

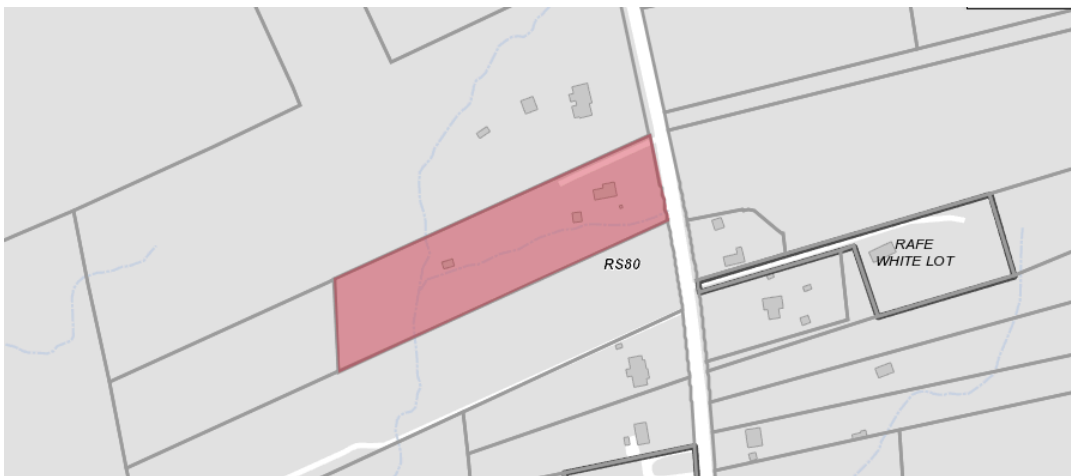
1938 Neelys Bend Specific Plan (SP)

DEVELOPMENT SUMMARY

SP Name	1938 Neelys Bend
SP Number	Case No. 2023SP-038-001
Council District	9
Council Member	Tonya Hancock: One Public Square, Suite 204 Nashville, TN 37201 Office (615) 432-1309
Property Owner	Andrew Frazier: 1938 Neelys Bend Rd. Madison, TN 37115 Cell (615) 445-0623

SITE DATA TABLE

Site Data	4.78 Acres
Existing Zoning	RS80 (Fallback zoning)
Proposed Zoning	SP-R
Allowable Land Uses	Up to two single family detached dwelling units.



Specific Plan (SP) Standards

1. Uses within this SP shall be limited to two single family detached dwelling units.
2. If a developmental standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RS80 zoning districts of the date of the applicable require or application.
3. Vehicle access shall be limited to one shared driveway.
4. Height is limited to two stories within 35 feet.
5. Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.
6. Height shall be measured from the average elevation (average of 4 most exterior corners) at the finished grade (final ground elevation) to the midpoint of the primary roof pitch (the vertical distance from eave to midpoint) or to the top of the parapet for a flat roof, Stories shall be counted as defined in Metro Code.
7. Septic or an other kind of private sewerage disposal fields to be approved by Metro Health Department.

General Plan Consistency Note

The proposed Specific Plan is located within the Madison Community Plan (Subarea 4) The proposed SP is located in the following policy areas:

- T2 Rural Maintenance
- CO Conservation

The property is located between Menees Lane and Overton Road and is approximately 4.78 acres in size. A residential use is appropriate in a neighborhood center policy as neighborhood center policy areas can feature a variety of uses including residential land uses.