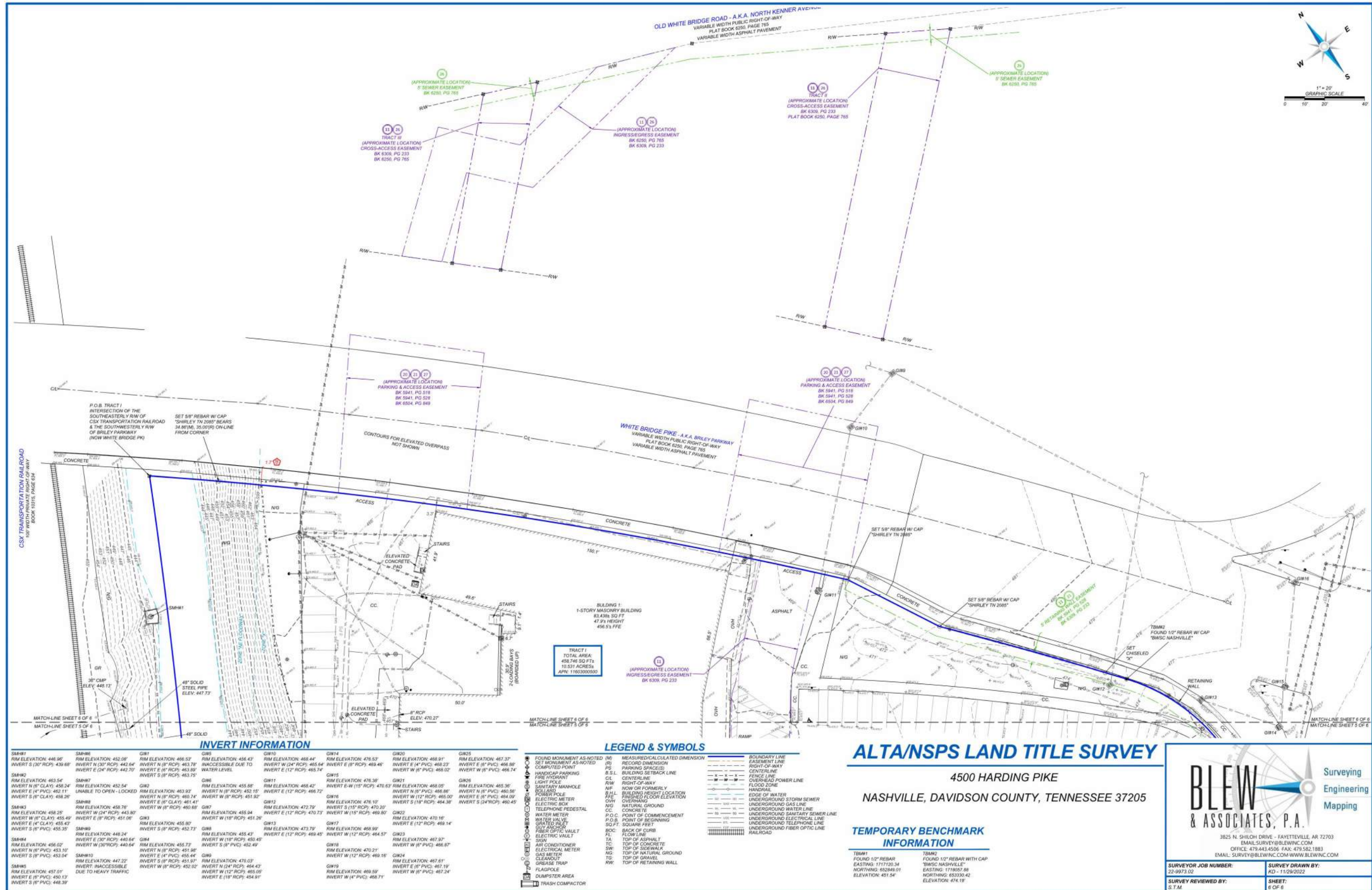
3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703  
EMAIL: SURVEY@BLEWINC.COM  
OFFICE: 479.443.4506 FAX: 479.582.1883  
EMAIL: SURVEY@BLEWINC.COM WWW.BLEWINC.COM

**SURVEYOR JOB NUMBER:**  
22-9973.02

**SURVEY DRAWN BY:**  
KD - 11/29/2022

**SURVEY REVIEWED BY:**  
S.T.M.

**SHEET:**  
5 OF 6



**INVERT INFORMATION**

SM#87 RIM ELEVATION: 448.98' INVERT S (30" RCP): 439.88'	SM#88 RIM ELEVATION: 452.58' INVERT N (30" RCP): 442.64' INVERT E (24" RCP): 442.70'	GM7 RIM ELEVATION: 466.52' INVERT N (8" RCP): 463.78' INVERT S (8" RCP): 463.75'	GM8 RIM ELEVATION: 468.43' INACCESSIBLE DUE TO WATER LEVEL	GM9 RIM ELEVATION: 468.44' INVERT W (24" RCP): 466.64' INVERT E (12" RCP): 465.74'	GM10 RIM ELEVATION: 476.53' INVERT E (8" RCP): 469.46'	GM11 RIM ELEVATION: 476.38' INVERT E-W (15" RCP): 470.63'	GM12 RIM ELEVATION: 469.05' INVERT N (8" PVC): 468.88' INVERT S (8" PVC): 468.88'	GM13 RIM ELEVATION: 465.39' INVERT E (8" PVC): 465.00' INVERT S (24" RCP): 460.45'	GM14 RIM ELEVATION: 468.91' INVERT E (8" PVC): 468.02'	GM15 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM16 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM17 RIM ELEVATION: 468.42' INVERT E (12" RCP): 469.72'	GM18 RIM ELEVATION: 476.38' INVERT S (15" RCP): 470.30'	GM19 RIM ELEVATION: 476.10' INVERT S (15" RCP): 470.30'	GM20 RIM ELEVATION: 469.90'	GM21 RIM ELEVATION: 470.18' INVERT E (12" RCP): 469.14'	GM22 RIM ELEVATION: 470.18' INVERT E (12" RCP): 469.14'	GM23 RIM ELEVATION: 467.97' INVERT W (8" PVC): 466.87'	GM24 RIM ELEVATION: 467.97' INVERT W (8" PVC): 466.87'	GM25 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM26 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM27 RIM ELEVATION: 468.91' INVERT E (8" PVC): 468.02'	GM28 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM29 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM30 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM31 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM32 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM33 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM34 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM35 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM36 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM37 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM38 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM39 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM40 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM41 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM42 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM43 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM44 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM45 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM46 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM47 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM48 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM49 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM50 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM51 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM52 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM53 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM54 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM55 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM56 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM57 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM58 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM59 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM60 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM61 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM62 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM63 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM64 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM65 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM66 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM67 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM68 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM69 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM70 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM71 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM72 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM73 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM74 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM75 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM76 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM77 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM78 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM79 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM80 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM81 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM82 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM83 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM84 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM85 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM86 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM87 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM88 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM89 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM90 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM91 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM92 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM93 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM94 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM95 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM96 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM97 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM98 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'	GM99 RIM ELEVATION: 467.37' INVERT E (8" PVC): 466.88'	GM100 RIM ELEVATION: 467.37' INVERT W (8" PVC): 466.74'
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**LEGEND & SYMBOLS**

FOUND MONUMENT AS NOTED (M)	MEASURED/CALCULATED DIMENSION	BOUNDARY LINE
SET MONUMENT AS NOTED (S)	RECORD DIMENSION	EASEMENT LINE
COMPUTED POINT (C)	COMPUTED POINT (C)	RIGHT-OF-WAY
HANDICAP PARKING (H)	8 S.L. BUILDING SETBACK LINE	CENTERLINE
FIRE HYDRANT (F)	C.E. CENTERLINE	FENCE LINE
SANITARY MANHOLE (S)	R.W. RIGHT-OF-WAY	OVERHEAD POWER LINE
LIGHT POLE (L)	B.S.L. NOW OR FORMERLY	FLOOD ZONE
ELECTRIC METER (E)	B.L.L. BUILDING HEIGHT LOCATION	HANDRAIL
ELECTRIC BOX (B)	FINISHED FLOOR ELEVATION	EDGE OF WATER
TELEPHONE PEDESTAL (P)	N.G. NATURAL GROUND	UNDERGROUND WATER LINE
WATER METER (W)	CONCRETE	UNDERGROUND GAS LINE
WATER VALVE (V)	P.O.C. POINT OF COMMENCEMENT	UNDERGROUND SANITARY SEWER LINE
GRATE (G)	P.O.B. POINT OF BEGINNING	UNDERGROUND ELECTRICAL LINE
FIBER OPTIC VAULT (F)	SQ.FT. SQUARE FEET	UNDERGROUND TELEPHONE LINE
ELECTRIC VAULT (E)	BOC. BACK OF CURB	UNDERGROUND FIBER OPTIC LINE
TRASH COMPACTOR (T)	FL. TOP OF ASPHALT	RAILROAD
FLAGPOLE (F)	TA. TOP OF ASPHALT	
CONCRETE (C)	TC. TOP OF CONCRETE	
ASPHALT (A)	SW. TOP OF SIDEWALK	
GRAVEL (G)	MS. TOP OF NATURAL GROUND	
TRASH COMPACTOR (T)	TG. TOP OF GRAVEL	
TRASH COMPACTOR (T)	RW. TOP OF RETAINING WALL	

**ALTA/NSPS LAND TITLE SURVEY**

4500 HARDING PIKE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

**TEMPORARY BENCHMARK INFORMATION**

BM#1 FOUND 10" REBAR EASTING: 171720.34 NORTHING: 652848.01 ELEVATION: 451.54'	BM#2 FOUND 10" REBAR WITH CAP EASTING: 171807.98 NORTHING: 653330.42 ELEVATION: 474.18'
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**BLEW & ASSOCIATES, P.A.**

Surveying  
Engineering  
Mapping

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703  
EMAIL: SURVEY@BLEWINC.COM  
OFFICE: 479.443.4506 FAX: 479.582.1883  
EMAIL: SURVEY@BLEWINC.COM WWW.BLEWINC.COM

**SURVEYOR JOB NUMBER:** 22-9973.02  
**SURVEY DRAWN BY:** KD - 11/29/2022

**SURVEY REVIEWED BY:** S.T.M.  
**SHEET:** 6 OF 6

## EXISTING SITE DATA

SITE: 458,856 SF (10.53 AC) EXISTING GBA: 206,434 SF  
EXISTING SITE COVERAGE: 154,000 SF (34 % COVERAGE)  
EXISTING IMPERVIOUS SITE COVERAGE: 409,322 SF (89% COVERAGE)  
EXISTING PARKING COUNT: 664 STALLS

