

Proposal No. 2023M-014EN-001



RICHL-3

QP ID: ST

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
06/06/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Morrison & Fuson Ins Agy, Inc 506 Henslee Drive Dickson, TN 37055 Stephanie Fuson Scott 615-446-8087	CONTACT NAME: Stephanie Fuson Scott PHONE (A/C, No, Ext): 615-446-8087 FAX (A/C, No): 615-446-4617 E-MAIL ADDRESS: sscott@fusonins.com
INSURED 714-730 Main Street OZ, LLC Attn: Chris Barnhizer PO Box 120855 Nashville, TN 37212	INSURER(S) AFFORDING COVERAGE INSURER A: Auto-Owners Insurance Company NAIC # 18988 INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR (19)	TYPE OF INSURANCE	ADDITIONAL SUBROGATION (INSR, WVD)	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> INC. JECT <input type="checkbox"/> LOC OTHER:	X	03530448	10/25/2022	10/25/2023	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMPROP AGG \$ 4,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0		54-136516-00	10/25/2022	10/25/2023	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A			<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Certificate holder is named as Additional Insured as respects to the General Liability policy per form CG2010 0413 as required by written contract. 30 Days written notice of cancellation applies.

CERTIFICATE HOLDER METROG2 Metro Government of Nashville & Davidson County; Metro Legal c/o Insurance & Safety Division 222 3rd Ave. North, Suite 501 Nashville, TN 37201	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Stephanie Fuson Scott
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LICENSE AGREEMENT FOR PRIVATE ENCROACHMENTS
INTO THE PUBLIC RIGHT OF WAY

714-730 Main St. OZ, LLC

I/We, Chris Barnhizer, in consideration of the Resolution No. _____, to construct, maintain, install and/or operate an encroachment into, onto, over, or under the public right of way located at in Nashville, Davidson County, Tennessee, do hereby, for myself, my agents, customers, and assigns, waive and release and hold harmless The Metropolitan Government of Nashville and Davidson County, its agents, employees, and assigns from any and all claims, rights, or demands for damages that may arise from my/our use, construction and/or maintenance of the encroachment, to wit: (SEE ATTACHED DESCRIPTION OF ENCROACHMENT). I/We hereby certify to the Metropolitan Government of Nashville and Davidson County that I/We have executed a bond or liability insurance policy in such amount as agreed upon by the Director of Public Works and the Metropolitan Attorney, and in the form approved by the Metropolitan Attorney (per Metropolitan Code Section 38-1-1), which operates to indemnify and save The Metropolitan Government of Nashville and Davidson County harmless from all claims or demands that may result to persons or property by reason of the construction, operations or maintenance of the encroachment. I/We further agree that my/our obligations hereunder may not be assigned except upon approval of the Director of Public Works and the Metropolitan Attorney. I/We further acknowledge that any action that results in a failure to maintain said bond or liability insurance for the protection of The Metropolitan Government of Nashville and Davidson County shall operate to the granting of a lien to The Metropolitan Government of Nashville and Davidson County in the amount of the last effective bond/insurance policy. Said insurance or bond may not be cancelable or expirable except on 30 days notice to the Director of Public Works.

I/We further recognize that the license granted hereby is revocable by The Metropolitan Government upon recommendation of the Director of Public Works and approval by resolution of the Metropolitan County Council if it is determined to be necessary to the public welfare and convenience. In the event the Metropolitan Government revokes this license as contemplated by this paragraph, licensee will not be entitled to any compensation of any kind. This license shall also be strictly subject to the right of way easement owned by The Metropolitan Government. I/We agree to maintain, construct and use the encroachment in such a way as will not interfere with the rights and duties of the Metropolitan Government

as owner of the right of way. Said interference shall be additional grounds for revocation of the license for encroachment. I/We agree to pay the cost of construction, maintenance, use, as well as relocations cost of said encroachment. Licensee's failure to complete construction of the contemplated encroachment within 36 months of the date of approval by the Metropolitan Council will cause this license to terminate automatically. In the event the encroachment contemplated by this license is substantially destroyed, this license shall terminate unless fully restored by licensee within 36 months from the date of such destruction. In the event this license is revoked or terminated for any reason, licensee shall restore all public property to the condition obtaining at the time the license became effective at licensee's sole cost and expense.