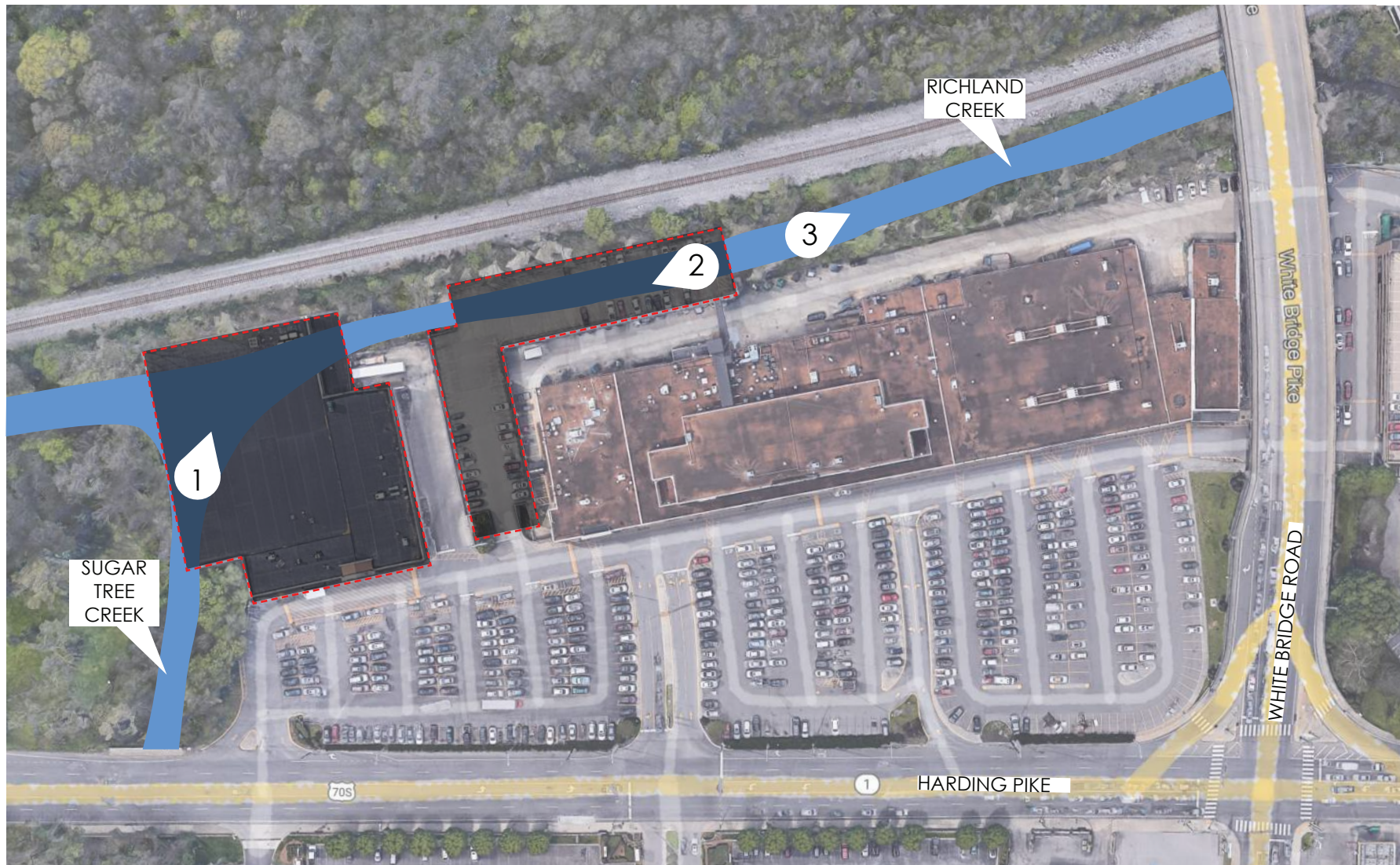


## EXISTING SITE AERIAL



## EXISTING SITE DATA

SITE: 458,856 SF (10.53 AC) EXISTING GBA: 206,434 SF  
EXISTING SITE COVERAGE: 154,000 SF (34 % COVERAGE)  
EXISTING IMPERVIOUS SITE COVERAGE: 409,322 SF (89% COVERAGE)  
EXISTING PARKING COUNT: 664 STALLS



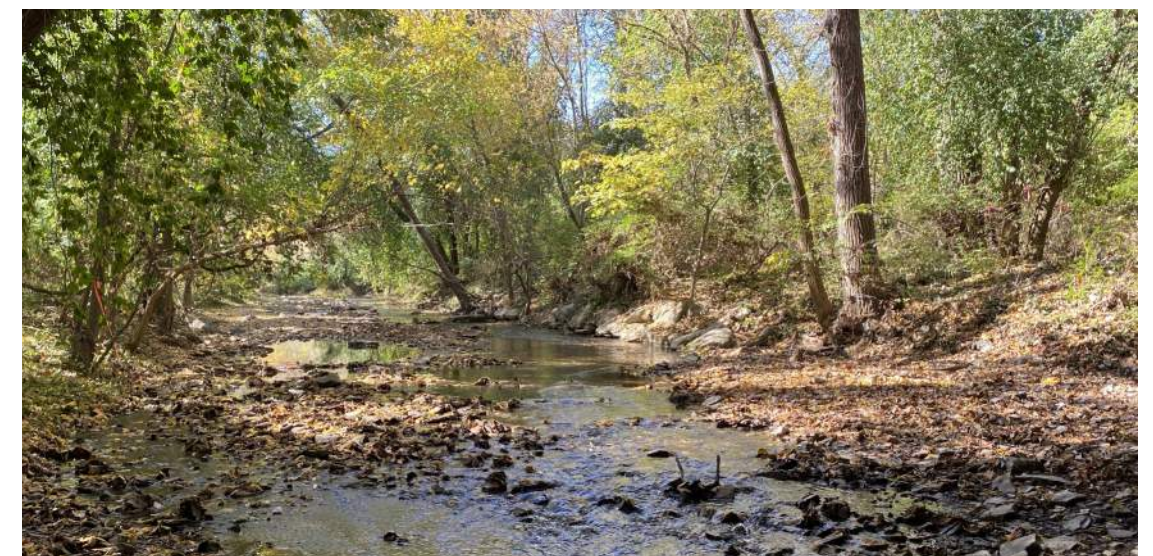
EXISTING CREEK COVERAGE



1. EXISTING CREEK CONDITION UNDER THE GROCERY STRUCTURE



2. EXISTING CREEK CONDITION UNDER THE PARKING STRUCTURE



3. EXISTING CREEK CONDITION



## CREEK DAYLIGHTING



VICINITY MAP (N.T.S.)

**BUILDING TENANTS**

- #4500 KATY'S HALLMARK
- #4504 OFFICE DEPOT
- #4514 STANBROCK'S
- #4516 PHO AND VIETNAMESE CUISINE
- #4518 BELLE MEADE OF PRODUCE/DELICIOUS
- #4520 EL STUFFED PEPPERS MEXICAN
- #4522 COME GET A STAY
- #4524 CVS PHARMACY
- #4528 VACANT
- #4530 MIMI SUSHI & STEAK HOUSE
- #4534 WANDERBILT HEALTH WALK-IN CLINIC
- #4540 WELLS FARGO
- #4542 SOCIAL GRACE HALL BAR
- #4548 SMOOTHIE KING
- #4548 BELLE MEADE JEWELRY
- #4550 NEWSYS
- #4556A NASHVILLE WINE & SPIRITS

**RECORD DESCRIPTION**

TRACT I  
 BEING A PARCEL OF LAND IN THE FIRST CIVIL DISTRICT OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF WEST END AVENUE (U.S. HIGHWAY 70) (90 FOOT RIGHT-OF-WAY) AND LOUISE AVENUE (60 FOOT RIGHT-OF-WAY) BEING LOT NO. 2 AS SHOWN ON THE PLAN OF SECOND REVISION, VANDERBILT PLAZA CONSOLIDATION PLAT OF RECORD IN PLAT BOOK 970, PAGE 643, R.O.D.C. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT AN IRON PIN IN THE EASTERN MARGIN OF LOUISE AVENUE AT THE NORTH END OF THE RETURN OF THE INTERSECTION WITH WEST END AVENUE; THENCE, WITH THE EASTERN MARGIN OF LOUISE AVENUE, NORTH 36 DEGREES 42 MINUTES 21 SECONDS WEST A DISTANCE OF 348.86 FEET TO A PUNCH MARK IN SIDEWALK IN THE SOUTHERLY MARGIN OF HAYES STREET; 90 FOOT RIGHT-OF-WAY; THENCE, WITH SAID EASTERN MARGIN OF HAYES STREET, NORTH 53 DEGREES 03 MINUTES 30 SECONDS EAST A DISTANCE OF 352.00 FEET TO A PUNCH MARK IN SIDEWALK; THENCE, LEAVING SAID HAYES STREET WITH THE WESTERN LINE OF LOT NO. 1 OF AFORESAID VANDERBILT PLAZA CONSOLIDATION PLAT IN THE NAME OF LOUISIANA NASHVILLE HOTEL CORPORATION OF RECORD IN BOOK 804, PAGE 265, R.O.D.C. THE FOLLOWING COURSES AND DISTANCES: SOUTH 36 DEGREES 49 MINUTES 00 SECONDS EAST A DISTANCE OF 180.00 FEET TO A POINT; SOUTH 38 DEGREES 45 SECONDS WEST A DISTANCE OF 53.10 FEET TO A POINT; SOUTH 38 DEGREES 03 MINUTES 00 SECONDS WEST A DISTANCE OF 21.10 FEET TO A POINT; AND SOUTH 38 DEGREES 49 MINUTES 00 SECONDS EAST A DISTANCE OF 80.00 FEET TO A PUNCH MARK IN SIDEWALK, CONTAINING 10,591 SQUARE FEET OR 2.48 ACRES, MORE OR LESS, AS SHOWN ON ATLAS COMMERCIAL TITLE SURVEY FOR 2120 WEST END AVENUE, LLC, WELLS OPERATING PARTNERSHIP, L.P., BANK OF AMERICA, N.A. AND CHANGING INSURANCE COMPANY, PREPARED BY BARGE WAGGONER SUMNER & CANNON, INC., CERTIFIED PROFESSIONAL SURVEYOR, TENNESSEE REGISTERED LAND SURVEYOR NO. 1935, DATED NOVEMBER 13, 2002.

**RECORD DESCRIPTION**

TRACT II  
 BEING EASEMENT NO. 1 as created by and described in that certain Cross Easement Agreement dated February 9, 1982 of record in Book 630K, Page 233, said Register's Office, and being more particularly described as follows:  
 Being a rectangular 30-foot wide strip of land in Nashville, First Civil District, 24th Councilmanic District, Davidson County, Tennessee, crossing part of Lot No. 6, shown on the Plan of W.P. Ready's subdivision of John W. Love tract of record in Book 421, Page 105, said Register's Office, said strip being located between Old White Bridge Road and Briley Parkway generally parallel to Harding Road (Memphis-District Highway) and being more particularly described as follows:  
 BEGINNING at a point in the southerly right-of-way of Old White Bridge Road, said point being N 61° 39' W, 285 feet, more or less, from the northerly right-of-way of Harding Road;  
 THENCE, leaving said Old White Bridge Road generally parallel to said Harding Road, 160 feet, more or less, to the easterly right-of-way of Briley Parkway;  
 THENCE, in a northeasterly direction with said right-of-way 30 feet, more or less;  
 THENCE, leaving said Briley Parkway with a line generally parallel to said Harding Road, 130 feet, more or less, to the southerly right-of-way of Old White Bridge Road;  
 THENCE, with said right-of-way 30 feet, more or less, to the Point of Beginning.  
 Containing approximately 4,650 square feet or 0.11 acre, more or less.

**EXISTING SITE DATA**

**SITE: 458,856 SF (10.53 AC)**  
**FLOODWAY AREA: 168,749 SF (3.87 AC)**  
**EASEMENT AREA: 27,500 SF (0.63 AC)**  
**SITE A AREA: 158,725 (3.64 AC)**  
**SITE B AREA: 104,417 (2.39 AC)**

**RECORD DESCRIPTION**

TRACT III  
 BEING EASEMENT NO. 2 as created by and described in that certain Cross Easement Agreement dated February 9, 1982 of record in Book 630K, Page 233, said Register's Office, and being more particularly described as follows:  
 Being a rectangular 25-foot wide strip of land in Nashville, First Civil District, 24th Councilmanic District, Davidson County, Tennessee, crossing part of Lot No. 6, shown on the Plan of W.P. Ready's subdivision of John W. Love tract of record in Book 421, Page 105, said Register's Office, said strip being located between Old White Bridge Road and Briley Parkway generally parallel to Harding Road (Memphis-District Highway) and being more particularly described as follows:  
 BEGINNING at a point in the southerly right-of-way of Old White Bridge Road, said point being N 61° 39' W, 80 feet, more or less, N 61° 39' W, 391.18 feet from the point of intersection of said southerly right-of-way of Old White Bridge Road with the northerly right-of-way of Harding Road, said point also being S 69° 10' E, 225 feet, more or less, from the easterly right-of-way of the CSX Transportation Railroad;  
 THENCE, leaving said Old White Bridge Road generally parallel to said Harding Road, 95 feet, more or less, to the easterly right-of-way of Briley Parkway;  
 THENCE, in a northeasterly direction with said right-of-way 25 feet, more or less;  
 THENCE, leaving said Briley Parkway with a line generally parallel to said Harding Road, 80 feet, more or less, to the southerly right-of-way of Old White Bridge Road;  
 THENCE, with said right-of-way 25 feet, more or less, to the Point of Beginning.  
 Containing approximately 2,315 square feet or 0.05 acre, more or less.

**NOTES**

1. THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1 TO 10,000 PER STANDARDS OF PRACTICE ESTABLISHED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
2. BEARINGS SHOWN ARE BASED ON RECORDED SUBDIVISION PLAT (SEE PLAT REFERENCE).
3. PROPERTY IS ZONED MUM (MAKED USE LIMITED - WITHIN THE FLOOD PLAIN OVERLAY DISTRICT). ZONING INFORMATION SHOWN HEREON WAS TAKEN FROM THE ZONING REPORT SITE #33009, DATED NOVEMBER 8, 2017. ZONING-INFO, INC.
4. BASED UPON A GRAPHIC SCALE A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 47046, PANEL NO. 0351 N1 AND PANEL NO. 0238 H, DATED APRIL 5, 2017. SHADED ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. ZONE "AE" - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE REMAINDER OF SUBJECT PROPERTY LIES IN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATED VISIBLE APPURTENANCES, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND OTHER DRAWINGS. THE SURVEYOR MAKES NO WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION CONSULTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, IT IS A REQUIREMENT OF THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, FOR ANYONE WHO ENGAGES IN EXCAVATION TO NOTIFY ALL KNOWN UTILITY OWNERS NO LESS THAN THREE (3) OR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE. CALL TENNESSEE ONE CALL AT 1-800-381-1111.
6. TITLE COMMITMENT NO. ACS-88887-WAS, DATED OCTOBER 2, 2017 BY FIRST AMERICAN TITLE INSURANCE COMPANY, INC. IS PLUMBING TO THIS SURVEYOR.
7. THE BUILDING AREA SHOWN HEREON IS THE APPROXIMATE AREA OF THE BUILDING FOOTPRINT AS CALCULATED FROM FIELD LOCATED BUILDING CORNERS. NO ATTEMPT WAS MADE TO DETERMINE THE LEASABLE AREA.
8. NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK FOR THIS SURVEY.
9. POSSIBLE CHANGES IN STREET RIGHT-OF-WAY PER METRO NASHVILLE MAJOR AND COLLECTOR STREET PLAN, HARDING PIKE AS TS-M-888 CONSTRAINED STREET - ROW SET.
10. NO WETLAND DELINEATION BY OTHERS WAS APPARENT IN THE FIELD, HOWEVER THIS DOES NOT CERTIFY THE EXISTENCE OR ABSENCE OF WETLANDS, ONLY THE ABSENCE OF A DELINEATION.
11. SUGARTREE CREEK AND RICHLAND CREEK RUN UNDER THE KROGER BUILDING AND CONCRETE PARKING DECK. THE DEPICTION OF THE APPROXIMATE LOCATION OF SAID CREEK IS BASED ON SURVEY BY BWS.

**ZONING NOTE**

ACCORDING TO THE ZONING REPORT SITE #33009, DATED NOVEMBER 8, 2017 BY ZONING-INFO, INC. THE FOLLOWING APPLIES TO MUM (MAKED USE LIMITED) DISTRICT WITHIN THE FLOOD PLAIN OVERLAY DISTRICT:  
 MINIMUM YARD REQUIREMENTS:  
 STREET = 10 FEET FROM CENTERLINE OF R.O.W. OF HARDING ROAD (101 FEET EXISTING)  
 SIDE-NOISE REQUIRED REAR-30 FEET  
 MAXIMUM FARN-1.00 (0.38 EXISTING)  
 MAXIMUM ISR=0.90 (418.067 S.F.) (409.322 S.F. EXISTING)  
 MAX. BUILDING HEIGHT AT SETBACK= 45 FEET  
 SLOPE OF HEIGHT CONTROL PLANE (H) TO V= 1.5 TO 1  
 PARKING:  
 REQUIRED: 938 TOTAL SPACES  
 EXISTING: 412 SPACES (MARKED); 21 HANDICAP SPACES MARKED FOR A TOTAL OF 433 TOTAL MARKED SPACES ON SITE  
 ADDITIONAL PUBLIC PARKING WITHIN EASEMENT UNDER WHITE BRIDGE ROAD BRIDGE - 73 SPACES  
 GRAND TOTAL = 684 TOTAL SPACES FOR USE ON THE PROPERTY  
 NOTE: SINCE ZONING REQUIREMENTS MAY REQUIRE INTERPRETATION, WE REFER YOU TO THE METROPOLITAN ZONING ORDINANCE AND THE CODES DEPARTMENT.

**DEED REFERENCE**

BEING PROPERTY CONVEYED TO BMP, L.L.C. BY DEED OF RECORD IN BOOK 1331S, PAGE 634, R.O.D.C.

**PROPERTY MAP REFERENCE**

BEING PARCEL 5 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NO. 116-3.

**PLAT REFERENCE**

PLAT SHOWING BOUNDARY SURVEY OF THE GEORGE SHAW PROPERTY BY TURNER ENGINEERING COMPANY, INC., DATED JUNE 4, 1958.  
 COPY OF SURVEY OF LOTS 4 & 5 OF W.P. READY'S BY J.L. WILKINSON, DATED FEBRUARY 29, 1956, OF RECORD IN BOOK 254S, PAGE 488, R.O.D.C.

**SURVEYOR'S CERTIFICATE**

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 8, 9, 10(a), 13, 14, 15, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 30, 2017.  
 BARGE, WAGGONER, SUMNER & CANNON, INC.

DATE OF PLAT OR MAP: November 9, 2017  
 TITLE NO.: 1735  
 NAME: Cady J. Gordon  
 PRINTED NAME: Robt L. Jovan

**SCHEDULE B - SECTION II EXCEPTIONS**

10. ALL MATTERS SHOWN ON THE PLAT OF RECORD IN BOOK 625K, PAGE 785, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
11. EASEMENT FROM OMAN DEVELOPMENT COMPANY TO HARDING ROAD COMMUNITY WATER COMPANY, INC. OF RECORD IN BOOK 316S, PAGE 487, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
12. SEVER EASEMENT FROM OMAN DEVELOPMENT CO., INC. TO CITY OF NASHVILLE, OF RECORD IN BOOK 3342, PAGE 19, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
13. SEVER EASEMENT FROM OMAN DEVELOPMENT COMPANY TO CITY OF NASHVILLE, OF RECORD IN BOOK 3303, PAGE 96, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
15. PERMANENT EASEMENT CONTAINED IN DEED OF RECORD IN BOOK 8941, PAGE 118, AS CORRECTED IN BOOK 8941, PAGE 888, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
16. PERMANENT EASEMENT CONTAINED IN DEED OF RECORD IN BOOK 8941, PAGE 118, AS CORRECTED IN BOOK 8941, PAGE 888, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
17. TERMS AND PROVISIONS OF CROSS EASEMENT AGREEMENT, BY AND BETWEEN BELLE MEADE LIMITED AND WEBB/NASHVILLE VENTURES, OF RECORD IN BOOK 630K, PAGE 233, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).

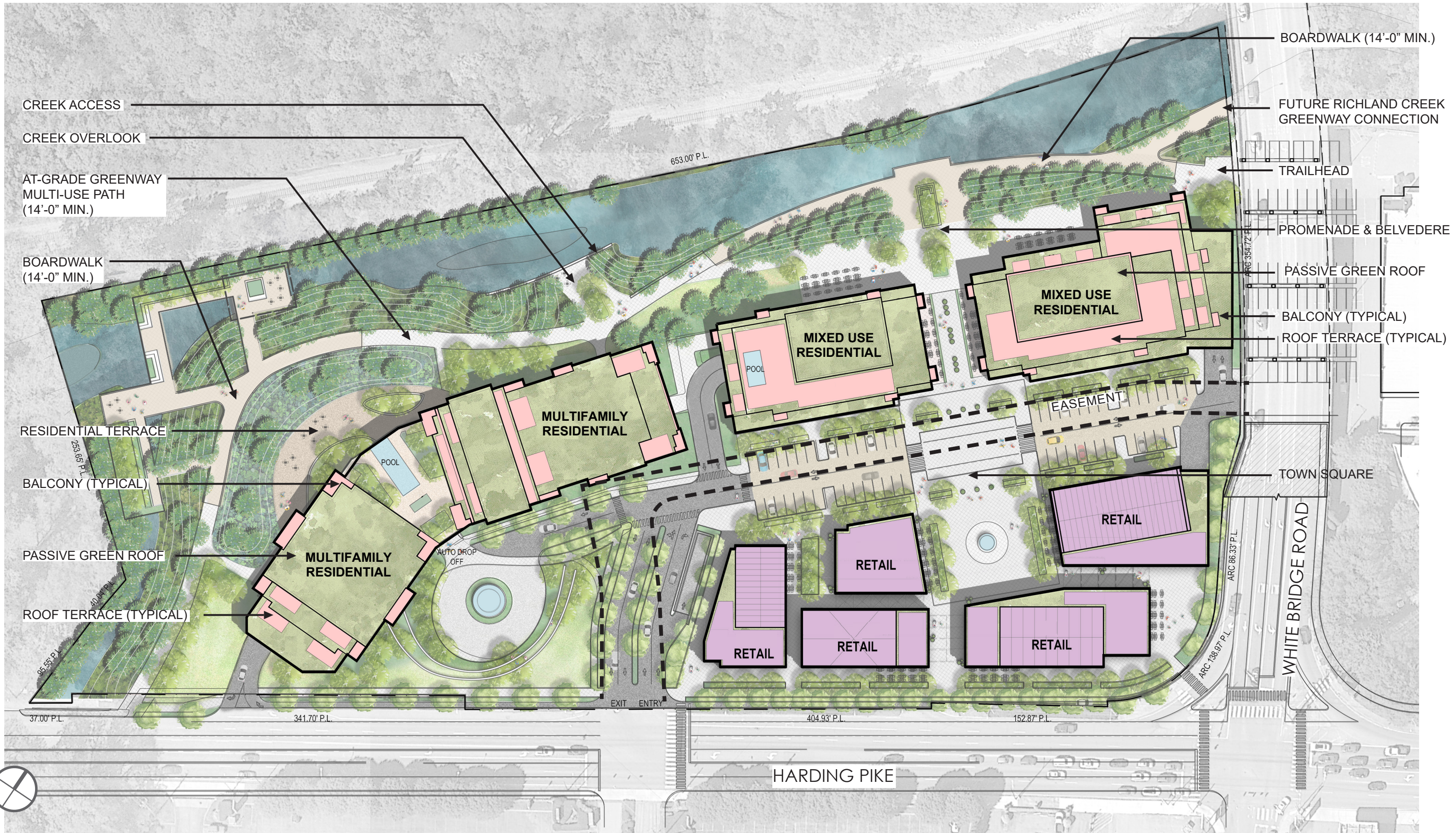
**PARKING TABLE**

MARKED HANDICAPPED PARKING = 21 SPACES  
 MARKED COMPACT PARKING = 79 SPACES  
 MARKED REGULAR PARKING = 333  
 AVAILABLE PARKING (TOP, MID AND LOWER DECKS) = 158  
 TOTAL PARKING ON SITE = 591  
 ADDITIONAL PUBLIC PARKING WITHIN EASEMENT UNDER WHITE BRIDGE ROAD BRIDGE