DATE: 06/06/23


(Owner of Property)

730 Main Street
(Address of Property)

Nashville, TN 37206
(City and State)

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Sworn to and subscribed before

Me this 19th day of May, 2023


(NOTARY PUBLIC)

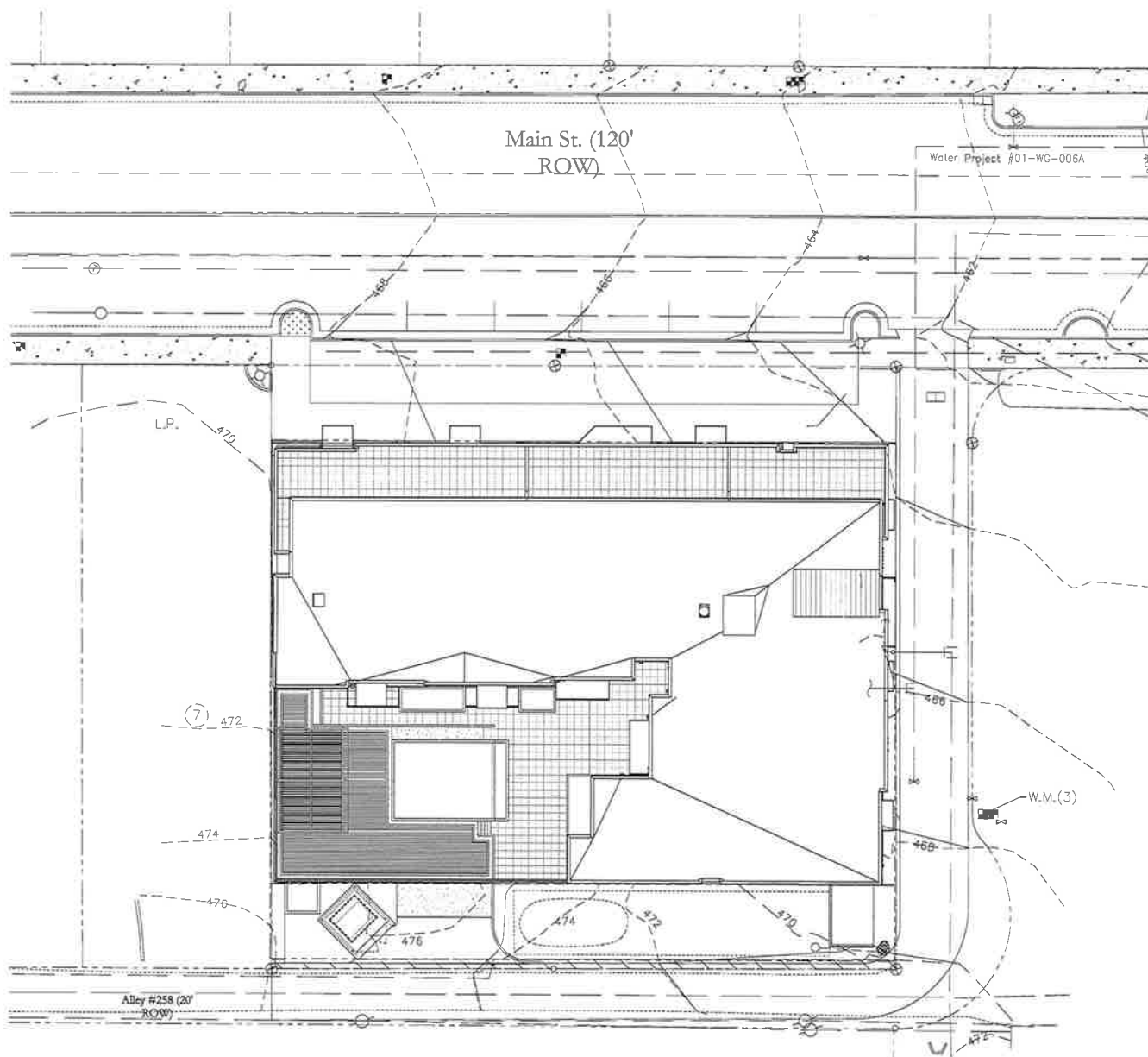
My Commission Expires: Sep. 2, 2023





ARCHITECTURAL SITE PLAN





- SITE NOTES**
1. THE ARCHITECTURAL NOTEWORTHY SITE PLAN GRAPHICALLY INDICATES THE APPROXIMATE LOCATION OF THE IMPROVEMENTS REFER TO CIVIL ENGINEER PLANS FOR ALL HORIZONTAL DIMENSIONAL CONTROL.
 2. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE DIMENSIONS, EXISTING GRADERS AND UTILITIES. THESE LOCATIONS AND FEATURES SHALL BE MARKED ON THE PROJECT SITE AND SHALL ADHERE TO THE OWNER AND ARCHITECT OF ANY INFORMATION MODIFICATIONS PRIOR TO THE START OF ANY WORK.
 3. THE GENERAL CONTRACTOR SHALL COORDINATE FINAL GRADING AND FINISH AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS INCLUDING EXTERIOR DOORS AT ALL CONDITIONS.
 4. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE) TO AND COORDINATE THE EXTENSION TO THE BUILDING. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. SHALL BE LOCATED INDIVIDUALLY OUTSIDE AREA.
 5. ALL INFORMATION RELATED TO THE SITE PROPERTY HAS BEEN PROVIDED BY THE OWNER'S SURVEYOR AND CIVIL ENGINEER.
 6. REFER TO BUILDING PLANS FOR LIGHT ADDRESSING SCHEME.
 7. REFER TO CIVIL DRAWINGS FOR LOCATION OF SITE UTILITIES, EASEMENTS AND RIGHTS OF WAY.
 8. REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING TREES TO BE MAINTAINED AND PROTECTION REQUIRED FOR THESE.
 9. REFER TO LANDSCAPE DRAWINGS FOR ALL HARDSCAPE AND LANDSCAPE ITEMS.
 10. REFER TO LANDSCAPE DRAWINGS FOR ALL SITE FENCES, GATES, WALLS AND OTHER SITE AMENITIES.
 11. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING ACCESSIBLE ROUTES TO AND FROM BUILDING.
 12. GUARD RAILS SHALL BE LOCATED ALONG OPEN RISED WALKING SURFACES AND STAIRWAYS THAT ARE 30" ABOVE A FLOOR OR GRADE BELOW.
 13. WHEN EXCAVATING FOR BUILDINGS OR EXCAVATING ACCESSORY THEREIN, SUCH EXCAVATIONS SHALL BE MADE SAFE TO PREVENT ANY DANGER TO LIFE AND PROPERTY.
 14. EXCAVATIONS FOR ANY PURPOSE SHALL NOT EXCEED WITHIN 4 FT. OF THE ANGLE OF REPOSE OR NATURAL SLOPE OF THE SOIL UNDER ANY FOOTING OR FOUNDATION, UNLESS BUSH FOOTING OR FOUNDATION IS FIRST PROPERLY UNDERPINNED OR PROTECTED AGAINST SETTLEMENT.
 15. FOUNDATIONS SHALL BE BUILT ON UNSETTLED SOIL OR PROPERLY COMPACTED FILL MATERIAL IN ACCORDANCE WITH SOIL ANALYSIS PROVIDED BY OWNER.
 16. THE BOTTOM OF FOUNDATIONS SHALL EXTEND BELOW THE DEPTH OF FROST PENETRATION, BUT NO LESS THAN 12 INCHES BELOW FINISH GRADE.
 17. FOUNDATION WALLS OR BEAMS SHALL EXTEND ABOVE THE FINISHED GRADE A MINIMUM OF 4 INCHES THREE SIDWAYS VERTICAL IN USE AND A MINIMUM OF 8 INCHES ELSEWHERE.
 18. ALL LANDSCAPE FEATURES, LANDSCAPE FEATURE DESIGN ACCESSORIES, AND LANDSCAPE FEATURE ORNAMENTAL REQUIREMENTS ARE THE COMPLETE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT AND OWNER.
 19. REFER TO CIVIL DRAWINGS FOR BUILDING ELEVATION LEVEL ABOVE SEA LEVEL.