**POSSIBLE ENCROACHMENTS**

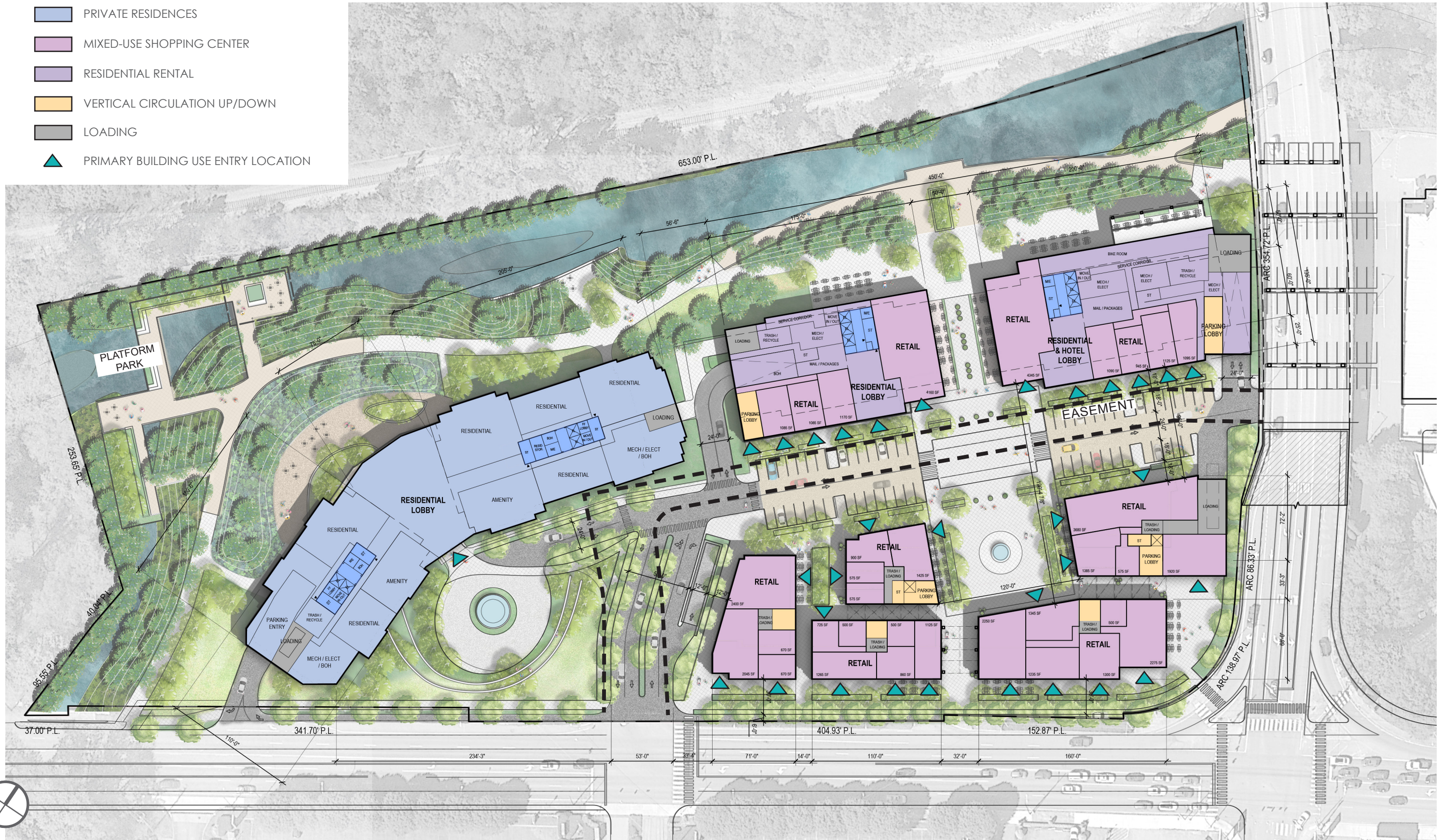
13 PARKING SPACES ARE LOCATED WITHIN RIGHT OF WAY OF HARDING ROAD.

MAPPING SYMBOLS AND CODES	LEGEND	LINE STYLES
102 4" CONCRETE (C40)	POST INDICATOR VALVE (PIV)	CONCRETE AREA
103 6" CATCH BASIN (CB)	CONCRETE MONUMENT (CM)	GRAVEL AREA
104 12" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	ASPHALT AREA
105 18" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	EDGE OF WOODS LINE
106 24" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	EASEMENT LINE
107 30" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	FENCE LINE
108 36" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	GAS LINE
109 42" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	OVERHEAD POWER LINE
110 48" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	OVERHEAD POWER LINE
111 54" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	OVERHEAD TELEPHONE LINE
112 60" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	OVERHEAD TELEPHONE LINE
113 66" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	PROPERTY LINE
114 72" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	SAFETY SEWER LINE
115 78" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	STORMWATER LINE
116 84" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	UNDERGROUND POWER LINE
117 90" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	UNDERGROUND TELEPHONE LINE
118 96" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	WATER LINE
119 102" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	WATER LINE
120 108" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	EDGE OF WATER
121 114" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
122 120" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
123 126" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
124 132" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
125 138" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
126 144" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
127 150" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
128 156" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
129 162" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
130 168" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
131 174" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
132 180" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
133 186" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
134 192" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
135 198" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
136 204" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
137 210" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
138 216" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
139 222" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
140 228" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
141 234" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
142 240" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
143 246" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
144 252" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
145 258" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
146 264" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
147 270" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
148 276" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
149 282" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
150 288" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
151 294" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
152 300" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
153 306" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
154 312" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
155 318" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
156 324" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
157 330" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
158 336" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
159 342" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
160 348" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
161 354" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
162 360" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
163 366" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
164 372" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
165 378" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
166 384" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
167 390" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
168 396" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
169 402" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
170 408" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
171 414" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
172 420" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
173 426" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
174 432" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
175 438" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
176 444" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
177 450" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
178 456" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
179 462" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
180 468" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
181 474" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
182 480" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
183 486" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
184 492" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
185 498" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
186 504" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
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190 528" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
191 534" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
192 540" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
193 546" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
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195 558" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
196 564" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
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198 576" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
199 582" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
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201 594" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
202 600" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
203 606" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
204 612" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
205 618" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
206 624" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
207 630" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
208 636" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
209 642" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
210 648" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
211 654" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
212 660" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
213 666" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
214 672" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
215 678" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
216 684" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
217 690" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
218 696" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
219 702" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
220 708" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
221 714" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
222 720" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
223 726" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
224 732" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
225 738" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
226 744" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
227 750" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
228 756" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
229 762" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
230 768" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
231 774" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
232 780" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
233 786" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
234 792" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
235 798" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
236 804" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
237 810" CATCH BASIN (CB)	CONCRETE MONUMENT OLD (CMO)	
238 816" CATCH BASIN (CB)	CONCRETE MONUMENT NEW (CMN)	
239		



# SITE PLAN

- PRIVATE RESIDENCES
- MIXED-USE SHOPPING CENTER
- RESIDENTIAL RENTAL
- VERTICAL CIRCULATION UP/DOWN
- LOADING
- PRIMARY BUILDING USE ENTRY LOCATION