No: Date: Revision:

Client Contact: Chuck Nease
 (615) 200-3000 / 3000

8100 Contract: Hutter Circle
 5000 Project Number: 22000 00

South Gate Studio, LLC
 10000 10000
 Nashville, TN 37200

714 MAIN ST

714 MAIN STREET
 NASHVILLE, TN 37206

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

Drawing:
 ARCHITECTURAL SITE
 PLAN

02/27/2023
 DESIGN DEVELOPMENT
 100% SET

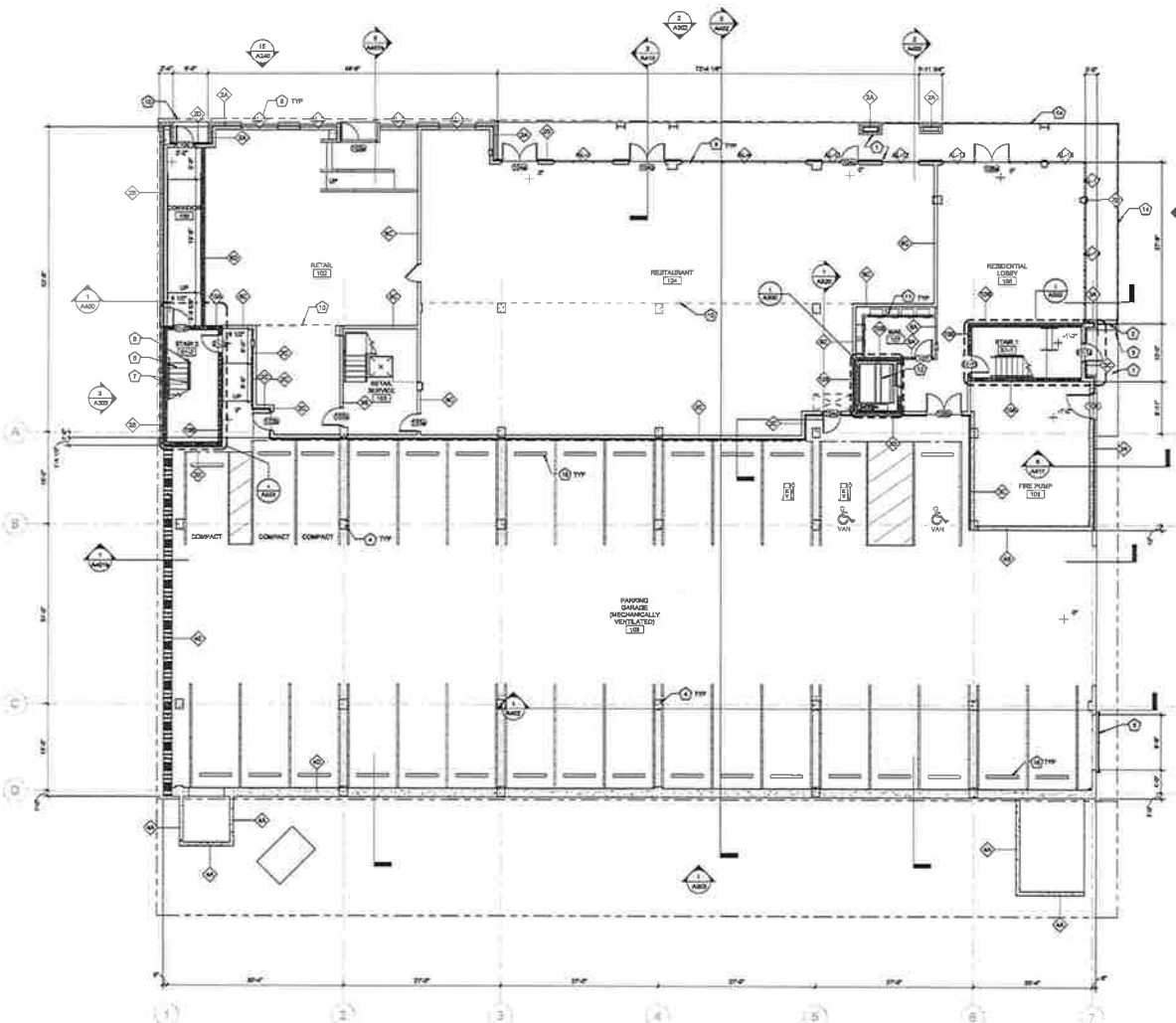
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1 ARCHITECTURAL SITE PLAN
 3/27 = 1'-0"

3/27/2023 2:55:55 PM

3/2/2023 2:56:06 PM

1 1ST FLOOR PLAN
1/8" = 1'-0"



PLAN LEGEND

- 3-HOUR RATED WALL
- 2-HOUR RATED WALL
- 1-HOUR RATED WALL
- 3/4-HOUR RATED WALL / SMOKE PARTITION
- (XXX) DOOR NUMBER - REFER TO SHEET AND FOR DOOR SCHEDULE
- (W) WINDOW NUMBER - REFER TO SHEET AND FOR WINDOW SCHEDULE
- (XX) STOREFRONT NUMBER - REFER TO SHEET AND FOR STOREFRONT TYPE
- (WALL) WALL TYPE - REFER TO SHEET A200
- (UNIT) UNIT TYPE
- (DET) DETAIL NUMBER
- (SHEET) SHEET NUMBER
- (ROOM) ROOM NAME
- (XXX) ROOM NUMBER

- PLAN GENERAL NOTES**
1. ALL EXTERIOR DIMENSIONS ARE SHOWN FACE OF STUDY FACE OF WALL OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR DIMENSIONS ARE SHOWN FACE OF STUDY FACE OF WALL OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 3. DIMENSIONS & NOTES NOTED AS BEING DERIVED FROM OUTDOORLY PROVIDED FACE, INCLUDING BUT NOT LIMITED TO THE FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 4. REFER TO CIVIL DRAWINGS FOR ACTUAL BUILDING ELEVATION LEVELS RELATIVE TO BENCHMARK.
 5. REFER TO STRUCTURAL BEAR / FOUNDATION PLAN FOR CLARIFICATION OF BEAR, BEAR LEAVEOUT AND CURB DIMENSIONS.
 6. SEE SHEET A200 FOR EXTERIOR & INTERIOR WALL TYPES AND CONSTRUCTION.
 7. ORIENTATION OF THE BUILDING PLAN ILLUSTRATED MAY BE DIFFERENT THAN THE ORIENTATION OF THE SMALL-SCALE PLANS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 8. ALL WIRE, CABLE, PLUMBING, SECURITY, UTILITY CABLE, TV, AND TELEPHONE EQUIPMENT SHALL BE INSTALLED SO AS NOT TO BE IN CONFLICT WITH ANY WINDOW OR DOOR, TYP, AND PROVIDE SUFFICIENT CLEARANCE AWAY FROM EXTERIOR DOORS AND STOREFRONTS.
 9. SEE SHEET A200 FOR DOOR AND WINDOW SCHEDULES AND DETAIL INFORMATION.
 10. ALL INTERIOR PARTITIONS SHALL EXCEED TO AND BE SCHEDULED AGAINST THE FLOOR/CEILING JOINTS.
 11. PROVIDE AIR TIGHT CONSTRUCTION SEAL AROUND ALL PENETRATIONS (E.G. BEAM, CONDUIT, ETC.) THROUGH RATED WALLS.