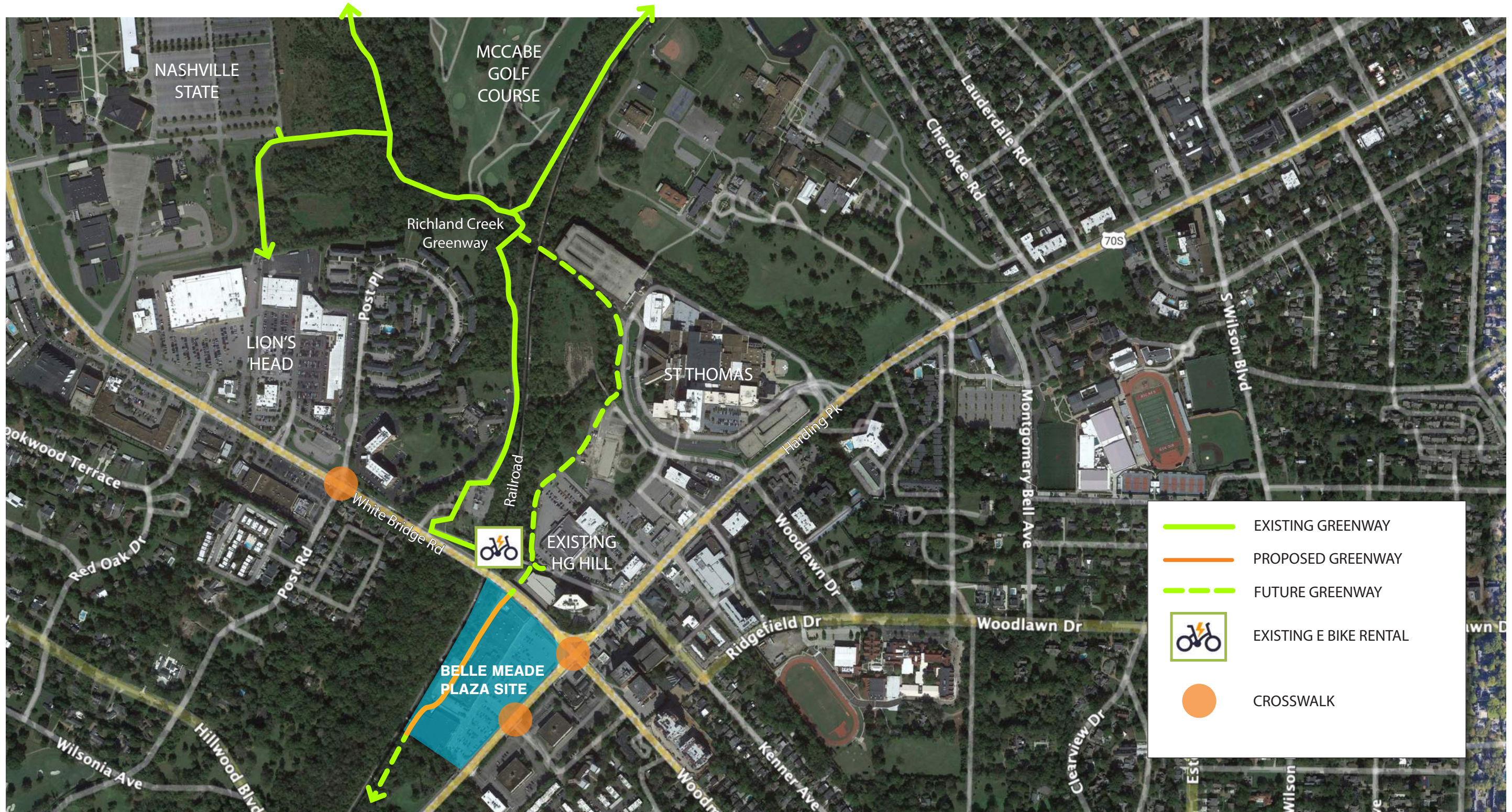
# GROUND PLAN



# PARKING PLAN

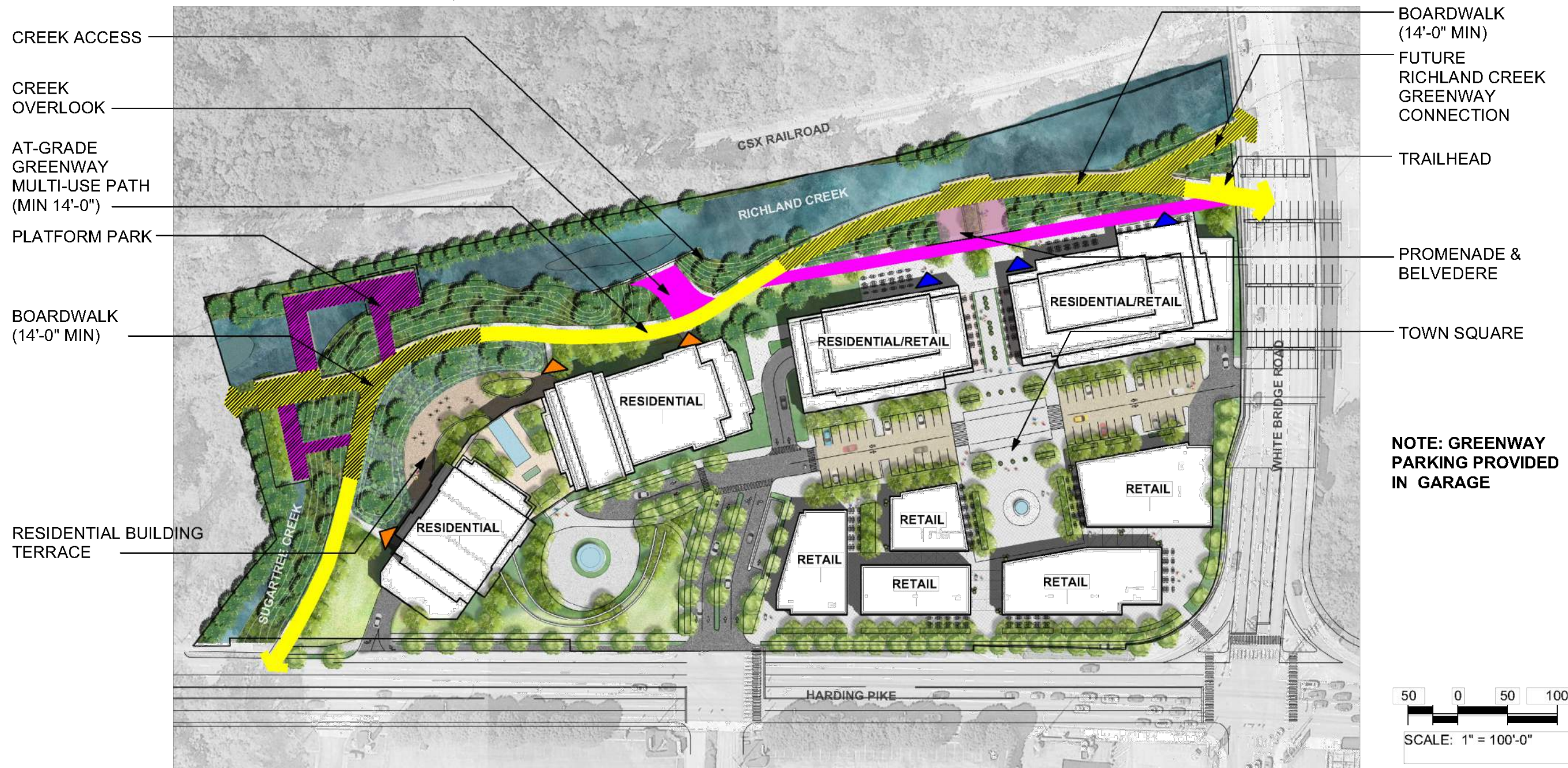


# SITE CIRCULATION



# GREENWAY CONNECTIVITY

**GREENWAY LENGTH 2,040 LINEAR FEET**



**GREENWAY SITE DIAGRAM**





# 60%

**OF SITE DEDICATED TO OPEN SPACE**

**INCLUDES**

- HABITAT RESTORATION AREAS
- ELEVATED OVERLOOKS/BOARDWALKS
- OPEN SPACE (PLAZAS, SIDEWALKS, ETC)
- TENANT SPACE (i.e. OUTDOOR DINING)



## OPEN SPACE CALCULATION



≈ 80%

OF COMBINED KROGER AND  
PARKING GARAGE STRUCTURE  
REMOVED

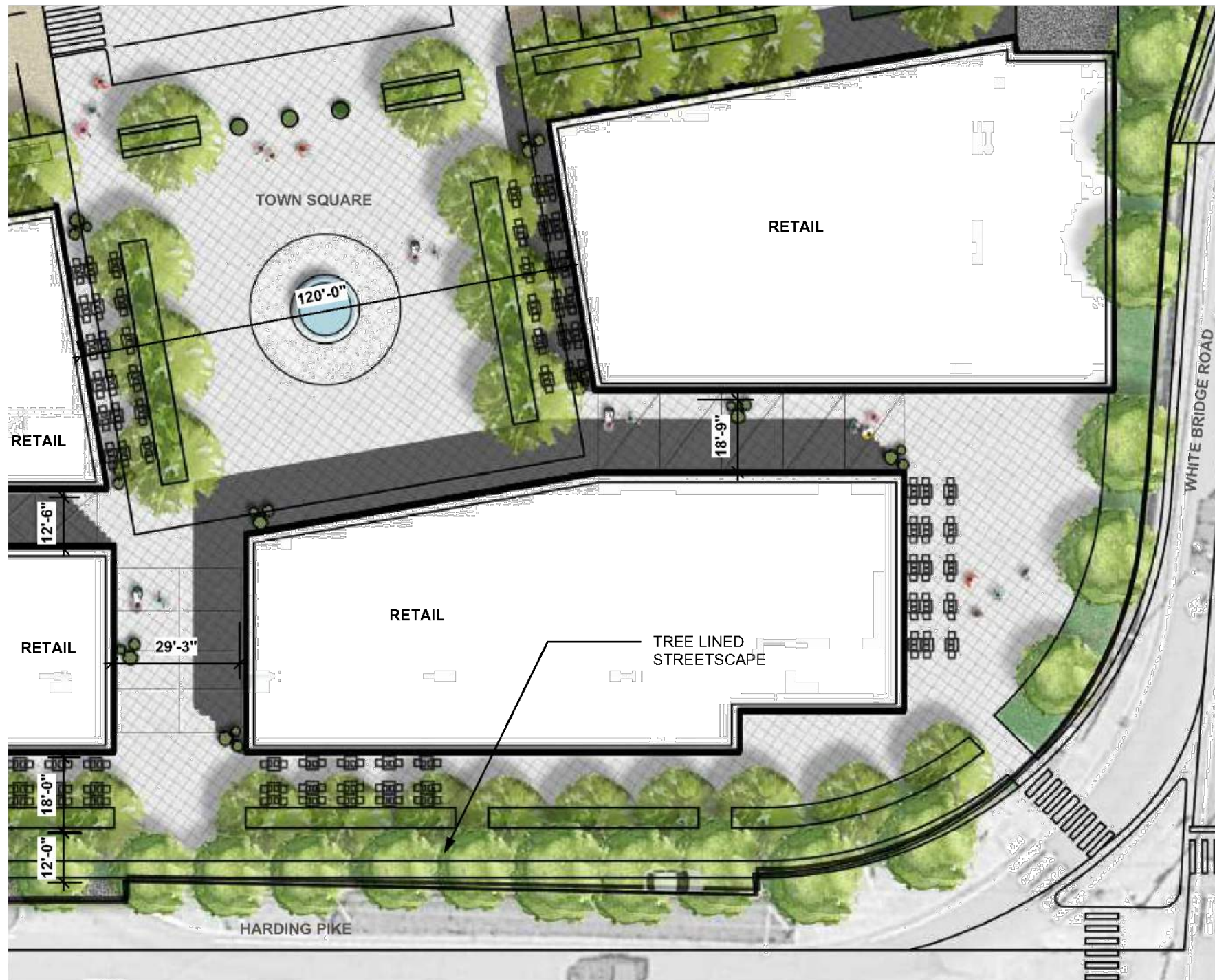
**PLATFORM PARK**

- VISIBLE ACCESSIBILITY TO CREEK
- TERMINUS/DESTINATION TO GREENWAY
- GATHERINGS
- WELLNESS
- ENVIRONMENTAL EDUCATION
- OVERLOOK
- NEW VANTAGE POINT

PORTION OF GROCERY STRUCTURE TO REMAIN
  PORTION OF GROCERY & PARKING GARAGE STRUCTURES REMOVED



PLATFORM PARK OVERLAY



REPRESENTATIVE IMAGE OF PUBLIC REALM



REPRESENTATIVE IMAGE OF PUBLIC REALM

NOTE: PAVEMENT IS A COMBINATION OF DECORATIVE CONCRETE AND CONCRETE PAVERS



# ENLARGED RETAIL SITE PLAN



# INSPIRATION IMAGES LANDSCAPE



VIEW OF EXISTING CONDITIONS AT EDGE AND CREEK



VIEW OF GREENWAY AT BELVEDERE TERMINUS



VIEW OF EXISTING CONDITIONS AT EDGE OF EXISTING PARKING GARAGE



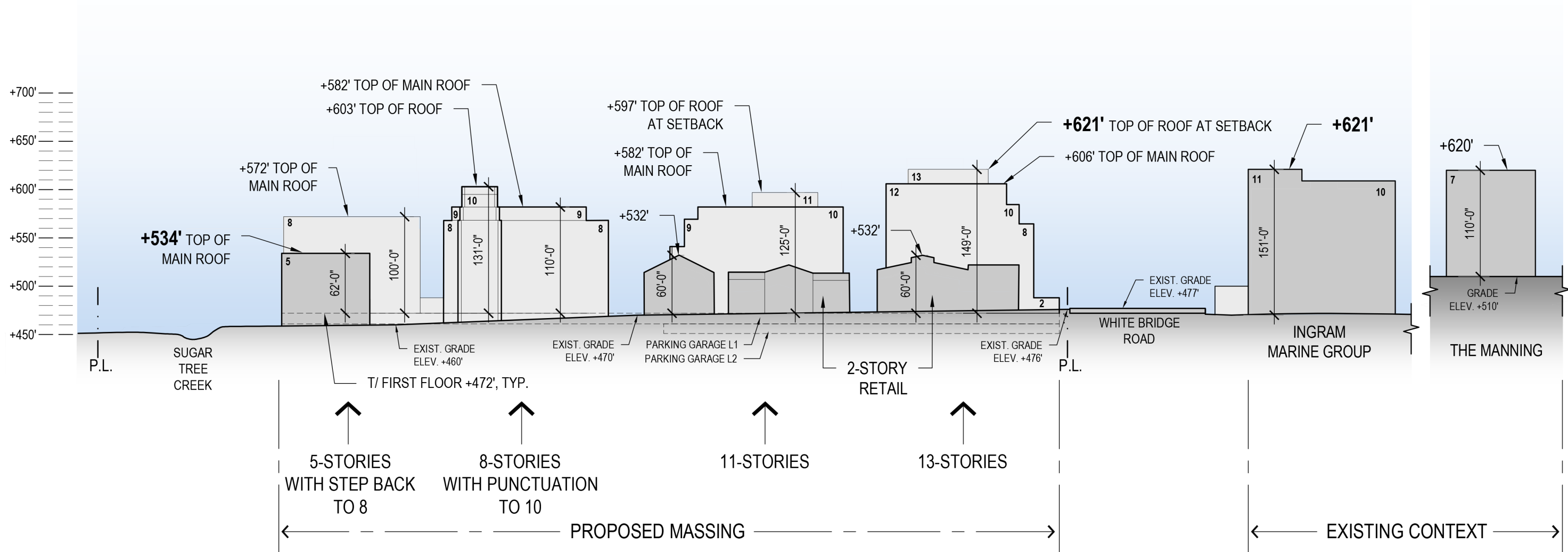
VIEW OF GREENWAY AT GREENWAY OVERLOOK

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT - PRELIMINARY SP 2023SP-018-001