PLAN KEYNOTES

1. CONCRETE WALLTYPE: SEE GCA
2. CONCRETE STUDY: 1" MAX AGG. 17' MIN. THICK
3. FINISHED METAL WALLS: SEE ELEVATIONS
4. CONCRETE COLUMN: SEE STRUCT.
5. FINISHED METAL WALL: GANTRY, RECE. ELEVATIONS
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100. FINISHED METAL WALL: GANTRY, RECE. ELEVATIONS



No: Date: Revision:

Client Contact: Client Name: (XXX) XXX-XXXX-XXXX

2023 Contract Number: 2206 00
2023 Project Number: 2206 00

South One Studio, LLC
201
Nashville, TN 37203

714 MAIN ST

714 MAIN STREET
NASHVILLE, TN 37206

**PRELIMINARY
NOT FOR
CONSTRUCTION**

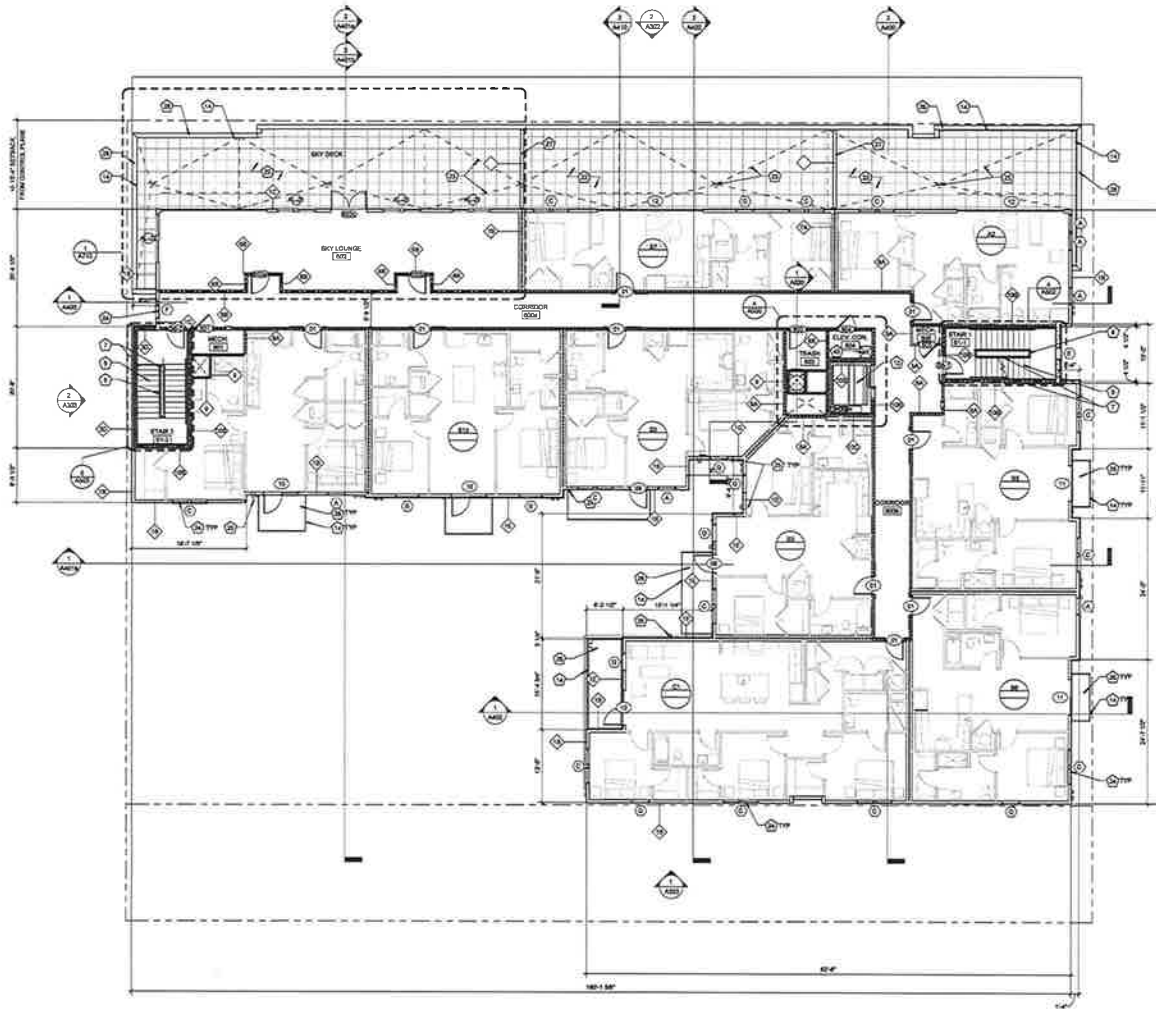
Drawing:
1ST FLOOR PLAN

02/27/2023
DESIGN DEVELOPMENT
100% SET

A101

3/2/2023 2:57:14 PM

1 6TH FLOOR PLAN
1/8" = 1'-0"