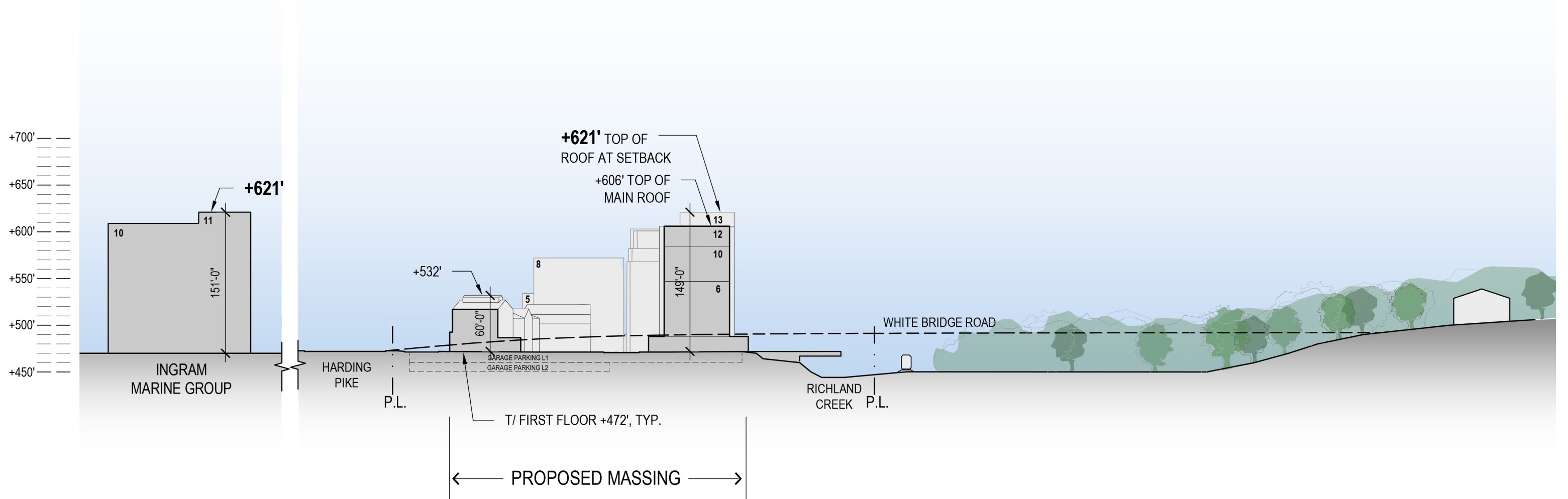




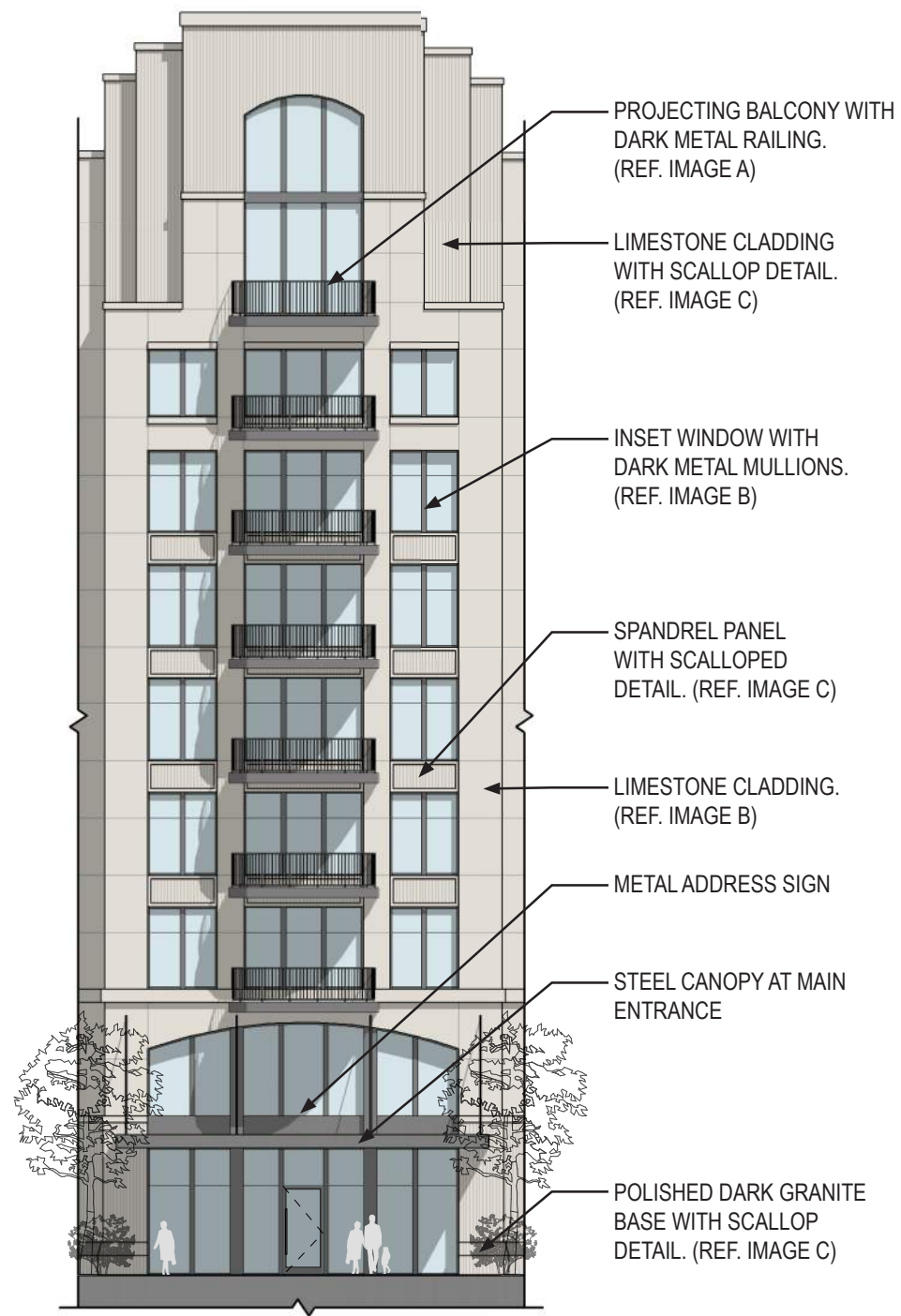
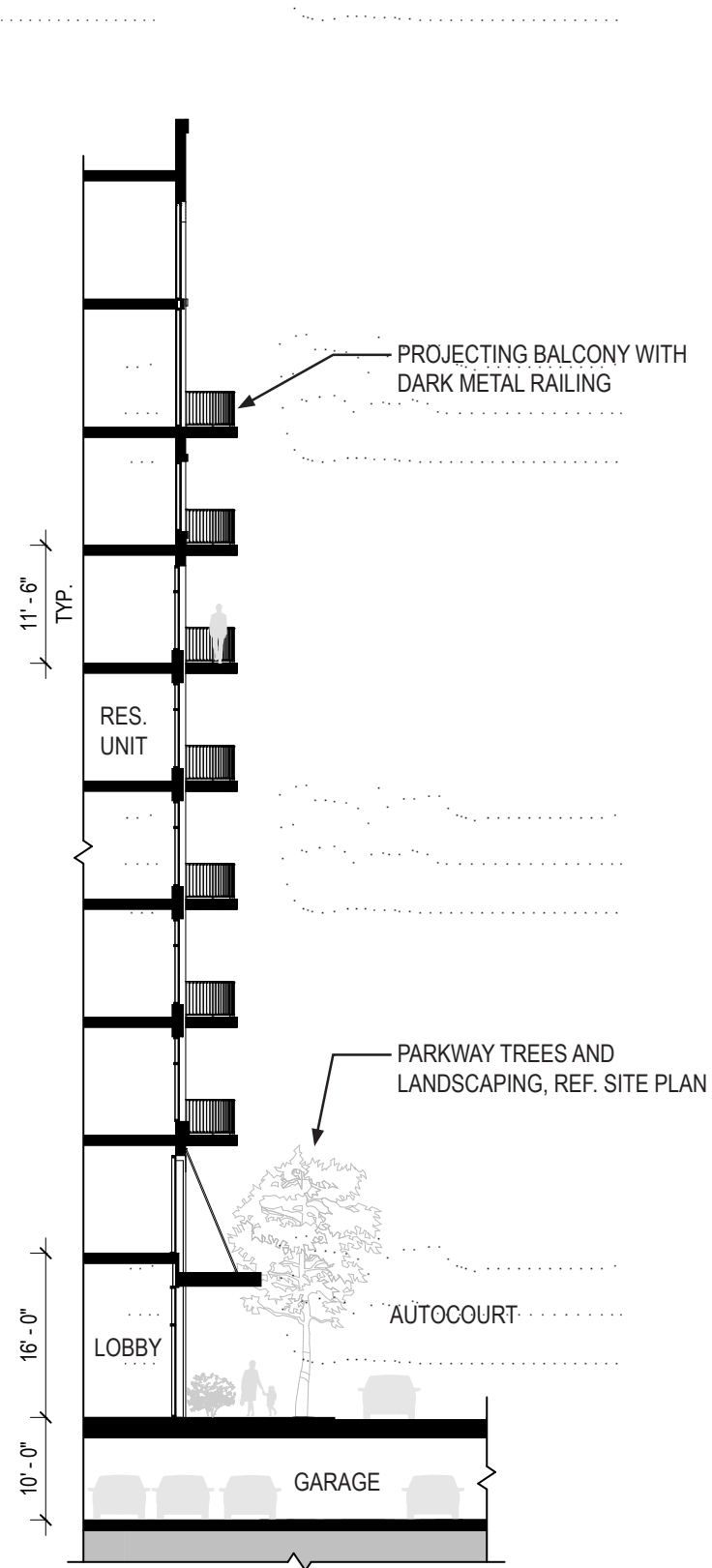
VIEW OF GREENWAY CREEKSIDE BOARDWALK



# CONTEXTUAL HEIGHT DIAGRAM - WHITE BRIDGE ROAD TO SUGAR TREE CREEK

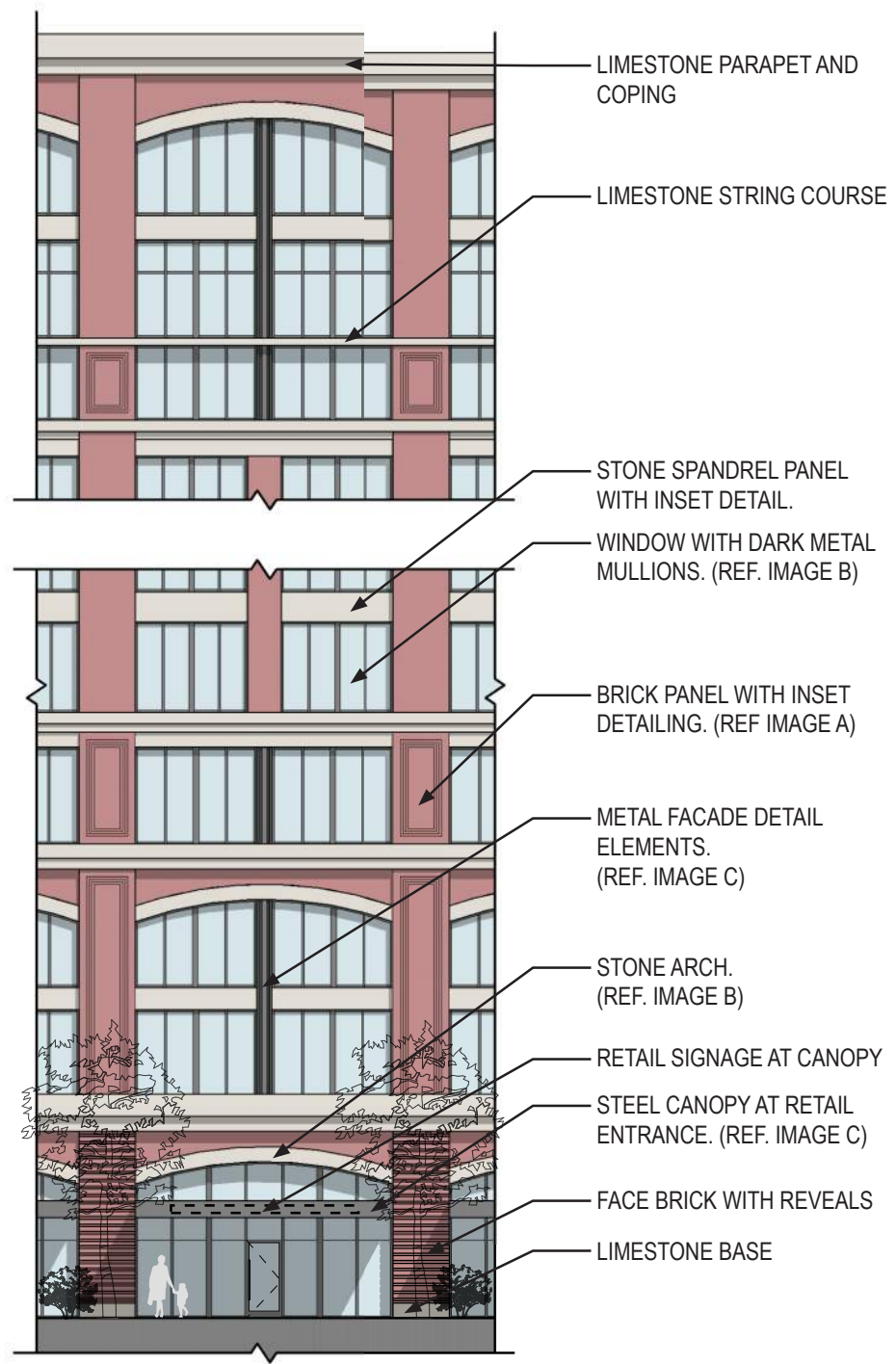
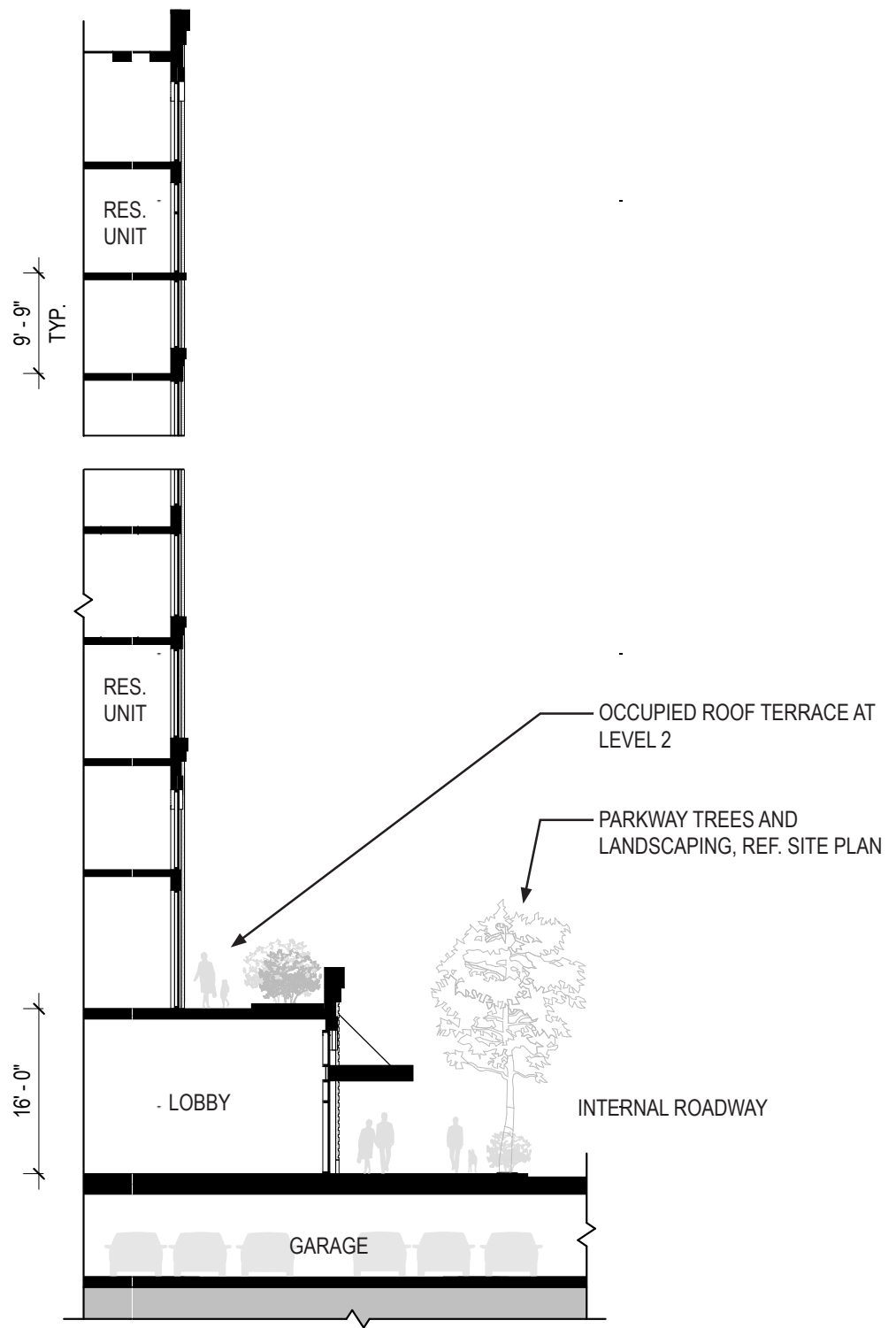


# CONTEXTUAL HEIGHT DIAGRAM - HARDING ROAD TO RICHLAND CREEK



MATERIAL REFERENCE IMAGES

# FACADE DIAGRAM - RESIDENTIAL BUILDINGS A & B



MATERIAL REFERENCE IMAGES

# FACADE DIAGRAM - RESIDENTIAL BUILDINGS C & D



MATERIAL REFERENCE IMAGES

# FACADE DIAGRAM - RETAIL BUILDINGS



## PEDESTRIAN VIEW OF RETAIL

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT - PRELIMINARY SP 2023SP-018-001





## PEDESTRIAN VIEW OF RETAIL

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT - PRELIMINARY SP 2023SP-018-001



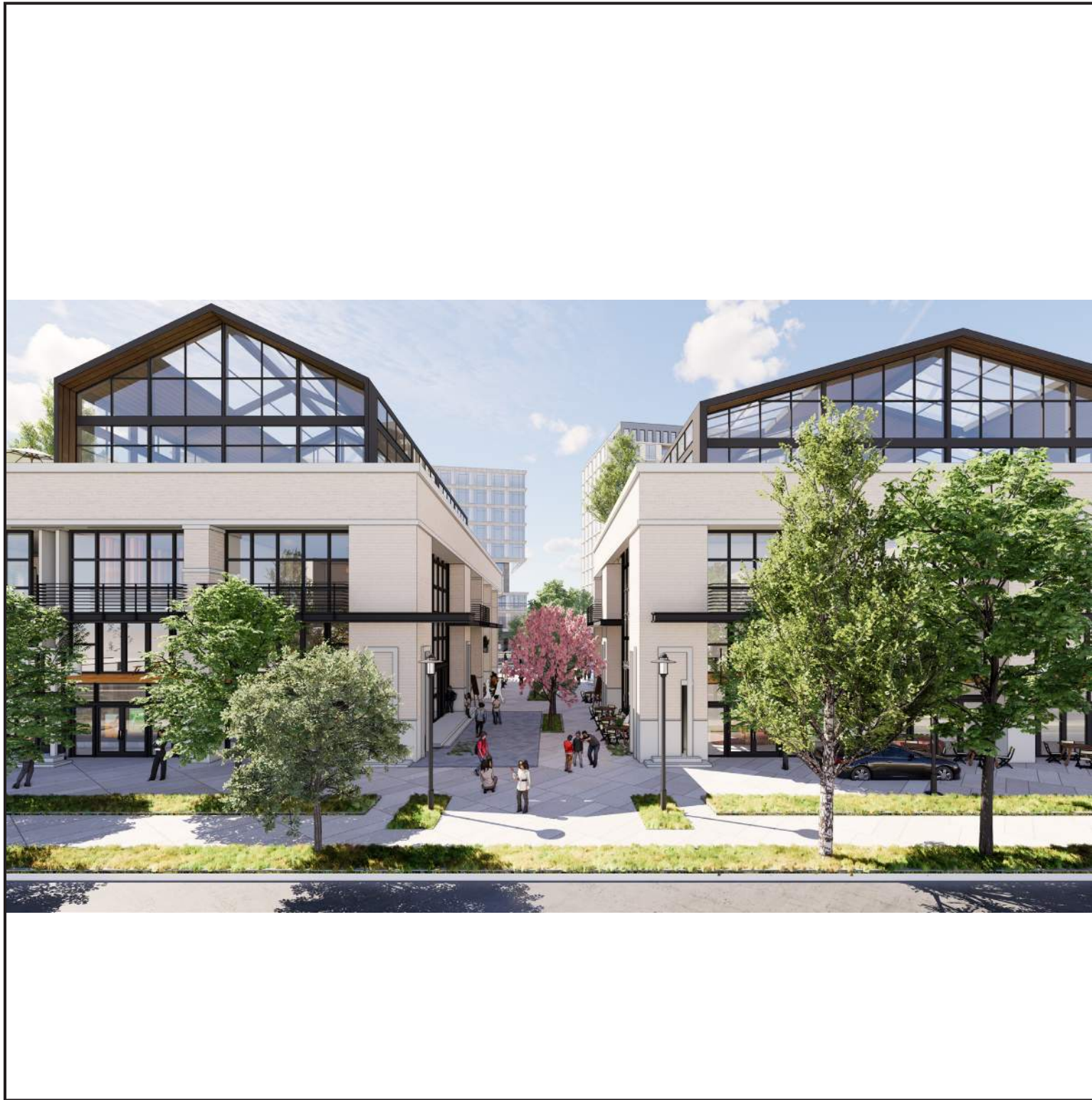




# PEDESTRIAN VIEW OF TOWN CENTER

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT - PRELIMINARY SP 2023SP-018-001





VIEW OF TOWN CENTER



VIEW OF TOWN CENTER



### INFRASTRUCTURE IMPROVEMENTS

- RICHLAND AND SUGAR TREE CREEK RESTORATION
- NEW SIDEWALK AND STREET TREES FRONTING HARDING PIKE
- EXISTING CURB CUT ELIMINATED ADJACENT TO INTERSECTION
- ON-SITE BIORETENTION
- ON-SITE TRAFFIC CALMING

### OPEN SPACE IMPROVEMENTS

- **6.45** ACRES PUBLICLY ACCESSIBLE ON-SITE OPEN SPACE
- **3.80** ACRES GREEN SPACE INCLUDING:
  - NEW PUBLICLY ACCESSIBLE CREEK TRAIL AND BOARDWALK
  - HABITAT AND FLOODWAY RESTORATION
  - DAYLIGHTING RICHLAND AND SUGAR TREE CREEK
  - ELEVATED PLATFORM PARK
- **1.5** ACRES PATHS, YARDS AND GREENSPACE
- **0.60** ACRE TOWN CENTER & PASEO
- 0.47 ACRE TENANT OPEN SPACE