PLAN LEGEND	
-----	3-HOUR RATED WALL
-----	1-HOUR RATED WALL
-----	1-HOUR RATED WALL
-----	1-HOUR RATED WALL SMOKE PARTITION
XXXX	DOOR MARKER, REFER TO SHEET ADD FOR WINDOW SCHEDULE
XX	WINDOW MARKER, REFER TO SHEET ADD FOR WINDOW SCHEDULE
XX	STURDYPOINT NUMBER - REFER TO SHEETS A40-A41 FOR TYPES
---	WALL TYPE - REFER TO SHEETS ADD
---	UNIT TYPE
---	DETAIL NUMBER
---	ROOM NAME
---	ROOM NUMBER

- PLAN GENERAL NOTES**
- ALL EXTERIOR DIMENSIONS ARE SHOWN FACE OF BT/D FACE OF CON. OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 - ALL INTERIOR DIMENSIONS ARE SHOWN FACE OF BT/D FACE OF CON. OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
 - CONCRETE IS NOTED WITH FINISH TYPE UNLESS NOTED OTHERWISE.
 - REFER TO CIVIL DRAWINGS FOR ACTUAL BUILDING ELEVATION LEVELS RELATIVE TO MEAN SEA LEVEL.
 - REFER TO STRUCTURAL SLAB FOUNDATION PLAN FOR DIMENSIONS OF SLAB, SLAB LAYOUT AND GIRDERS.
 - SEE SHEETS A30-A32 FOR EXTERIOR AND INTERIOR WALL TYPE AND LABELS.
 - ORIENTATION OF THE BUILDING PLAN ILLUSTRATED MAY BE DIFFERENT FROM THE ORIENTATION OF THE CONSULTANT. LABELS, NOTICES AND DIMENSIONS SHALL BE SHOWN AS SHOWN ON THIS PLAN AND SHALL BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - ALL MECHANICAL, ELECTRICAL, AND TELECOMMUNICATIONS (MEET) SHALL BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND EXTERIOR FINISH.
 - SEE SHEET A30-A32 FOR DOOR AND WINDOW SCHEDULE AND DETAIL INFORMATION.
 - ALL EXTERIOR PARTITIONS SHALL EXTEND TO AND BE SEALED ABOVE THE EXTERIOR FINISH.
 - PROVIDE AIR TIGHT CONSTRUCTION SEAL AROUND ALL PENETRATIONS (E.G., ROOF, CONDUIT, ETC.) THROUGH RATED WALLS.

PLAN KEYNOTES

1	CONCRETE WALL FINISH, SEE C.A.
2	CONCRETE FINISH, 4" MAX. THICK. 1" MIN. THICK.
3	PAINTED METAL WALLS, SEE ELEVATIONS
4	CONCRETE, 4" MAX. THICK. 1" MIN. THICK.
5	PREPARED METAL, MEET FINISH, SEE ELEVATIONS
6	STEEL, PAINTED WITH CONCRETE FINISH, 1/4" MAX. THICK. 1/4" MIN. THICK.
7	PAINTED METAL, MEET FINISH, SEE ELEVATIONS
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100	PAINTED METAL, MEET FINISH, SEE ELEVATIONS



Rev: Date: Revision:

Client Contact: Dawn Nantz
(603) 800-XXXX

SGS Contact: Heather Cook
SGS Project Number: 22001-00

Smith's Clear Sheds, LLC
2010
Nashville, TN 37208

714 MAIN ST

714 MAIN STREET
NASHVILLE, TN 37208

**PRELIMINARY
NOT FOR
CONSTRUCTION**

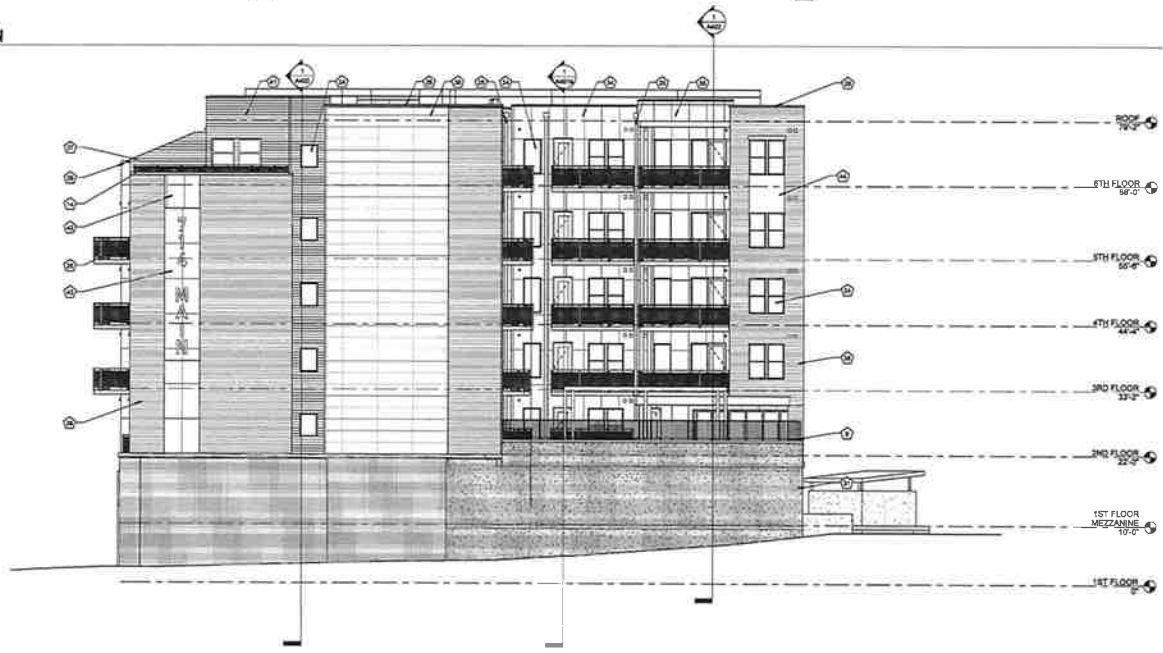
Drawing:
6TH FLOOR PLAN

02/27/2023
DESIGN DEVELOPMENT
100% SET

A107



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

ELEVATION AND SECTION KEYNOTES	
1	CONCRETE WALLS - SEE PLAN
2	CONCRETE SLAB - 4" MIN. THK. 12" MIN. TREAD
3	PAINTED METAL WALLS - SEE ELEVATIONS
4	CONCRETE COLUMN - SEE PLAN
5	PREPARED ALUMINUM BRACKETING SYSTEM - SEE ELEVATIONS
6	PAINTED METAL BRACKETING SYSTEM - SEE ELEVATIONS
7	PAINTED METAL BRACKETING SYSTEM - SEE ELEVATIONS
8	PAINTED METAL BRACKETING SYSTEM - SEE ELEVATIONS
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23	PAINTED METAL BRACKETING SYSTEM - SEE ELEVATIONS
24	PAINTED METAL BRACKETING SYSTEM - SEE ELEVATIONS



No: Date: Revision:

Client Contact: Chad Nove
0000-000-0000

2023 Contact: Hutter One
5052 Project Number: 20093 00

South One Studio, LLC
1000 Main Street, 201
Nashville, TN 37203

714 MAIN ST

714 MAIN STREET
NASHVILLE, TN 37206

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Drawing:
EXTERIOR ELEVATIONS

02/27/2023
DESIGN DEVELOPMENT
100% SET

A301

3/2/2023 3:03:20 PM