### TOWN CENTER

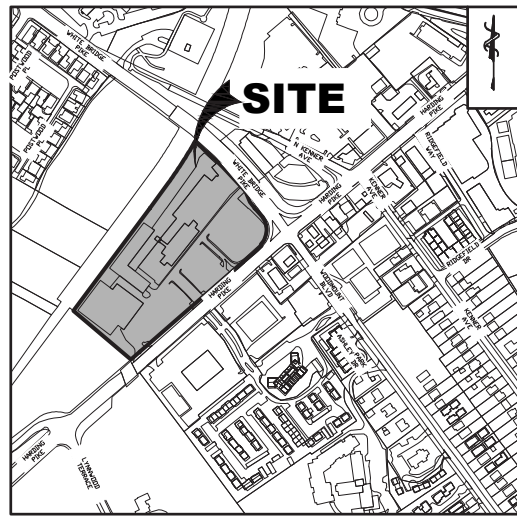
- INTERACTIVE WATER FEATURE
- SHADED SEATING AREAS
- PUBLIC BIKE RACKS
- PUBLIC BIKE REPAIR / AIR PUMP STATION
- PUBLIC HYDRATION STATIONS
- DEDICATED DOG PARK (OPEN TO THE PUBLIC)

### SUSTAINABILITY

- SEEKING LEED NEIGHBORHOOD DEVELOPMENT AND WELL CERTIFICATION
- EXCEED ENERGY CODE BY A MINIMUM **10%**
- REDUCE INDOOR WATER USAGE BY MINIMUM **25%**
- DIVERT CONSTRUCTION WASTE FROM LANDFILL BY **80%**
- SIGNIFICANT BIKE PARKING
- ELECTRIC CAR CHARGING

## PUBLIC BENEFITS





VICINITY MAP  
NOT TO SCALE

PROPOSED SITE TRAILS AND ELEVATED BOARDWALKS, TYP. PORTIONS OF EXISTING KROGER SLAB TO BE RETAINED FOR PUBLIC PARK/TRAILS. SEE CREEK TRAIL PLAN FOR ADDITIONAL DETAILS.

RICHLAND CREEK STREAM CHANNEL FLOW LINE

N 32°16'26" E 653.00'(R)  
N 36°55'59" E 653.18'(M)

ZONE 1  
STREAM BUFFER, TYP.

ZONE 2  
STREAM BUFFER, TYP.

EXISTING SEWER EASEMENT TO REMAIN

FLOODWAY LINE, TYP.

RICHLAND CREEK  
STREAM CHANNEL  
FLOW LINE

PROPOSED FIRE  
ACCESS AREAS.

DASHED LINE  
DENOTES EXTENTS  
OF UNDERGROUND  
PARKING GARAGE

HILL H.G. REALTY CO.  
0 HARDING PIKE,  
NASHVILLE, TN 37205  
APN: 11603000400

N 58°31'53" W 253.65'(M)  
N 63°09'34" W 253.50'(R)

PROPOSED MULTI-STORY  
RESIDENTIAL BLDG

100-YEAR FLOODPLAIN  
LINE, TYP.

PROPOSED WATER  
SERVICE, TYP.

500-YEAR FLOODPLAIN  
LINE, TYP.

FOUND 1" IRON PIPE  
IN CONCRETE

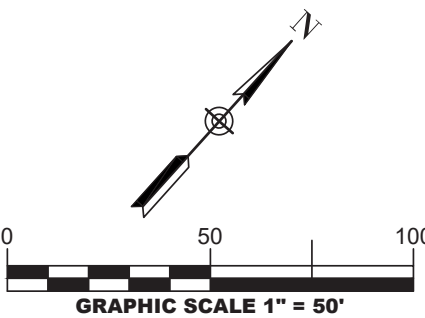
FOUND 1/2" REBAR  
IN CONCRETE

SET 5/8" REBAR W/  
"SHIRLEY"  
CREEK STREAM  
CHANNEL  
FLOW LINE

FOUND PI  
S-23

10' WATER MAIN  
EASEMENT TO BE  
ABANDONED

PARKING GARAGE  
ENTRY/EXIT



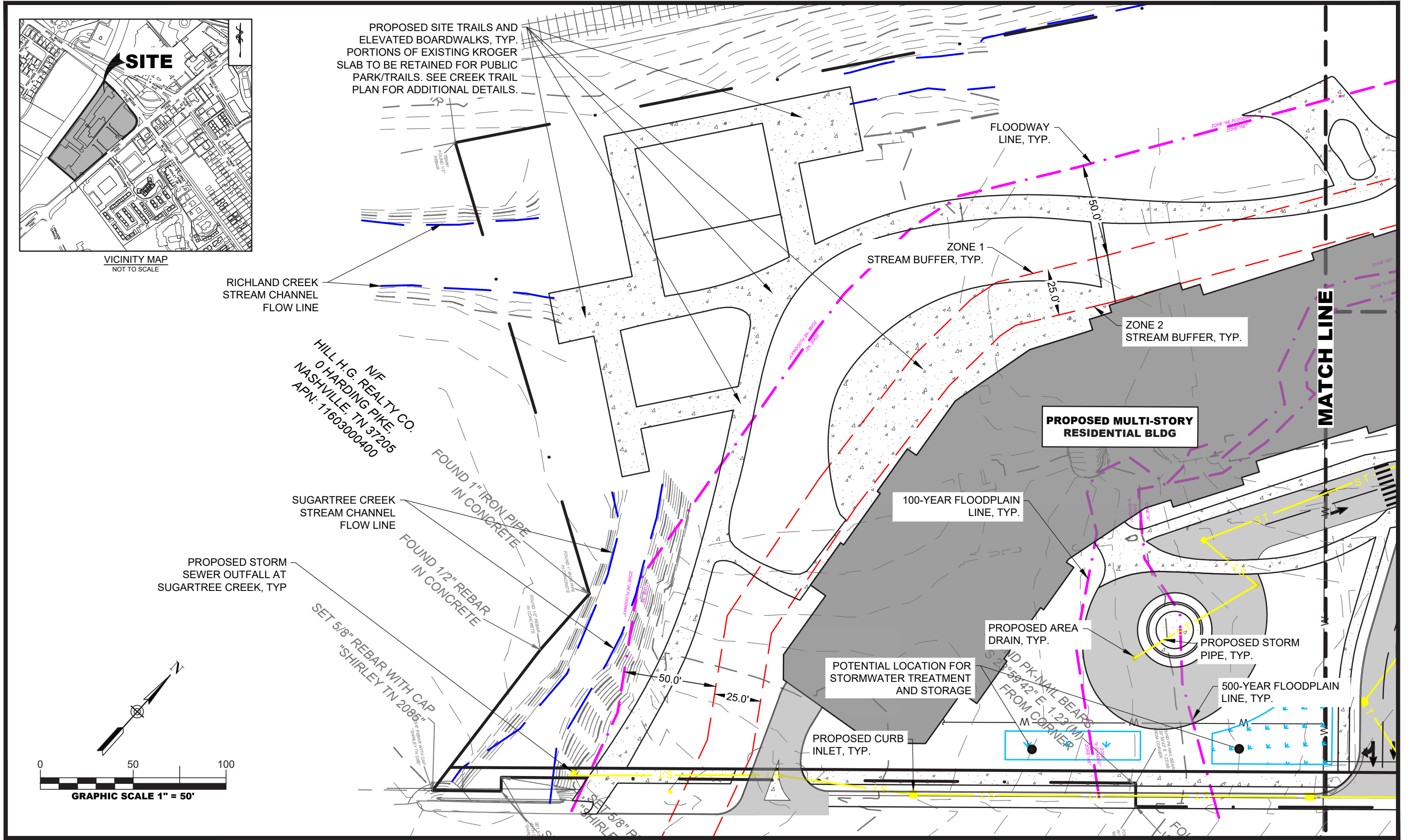
# ENLARGED CIVIL PLAN & SITE UTILITIES





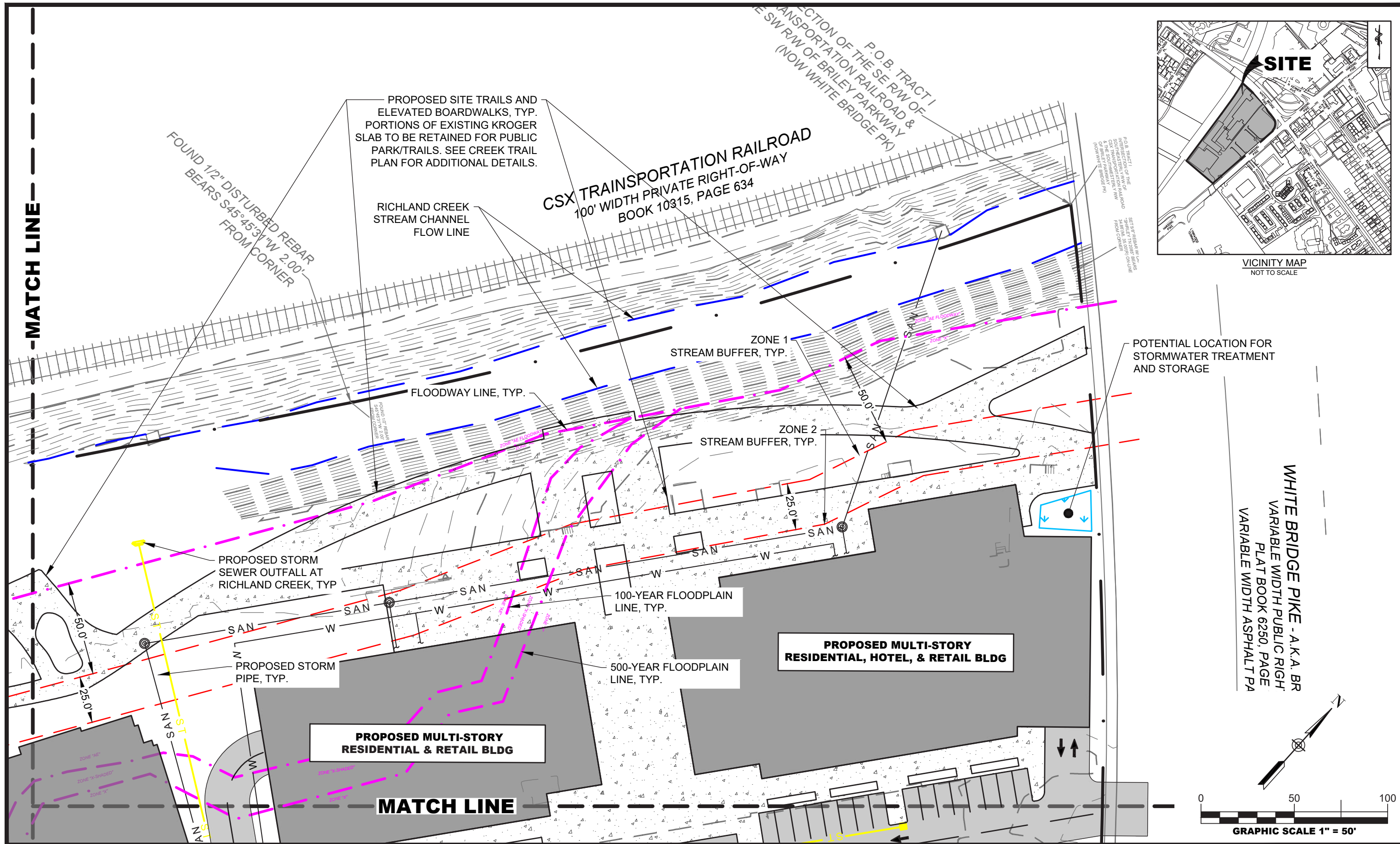






# ENLARGED CIVIL STORMWATER & GRADING





# ENLARGED CIVIL STORMWATER & GRADING